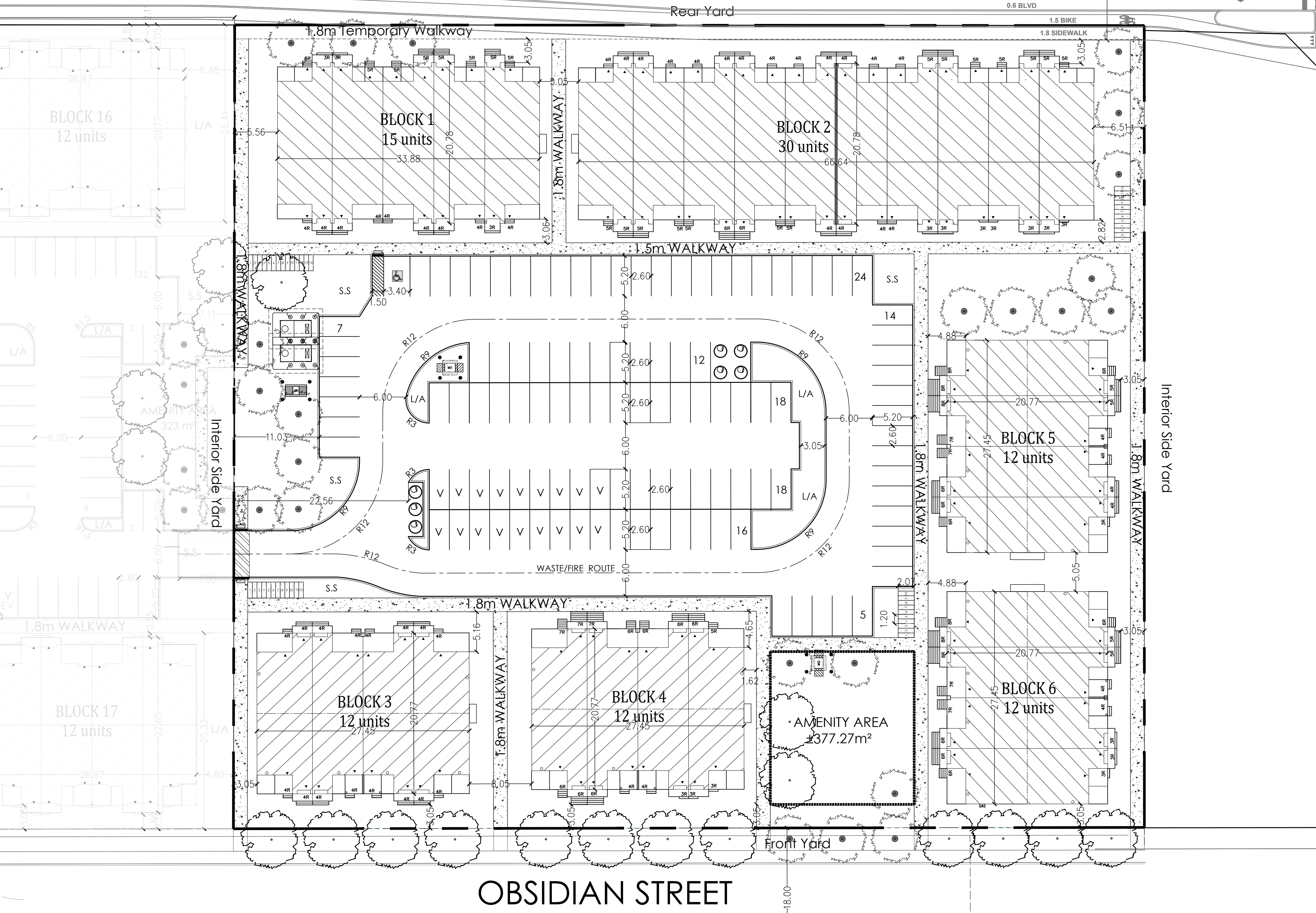


FUTURE GREENBANK ROAD (ROW 41.8m)



SITE STATISTICS AND DEVELOPMENT DATA

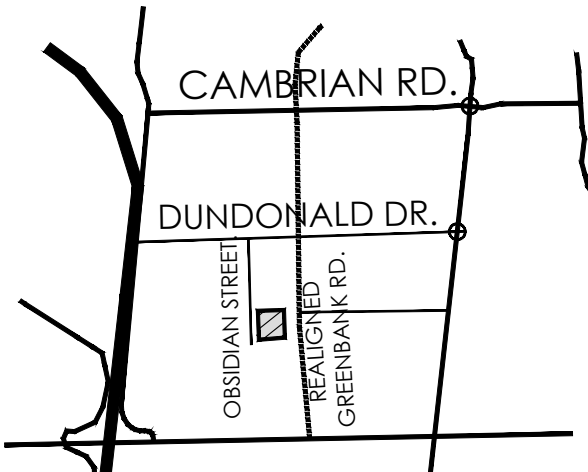
SITE AREA	12,217.33 m ² (1.22 ha)
PAVED AREA	3,478.06 m ² (28%)
LANDSCAPED AREA	4,093.32 m ² (34%)
TOTAL BUILDING COVERAGE	4,645.95 m ² (38%)
TOTAL GROSS FLOOR AREA	±10,766.29 m ²
TOTAL UNITS	93
NET DENSITY (UPH)	85 UPH
ZONE CATEGORY	GM(2800)H(14.5)

DWELLING BLOCK	DWELLING TYPE	GROSS FLOOR AREA (m ²)	UNITS
BLOCK 1	15 UNIT B2B STACKED DWELLING	±1,725.47	15
BLOCK 2	30 UNIT B2B STACKED DWELLING	±3,468.54	30
BLOCK 3	12 UNIT B2B STACKED DWELLING	±1,393.07	12
BLOCK 4	12 UNIT B2B STACKED DWELLING	±1,393.07	12
BLOCK 5	12 UNIT B2B STACKED DWELLING	±1,393.07	12
BLOCK 6	12 UNIT B2B STACKED DWELLING	±1,393.07	12
TOTAL		±10,766.29	93

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
187 (Table)	MIN. LOT AREA (m ²)	No minimum	12,217.33m ²
187 (Table)	MIN. LOT WIDTH (m)	No minimum	117.7m
187 (Table)	MAX. BUILDING HEIGHT (m)	14.5m	11.2m
187 (Table)	MIN. FRONT YARD SETBACK (m)	3.0m	3.05m
187 (Table)	MIN. CORNER SIDE YARD SETBACK (m)	3.0m	N/A
187 (Table)	MIN. INTERIOR SIDE YARD SETBACK (m) FOR A BUILDING HIGHER THAN 11m:		
(2800)	NORTH INTERIOR SIDE LOT LINE	7.5m	3.05m
187 (Table)	SOUTH INTERIOR SIDE LOT LINE	3.0m	3.05m
187 (Table)	MIN. REAR YARD SETBACK:		
187 (Table)	ALL OTHER CASES (m)	No minimum	3.05m
187 (Table)	MAX. FLOOR SPACE INDEX	2	0.9
187 (Table)	MIN. WIDTH OF LANDSCAPED AREA		
187 (Table)	ABUTTING A STREET (m)	3m	3.05m
187 (Table)	ABUTTING A RESIDENTIAL ZONE	3m	3.05m
101 (Table)	RESIDENT PARKING - 1.2 spaces/unit	112	96
102 (Table)	VISITOR PARKING - 0.2 spaces/unit	19	18
111A (Table)	MIN. BICYCLE PARKING - 0.5 spaces/unit	47	48
131 (Table)(1)	MIN. WIDTH OF PRIVATE WAY/ PARKING AISLE (m)	6.0m	6.0m
131 (Table)(2)	MIN. SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY (m)	1.8m	2.82m
131 (Table)(4)	MIN. SEPARATION DISTANCE BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT (m)	3.0m	5.05m

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
65	PERMITTED PROJECTIONS INTO REQUIRED YARDS:		
65 (3)	FIRE ESCAPES, OPEN STAIRWAYS, STOOP (m)	>0.6m to lot line	N/A
65 (6)	COVERED OR UNCOVERED BALCONY, PORCH, DECK	>1m to lot line	N/A
57	MIN. TO CORNER SIGHT TRIANGLE (m)	0m	N/A
106 (1)(a)	MIN. PERPENDICULAR PARKING SPACE SIZE (m)	2.6m x 5.2m	2.6m x 5.2m
106 (2)(b)	MIN. BARRIER FREE PARKING*:		
	TYPE A PARKING SPACE SIZE	3.4m wide	3.4 m wide
	ACCESS AISLE (m)	1.5m	1.5 m
111B (Table)	MIN. BICYCLE PARKING SPACE DIMENSIONS	0.6m x 1.8m	0.6 m x 2.07 m
109 (3)(b)	MAX. WALKWAY WIDTH PERMITTED IN YARD (m)	1.8m	1.8 m
110 (Table)	LANDSCAPED AREA SURROUNDING PARKING LOT (100+ spaces):	15%	25%
	NOT ABUTTING A STREET (m)	3.0m	>3.0m
110 (3)	REFUSE COLLECTION AREAS:		
110 (3)(b)	MIN. WASTE COLLECTION SETBACK TO LOT LINE (m)	3.0m	21.45m
137 (Table)	AMENITY AREA**:		
	TOTAL MIN. AMENITY AREA (6m ² per unit) (m ²)	558m ²	1,626m ²
	MIN. COMMUNAL AMENITY AREA (m ²) (50% AREA)	279m ²	377.27m ²

*Per the 2014 Guide to the Integrated Accessibility Standards Regulation - Design of Public Spaces Standard, 4% of parking spaces provided for public use must be accessible. 1 of the provided 48 visitor spaces have been designed to be barrier-free, Type A size.
**Individual amenity areas are provided on the balconies



KEY MAP
N.T.S.

SCALE 1:300

LEGEND

- STACKED TOWNS
- ENTRANCE
- PORCH
- PROJECTION (STAIRS)
- CONCRETE
- CROSSWALK
- CURB (0.2m)
- DEPRESSED CURB
- TACTILE WALKING SURFACE INDICATOR
- SNOW STORAGE AREA
- LANDSCAPED AREA
- PROPERTY LINE
- NO PARKING
- BARRIER FREE PARKING
- VISITOR PARKING
- BIKE RACKS
- MOLAK BIN (6.5 yd³)
- RISERS
- MINI-SUB
- SWITCHBOARD
- TRANSFORMER
- BOLLARD
- HYDRO CABINET
- CONIFEROUS TREE
- DECIDUOUS TREE

14/05/2025 1st Submission AS
DATE: 14/05/2025 REVISION: BY

- GENERAL NOTES
- DO NOT SCALE DRAWINGS FOR PRINT.
 - THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIAK URBAN PLANNING AND MATTHEW HOMES. COPYRIGHT RESERVED.
 - WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
 - REFERENCE CITY OF OTTAWA T.W.S.I. DETAIL SC7.3
 - SURVEY BOUNDARY BY J.D. BARNES LIMITED, 62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9

PROJECT TEAM

SITE PLAN DESIGN:
KORSIAK Urban Planning

PLANNING:
FOTENN Planning + Design

ARCHITECTURE:
Q4A

CIVIL ENGINEER:
Stantec

LANDSCAPE ARCHITECTURE:
NAK design strategies

TRANSPORTATION:
G

MECHANICAL/ELECTRICAL:
LRJ



50 Hines Road, Suite 100, Ottawa, ON Canada K2K 2M5

Half Moon Bay South
Phase 7 Condo Block

PART OF LOT 8
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

TITLE:		SITE PLAN	
DATE:	May 14, 2025	DRAWN BY: AS CHECKED BY: JH	DRAWING NO.
FILE NO.:	XXXXXXXXXX		A
JOB NO.:	Mattamy - Half Moon Bay		