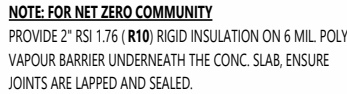
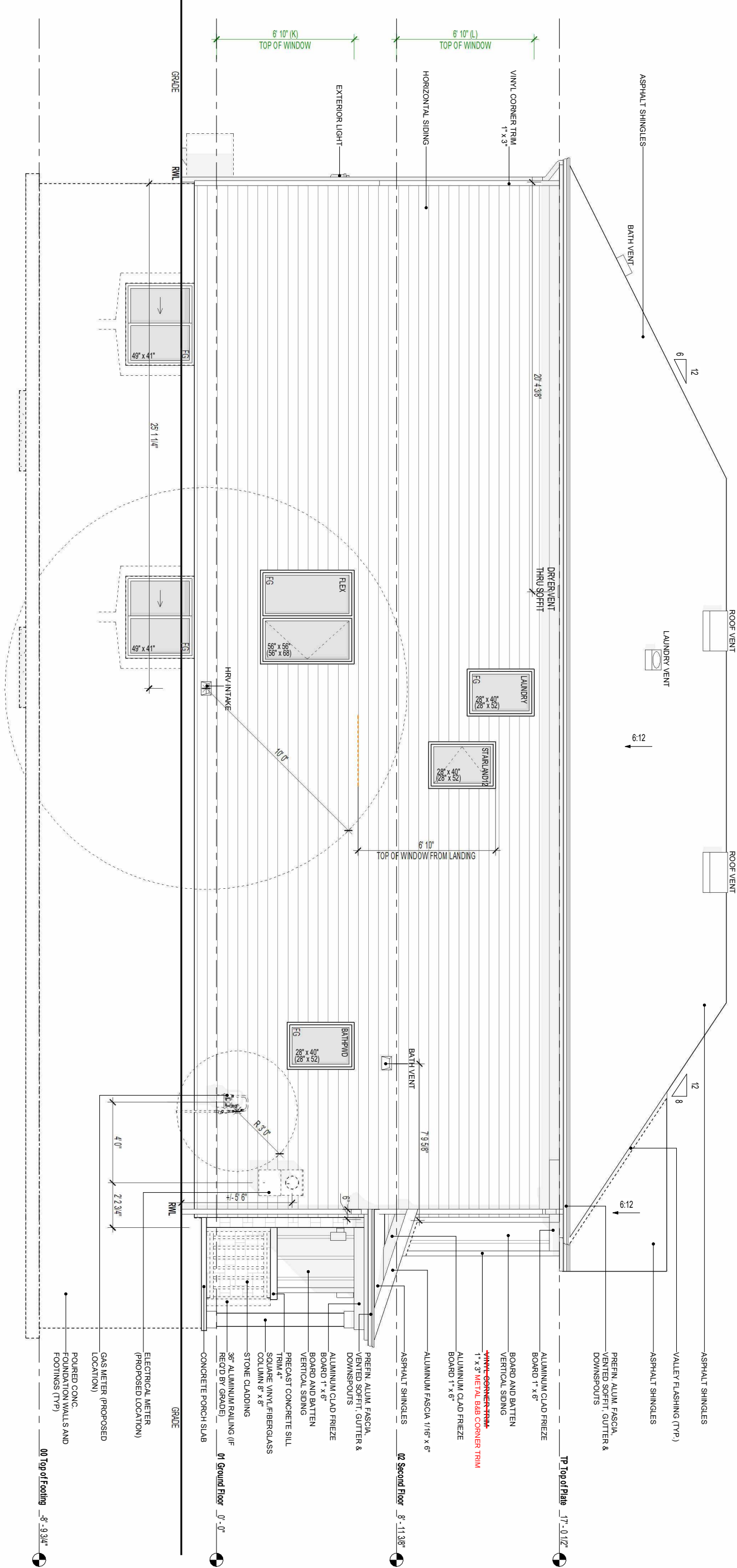


This includes both Ground and Second FL as 9' ceilings and 2 steps (1' 3") from porch to grade.



NOTE: FOR NET ZERO COMMUNITY
PROVIDE 2" RSJ 1.76 (R10) RIGID INSULATION ON 6 MIL. POLY-
VAPOUR BARRIER UNDERNEATH THE CONC. SLAB, ENSURE
JOINTS ARE LAPPED AND SEALED.

[illegible]

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ARCHITECT STAMP

ENGINEER STAMP

LEFT ELEVATION

MATTAMY HOMES
(2024)
OTTAWA

THE HARMONY
ELEVATION C (C)

L36A - C

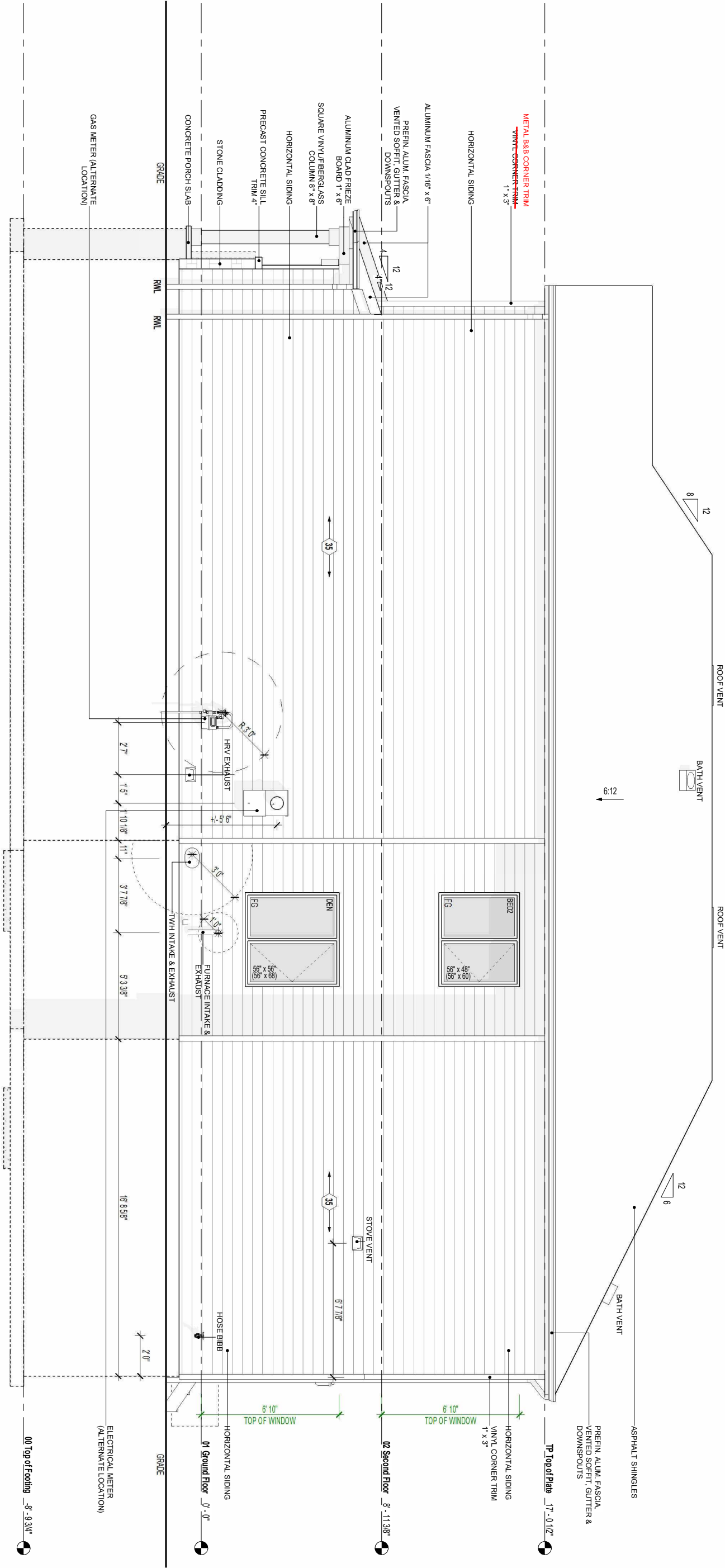
SHEET A2.10

SCALE 3/16" = 1'-0"

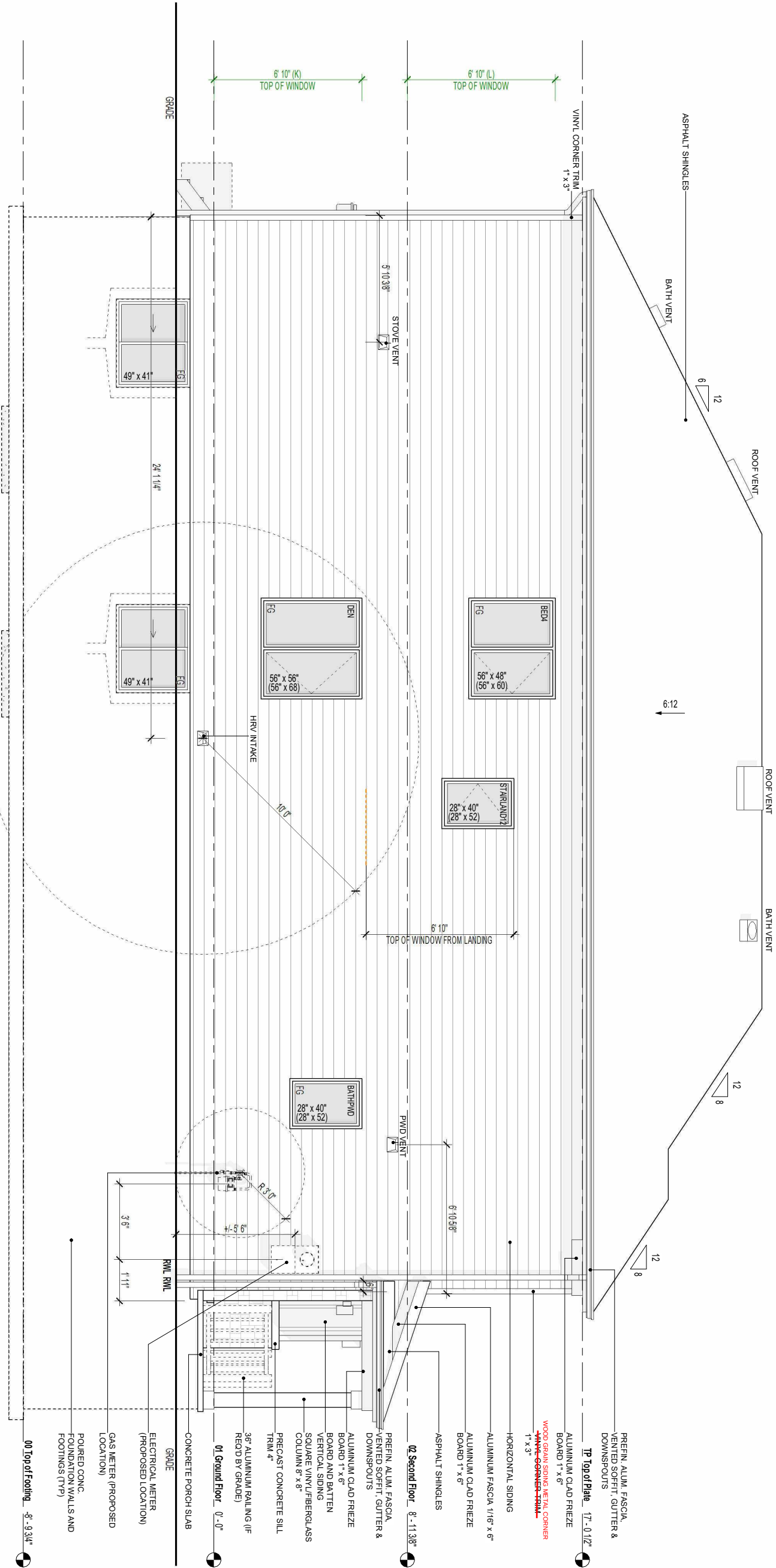
SHEET SIZE	11x17
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ISSUE DATE 2024/10/31

NOTE: FOR NET ZERO COMMUNITY
PROVIDE 2" R10 (R10) RIGID INSULATION ON 6 MIL POLY
VAPOUR BARRIER UNDERNEATH THE CONC SLAB. ENSURE
JOINTS ARE LAPPED AND SEALED.



NOTE: FOR NET ZERO COMMUNITY
PROVIDE 2" RSI 1.76 (R10) RIGID INSULATION ON 6 MIL POLY
VAPOR BARRIER UNDERBATH THE CONC. SLAB. ENSURE
JOINTS ARE LAPPED AND SEALED.



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2	ISSUED FOR TENDER	2024/05/22
3	ISSUED FOR PERMIT	2024/09/27
4	ISSUED FOR CONSTRUCTION	2024/10/31

LEFT ELEVATION

MATTAMY HOMES
(2024)
OTTAWA

THE RADIANT
ELEVATION C (C)

L36B - C
SHEET A2.10

This includes both Ground and Second FL as 9' ceilings and 2 steps (1' 3") from porch to grade.



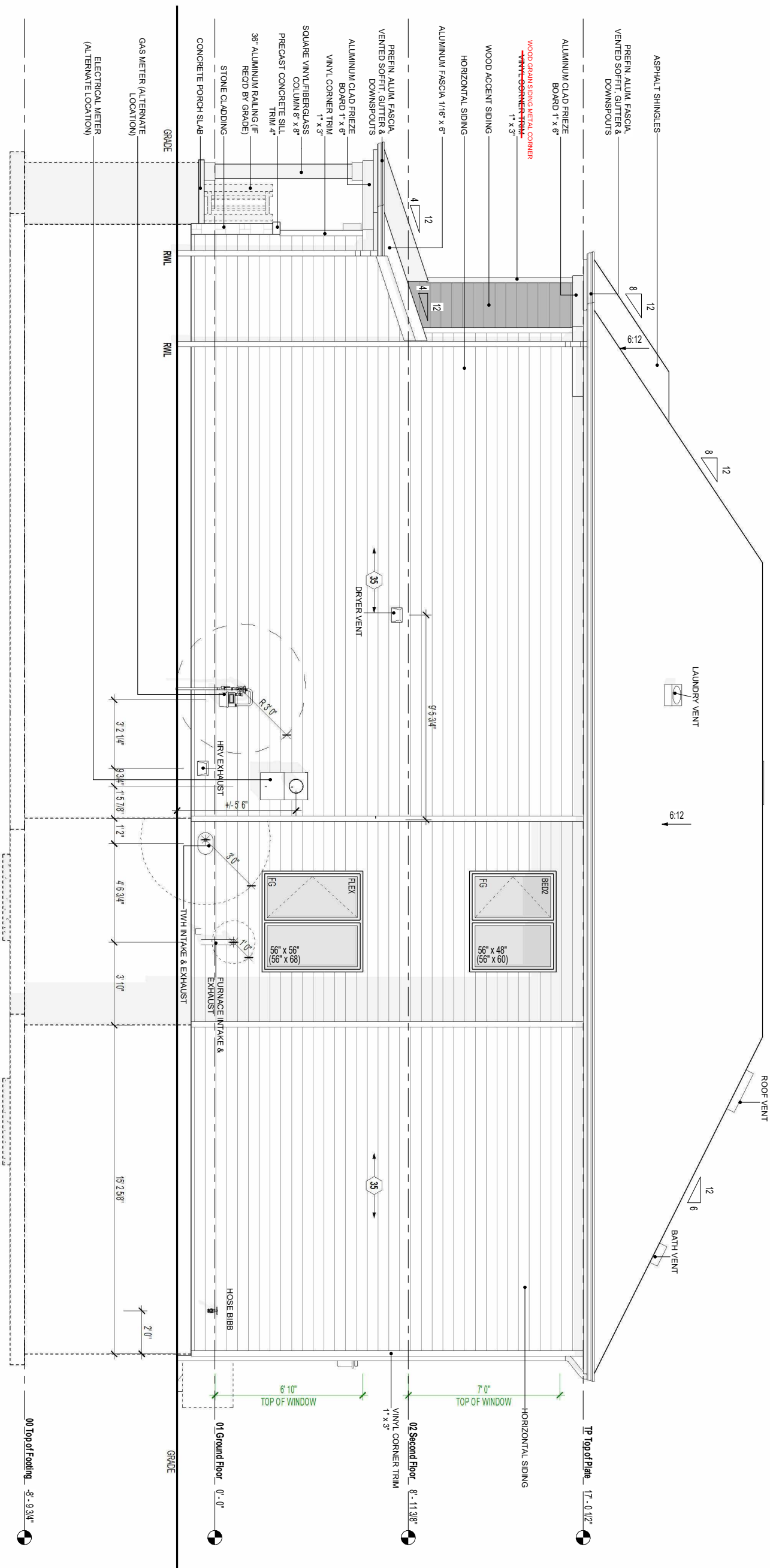
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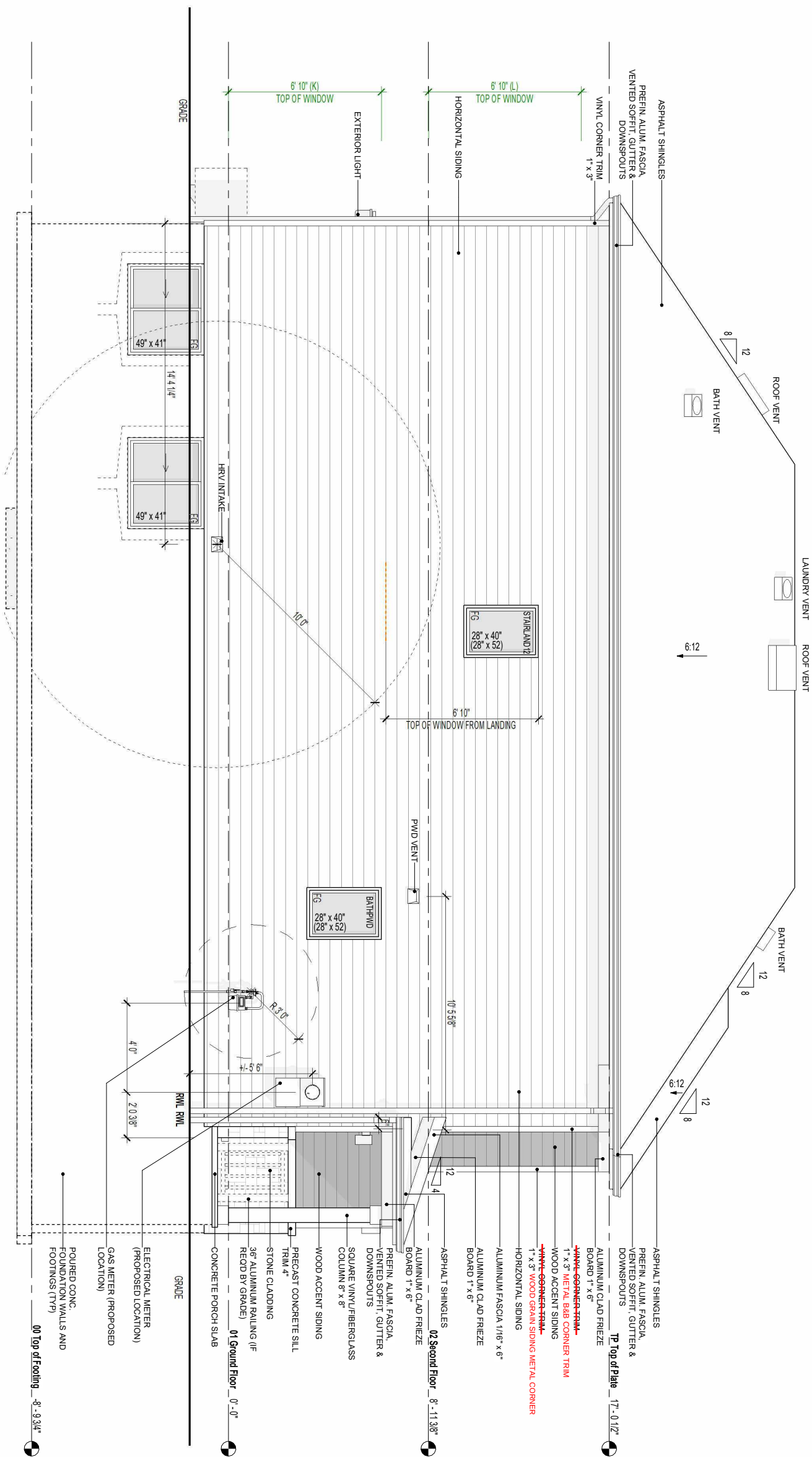
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NOTE: FOR NET ZERO COMMUNITY
PROVIDE 2" RSJ 1.76 (R10) RIGID INSULATION ON 6 MIL. POLY
VAPOUR BARRIER UNDERNEATH THE CONC. SLAB, ENSURE
JOINTS ARE LAPPED AND SEALED.



NOTE: FOR NET ZERO COMMUNITY
PROVIDE 2" RSJ 1.76 (R10) RIGID INSULATION ON 6 MIL. POLY-
VAPOUR BARRIER UNDERNEATH THE CONC. SLAB, ENSURE
JOINTS ARE LAPPED AND SEALED.

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ARCHITECT STAMP

ENGINEER STAMP

LEFT ELEVATION

MATTAMY HOMES
(2024)
OTTAWA

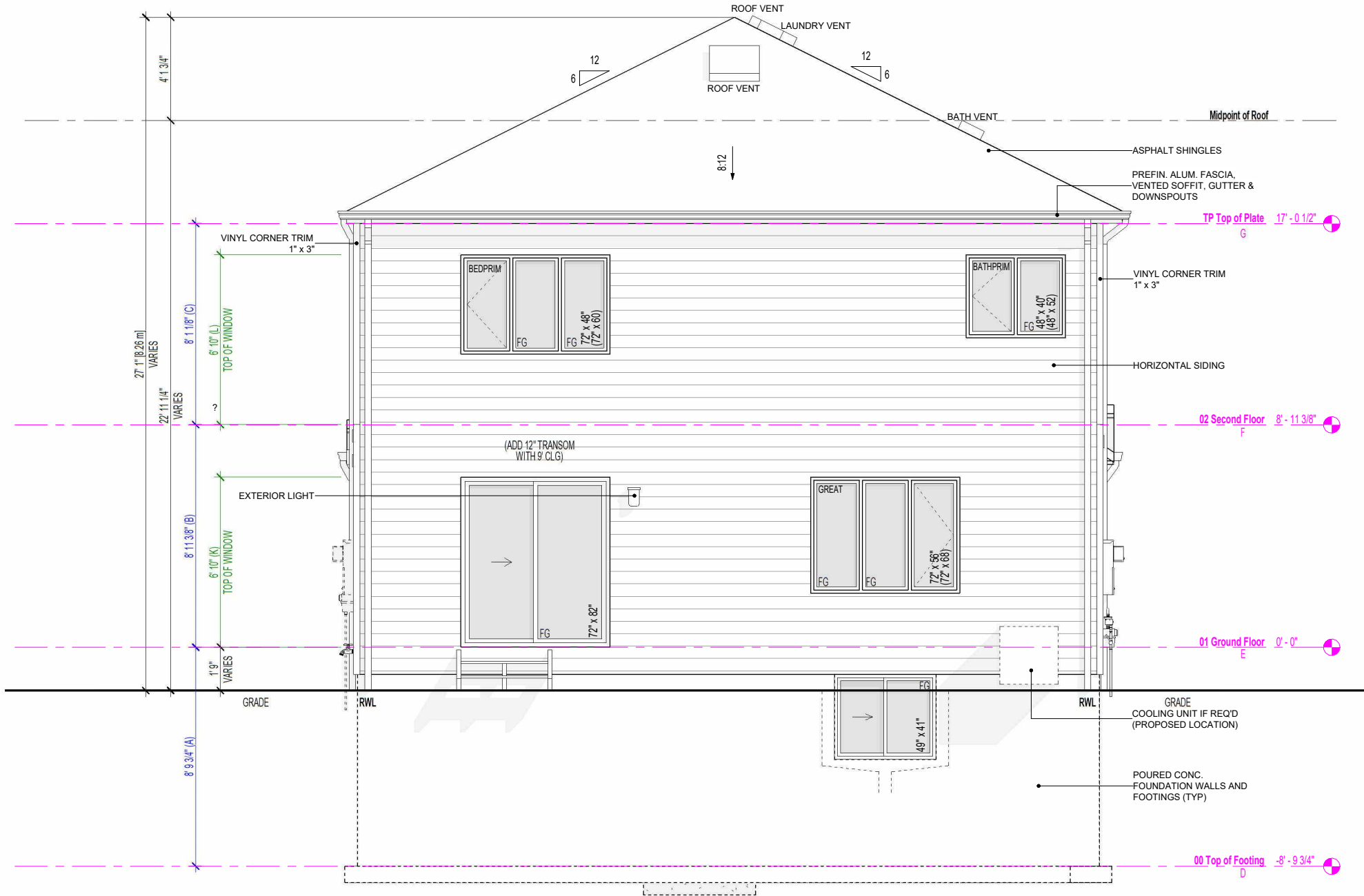
THE SOLSTICE
ELEVATION C (C)

L36C - C

SHEET A2.01

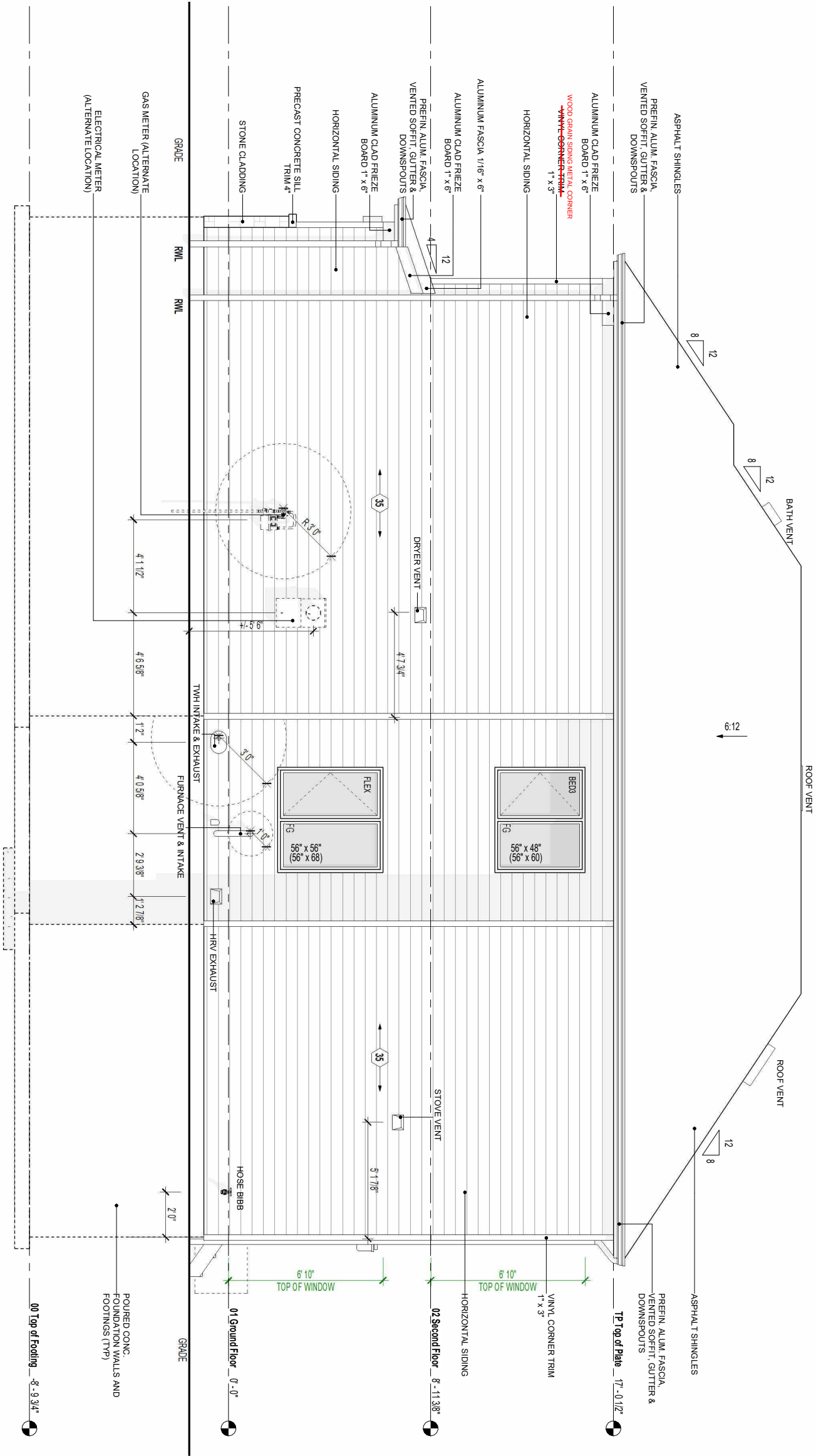
Overview of changes due to 9' ceiling upgrades											
Level	A	B	C	D	E	F	G	H	I	K	L
	Top of Footing to Ground FL	Ground FI to Second FL	Second FL to Top of Plate	Top of Footing Elevation	Ground FL Elevation	Second FL Elevation	Top of Plate Elevation	Top of Beam	Top of Garage Wall	Top of Ground FL Window	Top of Second FL Window
8' Ground and Second FL	8' 9 3/4"	8' 11 3/8"	8' 1 1/8"	- 8' 9 3/4"	0' 0"	8' 11 3/8"	17' 0 1/2"	7' 7 3/4"	7' 7 3/4"	6' 10"	6' 10"
9' Ground FL	8' 9 3/4"	9' 11 3/8"	8' 1 1/8"	- 8' 9 3/4"	0' 0"	9' 11 3/8"	18' 0 1/2"	8' 7 3/4"	8' 7 3/4"	7' 10"	6' 10"
9' Ground and Second FL	8' 9 3/4"	9' 11 3/8"	9' 1 1/8"	- 8' 9 3/4"	0' 0"	9' 11 3/8"	19' 0 1/2"	8' 7 3/4"	8' 7 3/4"	7' 10"	7' 10"

Max Building height Elevation CR: 31' 8 1/8" (9.66 m) Elevation MP/ Elevation C: 29' 1" (8.86 m)
This includes both Ground and Second FL as 9' ceilings and 2 steps (1' 3") from porch to grade.



NOTE: FOR NET ZERO COMMUNITY
PROVIDE 2" RSI 1.76 (**R10**) RIGID INSULATION ON 6 MIL. POLY
VAPOUR BARRIER UNDERNEATH THE CONC. SLAB, ENSURE
JOINTS ARE LAPPED AND SEALED.

NOTE: FOR NET ZERO COMMUNITY
PROVIDE 2" RSI 1.76 (R10) RIGID INSULATION ON 6 MIL. POLY
VAPOUR BARRIER UNDERNEATH THE CONC. SLAB ENSURE
JOINTS ARE LAPED AND SEALED.



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ENGINEER STAMP

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1	ISSUED FOR COORDINATION	2024/04/12	
2	ISSUED FOR TENDER	2024/05/22	
3	ISSUED FOR PERMIT	2024/07/31	
4	ISSUED FOR CONSTRUCTION	2024/10/31	

RIGHT ELEVATION

MATTAMY HOMES
(2024)
OTTAWA

THE SOLSTICE
ELEVATION C (C)

L36C - C
SHEET A2.03

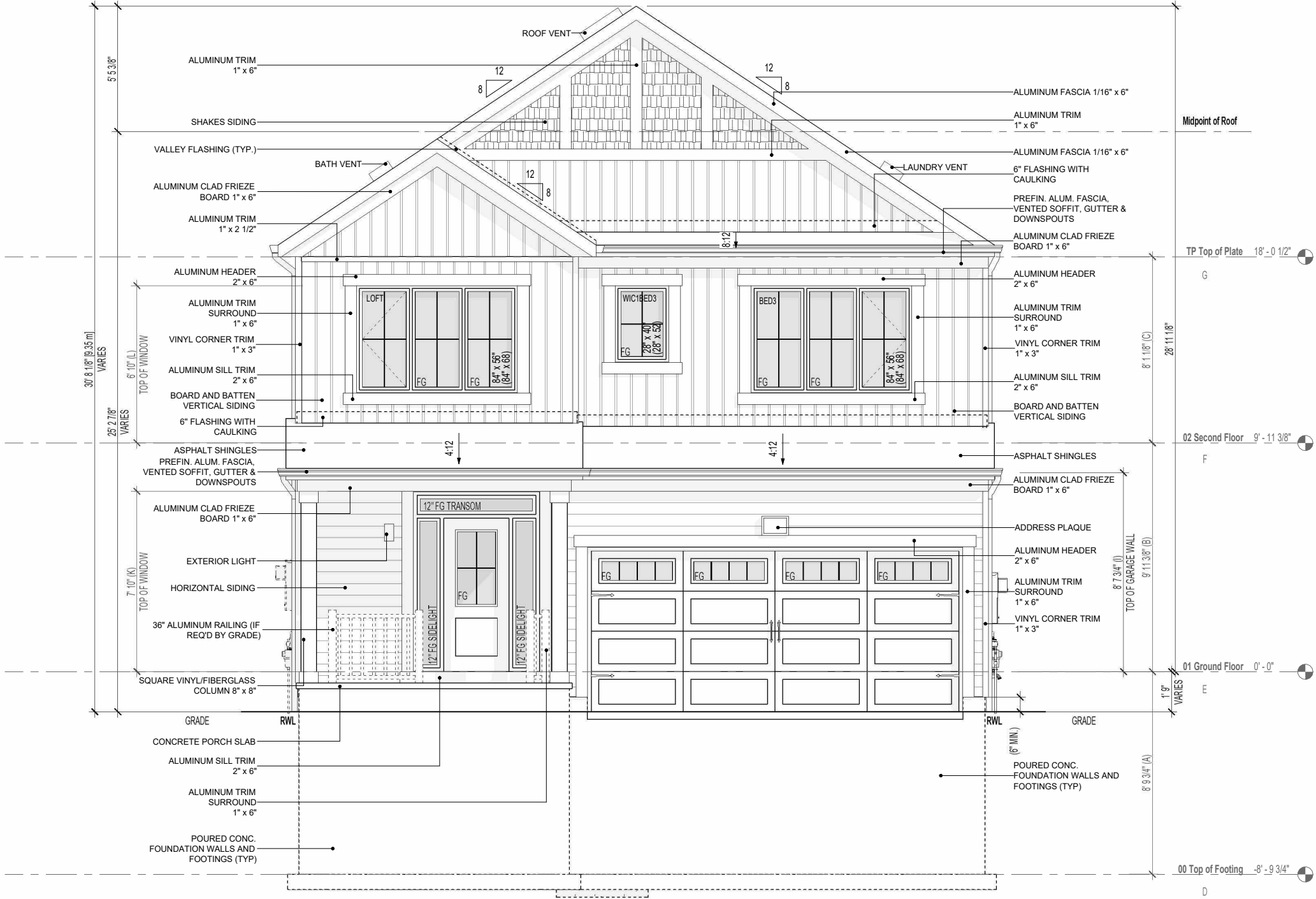
SCALE3/16" = 1'-0"

SHEET SIZE11x17

ISSUE DATE2024/10/31

Overview of changes due to optional 9' ceiling upgrades											
Level	A Top of Footing to Ground FL	B Ground FL to Second FL	C Second FL to Top of Plate	D Top of Footing Elevation	E Ground FL Elevation	F Second FL Elevation	G Top of Plate Elevation	H Top of Beam	I Top of Garage Wall	K Top of Ground FL Window	L Top of Second FL Window
9' Ground FL and 8' Second FL	8' 9 3/4"	9 11 3/8"	8 1 1/8"	- 8' 9 3/4"	0' 0"	9' 11 3/8"	18' 0 1/2"	8' 7 3/4"	8' 7 3/4"	7' 10"	6' 10"
9' Ground and Second FL	8' 9 3/4"	9 11 3/8"	9 1 1/8"	- 8' 9 3/4"	0' 0"	9' 11 3/8"	19' 0 1/2"	8' 7 3/4"	8' 7 3/4"	7' 10"	7' 10"

Max Building height Elevation A: 31' 8 1/8" (9.66 m) Elevation B/ Elevation C: 29' 1" (8.86 m)
This includes both Ground and Second FL as 9' ceilings and 2 steps (1' 3") from porch to grade.



NOTE: FOR NET ZERO COMMUNITY
PROVIDE 2" RSI 1.76 (R10) RIGID INSULATION ON 6 MIL. POLY VAPOUR BARRIER UNDERNEATH THE CONC. SLAB, ENSURE JOINTS ARE LAPPED AND SEALED.

LIMIT WINDOW OPENING TO 100mm IF TOP OF THE WINDOW SILL IS LOCATED LESS THAN 900mm (3'-0") ABOVE THE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11"). AS PER OBC 2024, DIV. B, 9.8.8.1.

PROVIDE AT LEAST ONE EGRESS WINDOW ON SECOND FLOOR THAT IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, THE UNOBSTRUCTED OPEN PORTION HAVING A MIN. AREA OF 0.35 m2 WITH NO DIMENSION LESS THAN 380 mm, AND HAVE A SILL HEIGHT BETWEEN 900mm TO 1000mm ABOVE THE FLOOR. REFER TO OBC 2024, DIV. B, 9.9.10.1.



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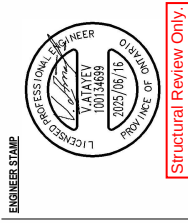
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ENGINEER STAMP

ARCHITECT STAMP

Structural Review Only

FRONT ELEVATION

MATTANY HOMES
(2025)
OTTAWA

THE RADIANT II
ELEVATION A (A)

L36D - A
SHEET A2.00

SCALE 3/16" = 1'-0"

SHEET SIZE 11x17

ISSUE DATE 2025/06/03

LIMIT WINDOW OPENING TO 100mm IF TOP OF THE WINDOW SILL IS LOCATED LESS THAN 900mm (3'-0") ABOVE THE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11"). AS PER OBC 2024, DIV. 9, 9.8.8.1.

[illegible]

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STUDIO DESIGN • VIRTUAL BUILD 635 KING ST. W. 3RD FL. TORONTO, ON M5V 1K1 T. 647.389.7545 info@studio6.ca	LEFT ELEVATION		MATTAMY HOMES (2025) OTTAWA	THE RADIANT II ELEVATION A (A)	L36D - A SHEET A2.10
			SCALE 3/16" = 1'-0"	SHEET SIZE 11x17	ISSUE DATE 2025/06/03

