

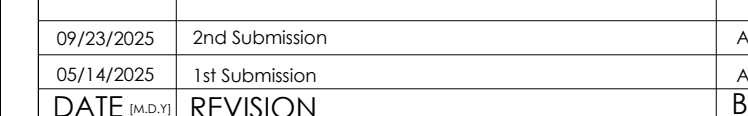
SITE AREA	12,217.33 m ² (1.22 ha)
NET AREA	12,217 m ² - 1000 m ² (PARK) - 172 m ² (ROAD WIDENING) 11,045.97 m ²
PAVED AREA	3,289.52 m ² (30%)
LANDSCAPED AREA	4,163.02 m ² (38%)
TOTAL BUILDING COVERAGE	3,595.67 m ² (32%)
TOTAL GROSS FLOOR AREA	±10,324.40 m ²
TOTAL UNITS	90
NET DENSITY (UP/H)	82 UP/H
ZONE CATEGORY	GM(2800)H(14.5)

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
187 (Table)	MIN. LOT AREA (m ²)	No minimum	12,217.33m ²
	MIN. LOT WIDTH (m)	No minimum	117.7m
187 (Table)	MAX. BUILDING HEIGHT (m)	14.5m	11.2m
187 (Table)	MIN. FRONT YARD SETBACK (m)	3.0m	3.05m
187 (Table)	MIN. CORNER SIDE YARD SETBACK (m)	3.0m	N/A
	MIN. INTERIOR SIDE YARD SETBACK (m) FOR A BUILDING HIGHER THAN 11m:		
(2800)	NORTH INTERIOR SIDE LOT LINE	7.5m	3.05m
187 (Table)	SOUTH INTERIOR SIDE LOT LINE	3.0m	3.05m
	INTERIOR SIDE LOT LINE (ABUTTING PARK)	3.0m	4.27m/3.29m
187 (Table)	MIN. REAR YARD SETBACK:		
	ALL OTHER CASES (m)	No minimum	3.05m
187 (Table)	MAX. FLOOR SPACE INDEX	2	0.85
187 (Table)	MIN. WIDTH OF LANDSCAPED AREA		
	ABUTTING A STREET (m)	3m	3.05m
	ABUTTING A RESIDENTIAL ZONE	3m	3.05m
101 (Table)	RESIDENT PARKING - 1 spaces/unit	90	87
102 (Table)	VISITOR PARKING - 0.2 spaces/unit	18	18
111A (Table)	MIN. BICYCLE PARKING- 0.5 spaces/unit	45	48
131 (Table) [1]	MIN. WIDTH OF PRIVATE WAY / PARKING AISLE (m)	6.0m	6.0m
131 (Table) [2]	MIN. SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY (m)	1.8m	3.5m
131 (Table) [4]	MIN. SEPARATION DISTANCE BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT (m)	3.0m	11.04m

***Section 110(3)(d) where an in-ground refuse container is provided, the screening requirement of Section (3)(c) above may be achieved with soft landscaping (Bylaw 2000-299)



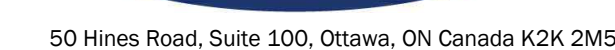
LEGEND



GENERAL NOTES

1. DO NOT SCALE DRAWINGS FOR PRINT.
 2. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIAI URBAN PLANNING AND MATTHEW HOMES. COPYRIGHT RESERVED.
 3. WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
 4. REFERENCE CITY OF OTTAWA T.W.S.I. DETAIL SC7.3
 5. SURVEY BOUNDARY PREPARED BY J.D BARNES LTD.
- 62 STEADIE DRIVE, SUITE 103, KANATA, ON K2K 2A9.
TEL: (613) 731-7244 FAX: (613) 254-8659

PROJECT TEAM



Half Moon Bay South
Phase 7 Condo Block

4159 Obsidian St, Ottawa

PART OF LOT 8
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

TITLE: SITE PLAN

DATE: September 23, 2025	DRAWN BY: AS CHECKED BY: CR	DRAWING NO. A
FILE NO.: D07-12-25-0068		
JOB NO.: Mattamy - Half Moon Bay		