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Application Submission

5872, 5880, 5884 Hazeldean Road & 7 Savage Drive Development

Project Timeline

Phase 1 Pre-Consultation
October 8, 2024

→

Urban Design Review Panel (UDRP)
February 7, 2025

→

Notification and Meeting with Ward Councillor
July 9, 2026

→

Public Engagement Meeting
August 6, 2025

→

Application Submission
August (TBD), 2025

Site Context
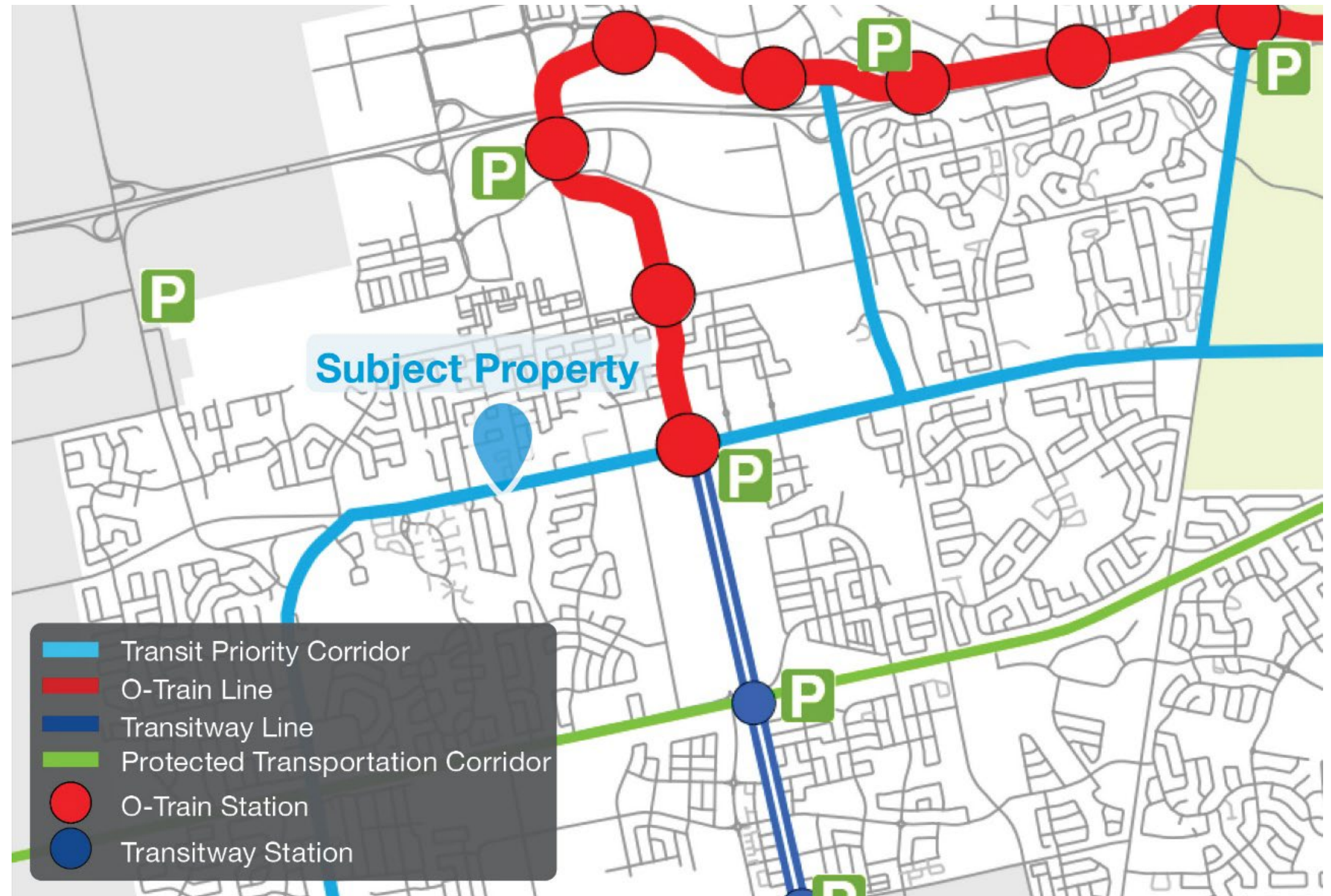
Official Plan - Transit Network

Transit Network

The subject site is well connected to the exiting transportation network. Hazeldean Road is a Transit Priority Corridor, intended to support higher-capacity and more efficient transit service.

Nearby buses include:
- Frequent bus routes 61 and 62
- Connection bus routes 266, 263, and 261

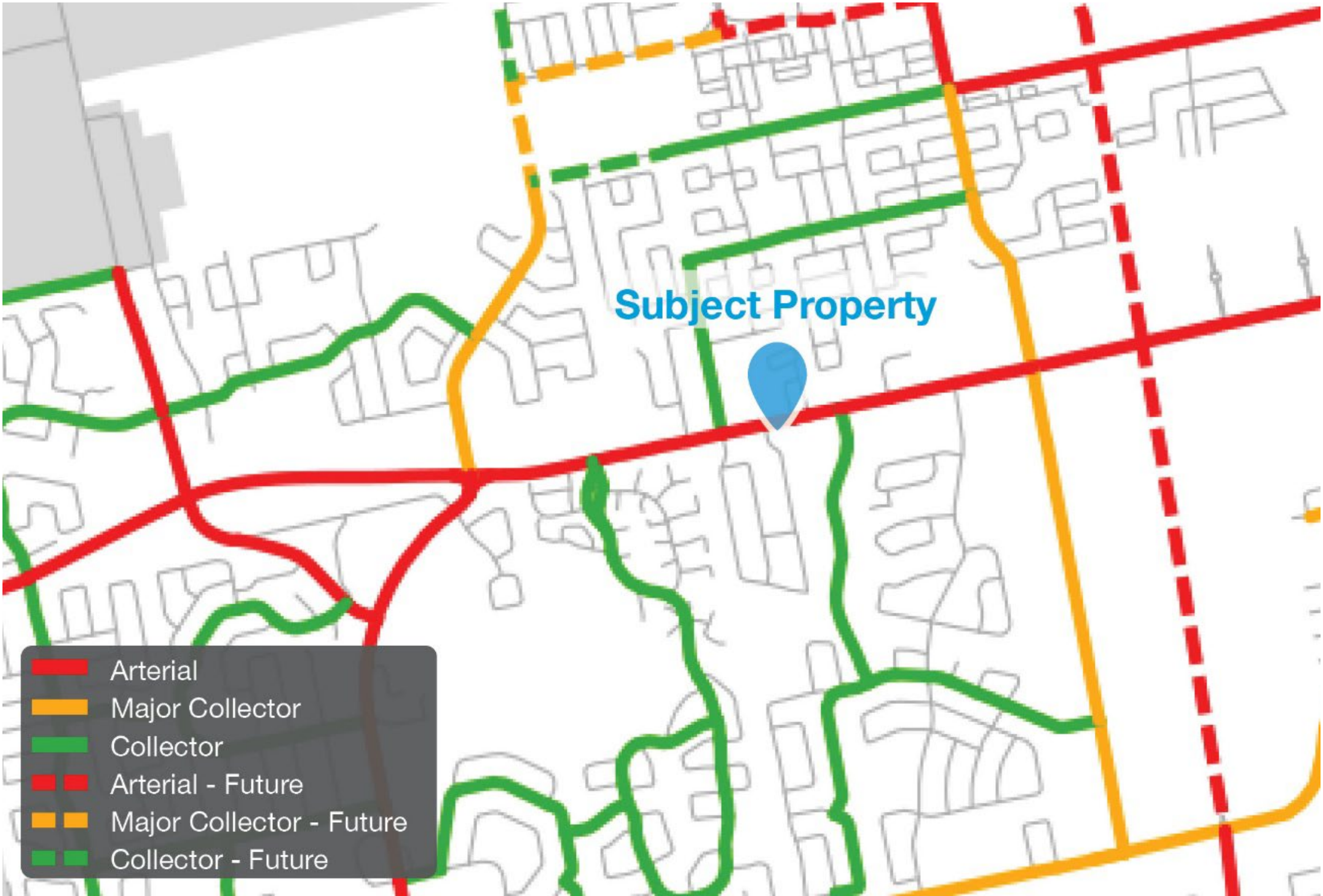The future Hazeldean LRT station is approximately 1.2km east.

Subject Property

Legend:
- Transit Priority Corridor
- O-Train Line
- Transitway Line
- Protected Transportation Corridor
- O-Train Station
- Transitway Station

Schedule C2 - Transit Network Ultimate

Official Plan - Road Network

Road Network

The subject site benefits from its location at the corner of Savage Drive, a Local Road, and Hazeldean Road, an Arterial Road. Approximately 2.5 kilometres to the east, Terry Fox Drive runs north-south and connects to Highway 417 via both eastbound and westbound ramps.


Legend:
- Arterial
- Major Collector
- Collector
- Arterial - Future
- Major Collector - Future
- Collector - Future

Subject Property

Schedule C4 - Urban Road Network

Official Plan - Active Transportation

Active Transportation Network

The subject site has reasonable access and connectivity to the local active transportation network. Hazeldean Road features bike lanes on both sides, connecting to additional cycling infrastructure along Iber Road and Terry Fox Drive. The Carleton Place Rail Corridor, and pathways within the surrounding residential neighbourhoods, amount to a well-connected active transportation system.


Subject Property

Legend:
- Corridor - Mainstreet
- Major Pathway
- Cross-town Bikeway
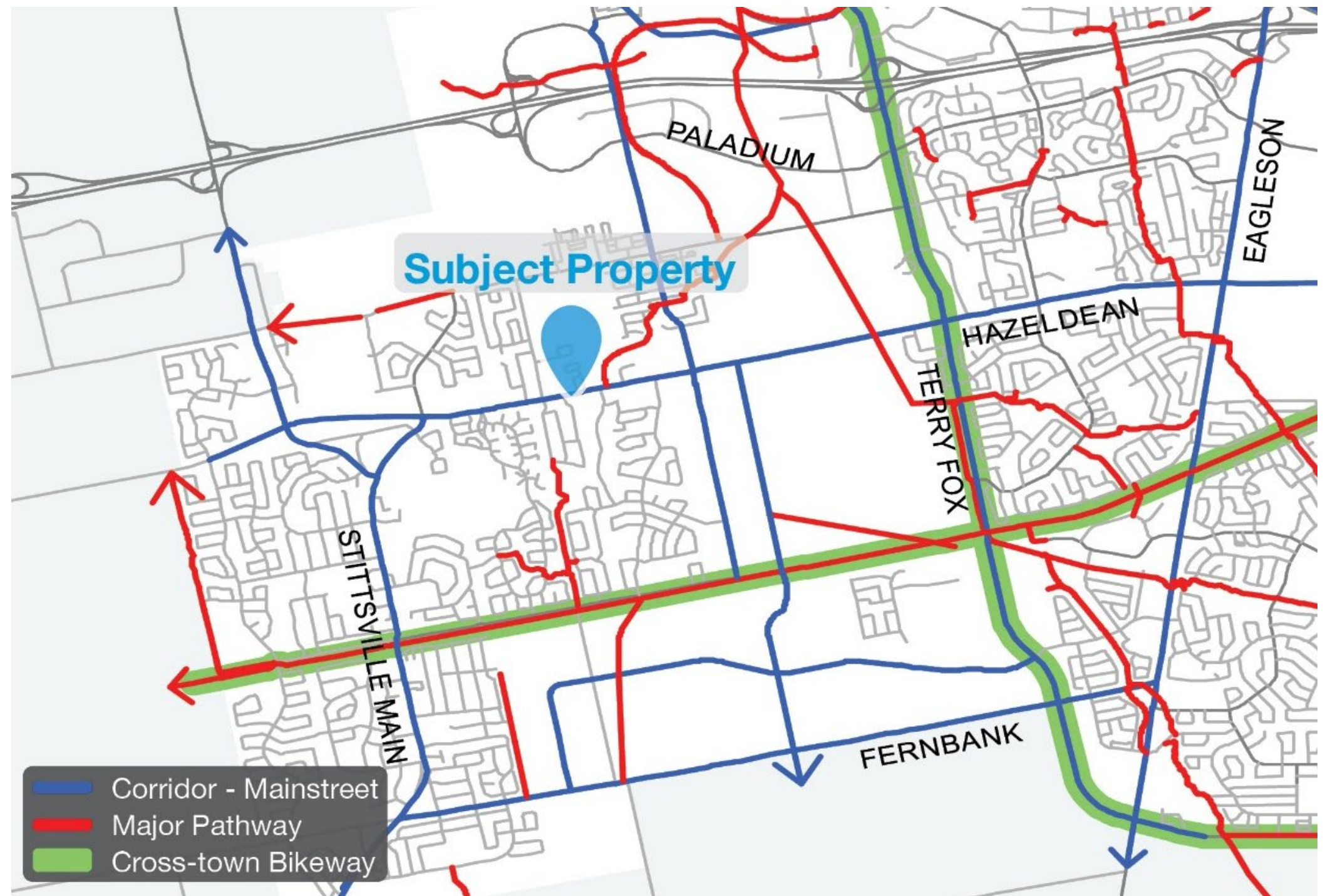
Transportation Master Plan - Map 1, Cycling Network

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City of Ottawa Official Plan - Suburban Transect

The subject property is in the **Suburban (West) Transect,** an area intended to evolve from a conventional suburban model into a 15-minute neighbourhood.

High-rise development is permitted along Mainstreet Corridors within the Suburban Transect.

Higher-density, mixed-use buildings are encouraged at strategic locations close to rapid transit.
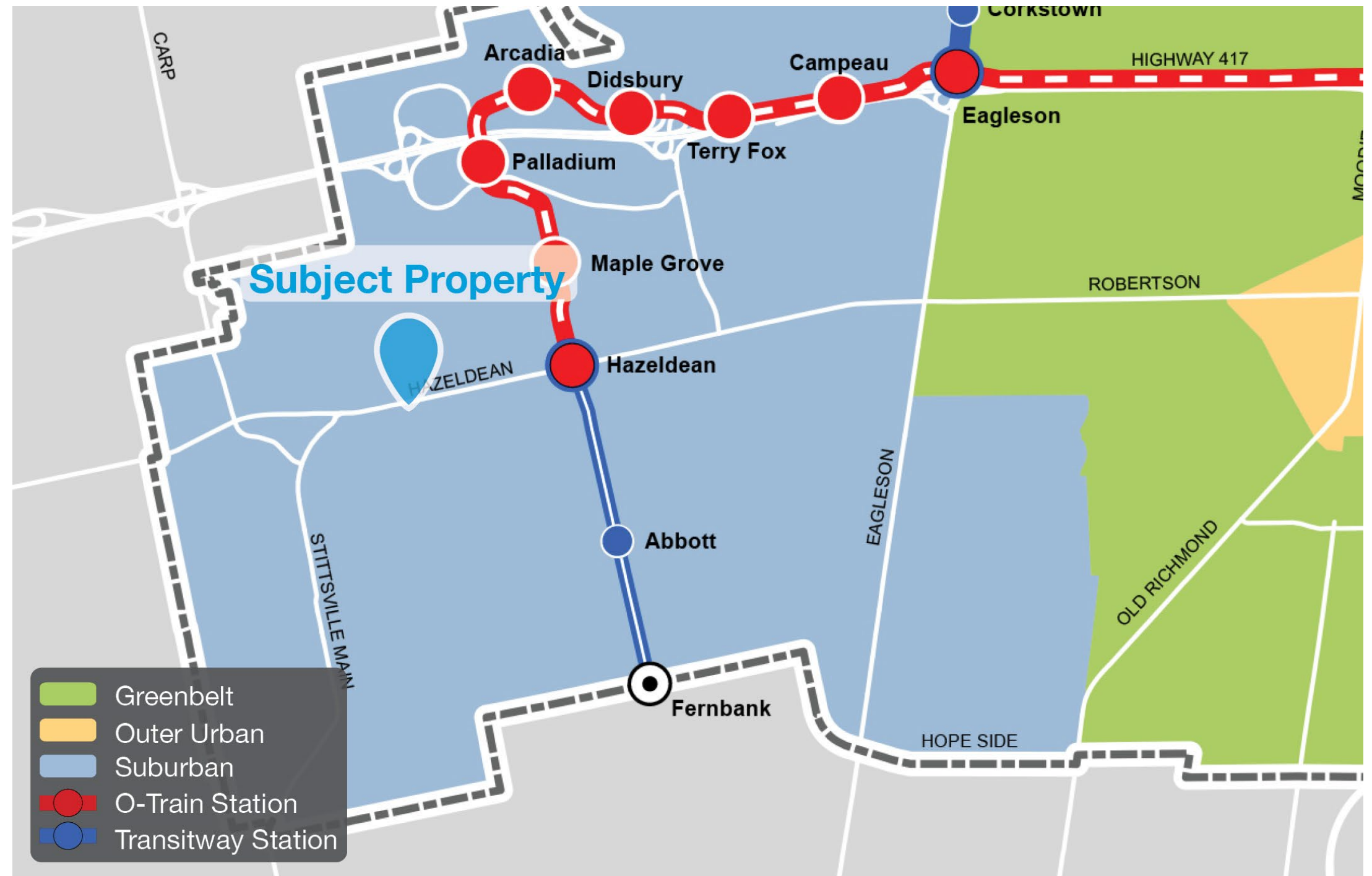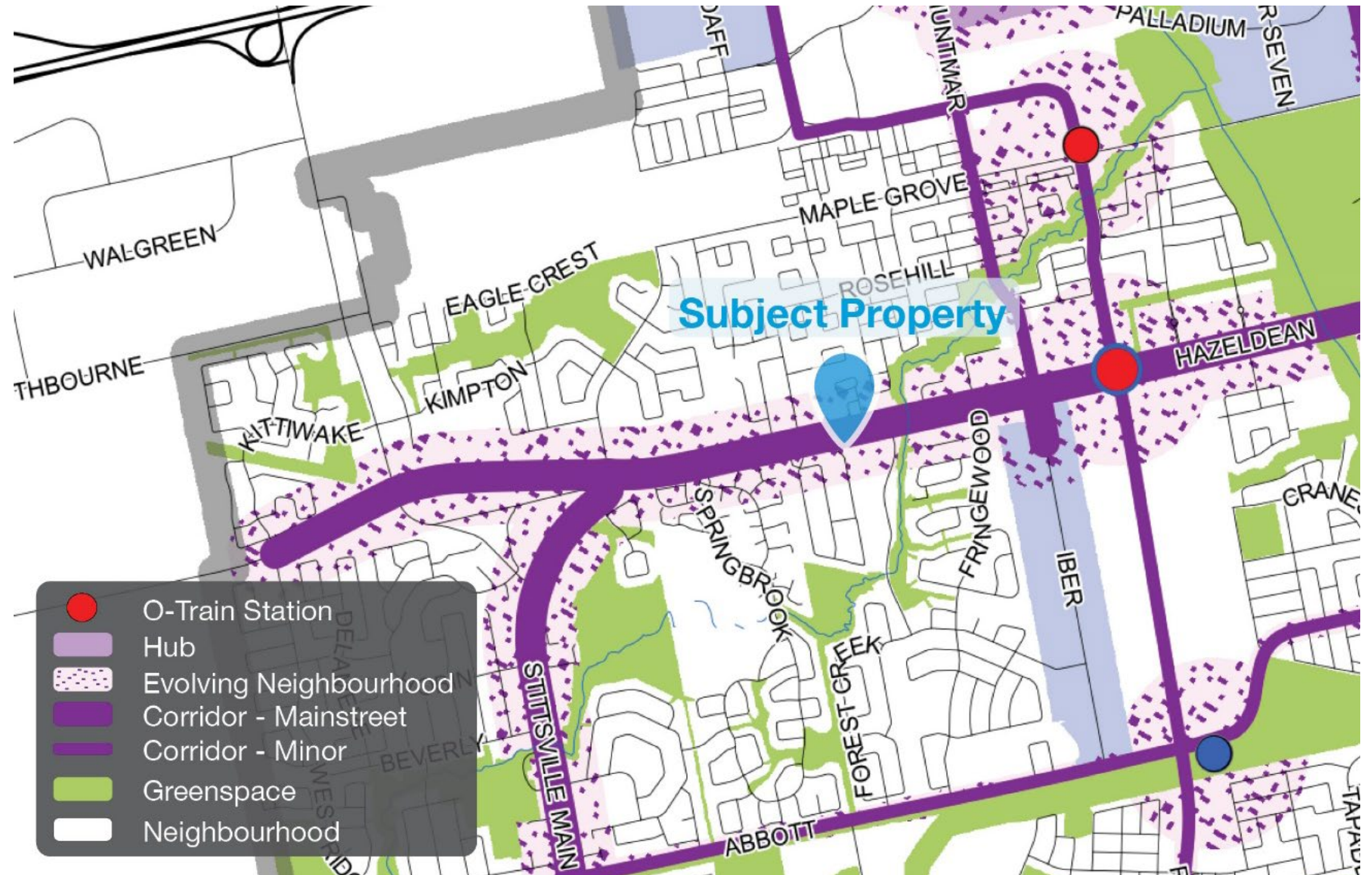

Schedule A - Transect Policy Area

Official Plan - Designation

The subject site is designated **Mainstreet Corridor** within the Suburban Transect.

Mainstreet Corridors, shall provide a **dense, mixed-use environment** with active entrances facing the Corridor.

Building heights **up to 40 storeys** are permitted along Mainstreet Corridors whose right-of-way is 30 metres or greater. This segment of Hazeldean Road has a 30m+ ROW.
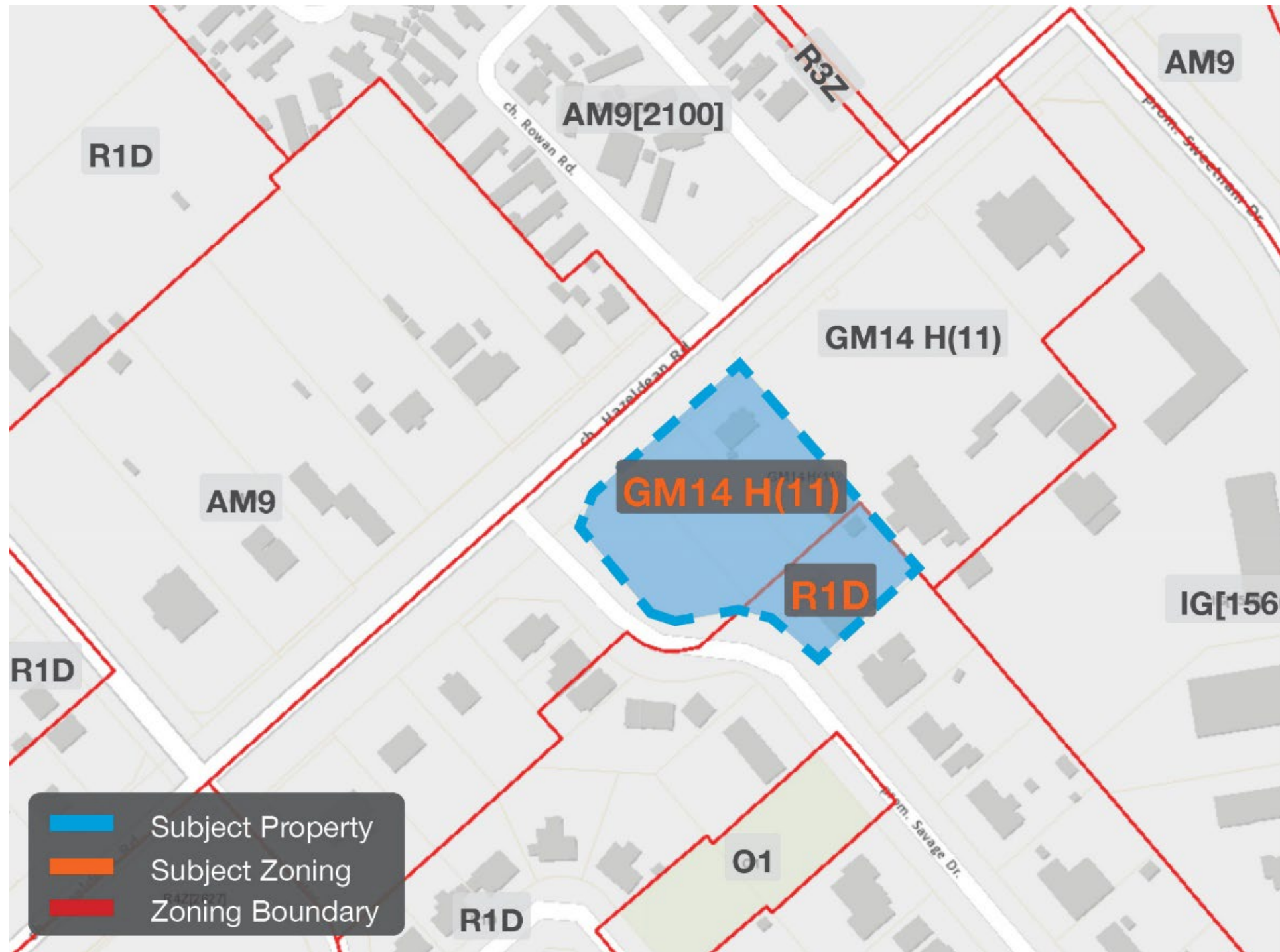

Schedule B5 – Suburban Transect

Legend:
- O-Train Station
- Hub
- Evolving Neighbourhood
- Corridor - Mainstreet
- Corridor - Minor
- Greenspace
- Neighbourhood

Official Plan - Planned Context

City of Ottawa Zoning By-law

The subject site is currently split zoned **GM14 H(11) – General Mixed-Use Zone, Subzone 14** and **R1D – Residential First Density Zone Subzone D**.

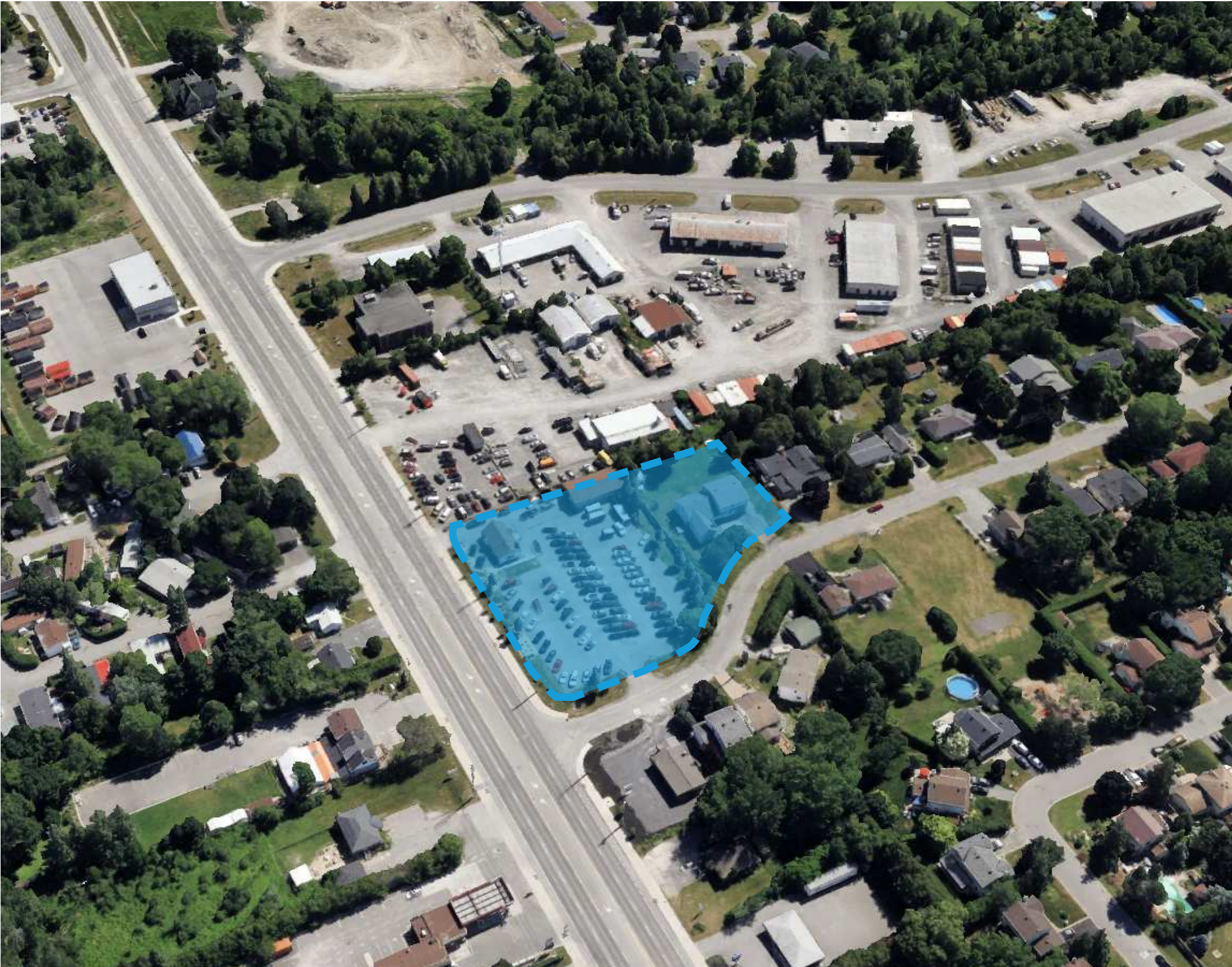The entirety of the subject property is proposed to be rezoned **GM[XXXX].**

Amendments are required to permit:

/ High-Rise Development;

/ Increased Floor Space Index (FSI);

/ Reduced Rear Yard Setback; and

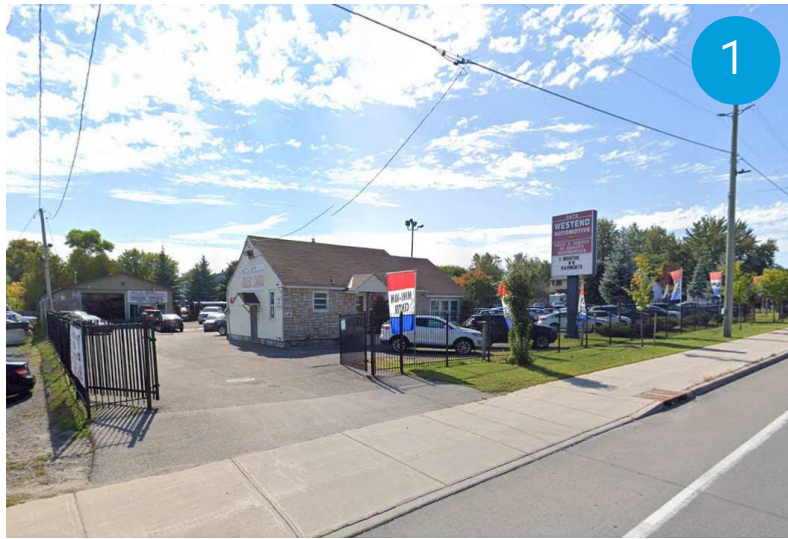/ Reduced Minimum Required Resident, Retail, and Visitor Parking Spaces.

Height Rationale

/ Mainstreet Corridor and large lot size support high-rise

/ Appropriate Transition/ Separation: Low-rise podium, tower placement, and ROW widths

/ Planned context supports high-rises (up to 40 storeys) along Mainstreets

/ <750 sq. m tower floorplate

/ Underused brownfield site

5872, 5880, 5884 Hazeldean Road & 7 Savage Drive

PROPERTY DESCRIPTION

REZONE DEVELOPMENT PROJECT

CITY OF OTTAWA PIN NUMBER	04462-0719, 04462-0733, 04462-0481 & 04462-0484
MUNICIPAL ADDRESS	5872, 5880, 5884 HAZELDEAN ROAD & 7 SAVAGE DRIVE

SITE INFORMATION

TOTAL SITE AREA:	5857 m²

SITE & ZONING	5872, 5880, 5884 HAZELDEAN ROAD	7 SAVAGE DRIVE	
ZONING TABLE	GM14 H(11)	R1D	
CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	REQUIRED	PROPOSED
MINIMUM LOT AREA	no minimum	600m²	5857 m²
MINIMUM LOT WIDTH	no minimum	20m	78m
MINIMUM FRONT YARD AND CORNER SIDE YARD SETBACK	3m	FY = 6m CSY = 4.5m	FY = BLDG A: 5.8m BLDG B: 4.4m CSY = BLDG A: 3m BLDG C: 4m
HYDRO SETBACK	6m	6m	6m
ROW WIDENING	37.5m	-	Provided
MINIMUM INTERIOR SIDE YARD SETBACK	1.2m	1m	BLDG B: 9.7m BLDG C: 3.9m
MINIMUM REAR YARD SETBACK	7.5m	9m	RY = BLDG A: 34.6m BLDG B: 40.2m BLDG C: 5m
MAXIMUM BUILDING HEIGHT	11m	11m (AREA C)	BLDG A: 60m BLDG B: 78m BLDG C: 13.5m
MAXIMUM LOT COVERAGE	-	40 %	43.7%
VEHICLE PARKING REQUIREMENTS (AREA C, SCHEDULE 1A)	1.2 PER UNIT = 547 SPOTS	1.2 PER UNIT = 547 SPOTS	148 SPOTS BELOW GRADE = 148 TOTAL
VISITOR PARKING REQUIREMENTS (AREA C, SCHEDULE 1A)	0.2 PER UNIT = 91 SPOTS	-	82 SPOTS BELOW GRADE 4 SURFACE PARKING = 86 TOTAL
AMENITY AREA REQUIREMENTS	6m² per unit (50% min. must be communal) TOWERS (BLDG A + B): 421 units x 6m² = 2736m² Min. 1263m² Communal	-	COMMUNAL: 1497m² BALCONIES: 2918m² TOTAL = 4415m²
BICYCLE PARKING SPACES	0.5 PER UNIT = 228 SPACES	-	319 SPACES

BUILDING INFORMATION

BUILDING AREA:	BLDG A: 1183m²	BLDG B: 1116m²	BLDG C: 672m²	
GROSS AREA (ABOVE GRADE):	BLDG A: 15,692.7m²	BLDG B: 20,015.5m²	BLDG C: 2597.2m²	TOTAL: 38,305.4m²
PROPOSED USE:	APARTMENT DWELLING, LOW-RISE AND TWO HIGH-RISE			
TOWER FLOOR PLATES:	BLDG A: 746.18m²	BLDG B: 749.73m²		
TOWER STEPBACKS FROM THE PODIUM:	BLDG A: Front = 2m Side = 2.5m		BLDG B: Front = 4m Side = 1.2m	

UNIT BREAKDOWN:

BUILDING A:	174 UNITS
BUILDING B:	247 UNITS
BUILDING C:	35 UNITS
TOTAL :	456 UNITS

TYPE	#	RATIO
1BD	249	54.61%
1BD+D	25	5.34%
2BD	144	31.58%
2BD+D	18	3.95%
STUDIO	20	4.39%

BUILDING A:			BUILDING B:			BUILDING C:		
TYPE	#	RATIO	TYPE	#	RATIO	TYPE	#	RATIO
1BD	94	54.02%	1BD	126	51.01%	1BD	29	82.86%
1BD+D	18	10.34%	1BD+D	4	1.62%	1BD+D	3	8.57%
2BD	44	25.30%	2BD	97	39.27%	2BD	3	8.57%
2BD+D	18	10.34%	2BD+D	-		2BD+D	-	
STUDIO	-		STUDIO	20	8.34%	STUDIO	-	
TOTAL: 174 UNITS			TOTAL: 247 UNITS			TOTAL: 35 UNITS		

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HAZELDEAN ROAD
PIN 04466-0088

SAVAGE DRIVE
PIN 04462-0205

BUILDING A
PROPOSED 19-STOREY
BUILDING
744 m2 (Tower)

BUILDING B
PROPOSED 25-STOREY
BUILDING
749.7 m2 (Tower)

BUILDING C
PROPOSED 4-STOREY
BUILDING

Figurr - Proposed Concept Site Plan

5872, 5880, 5884 Hazeldean Road &
7 Savage Drive Development
2428
September 2025

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View looking East Down
Hazeldean Road

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View looking North on
Savage Drive

View looking at Development
from Hazeldean

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View from Interior Courtyard

View from Interior Courtyard
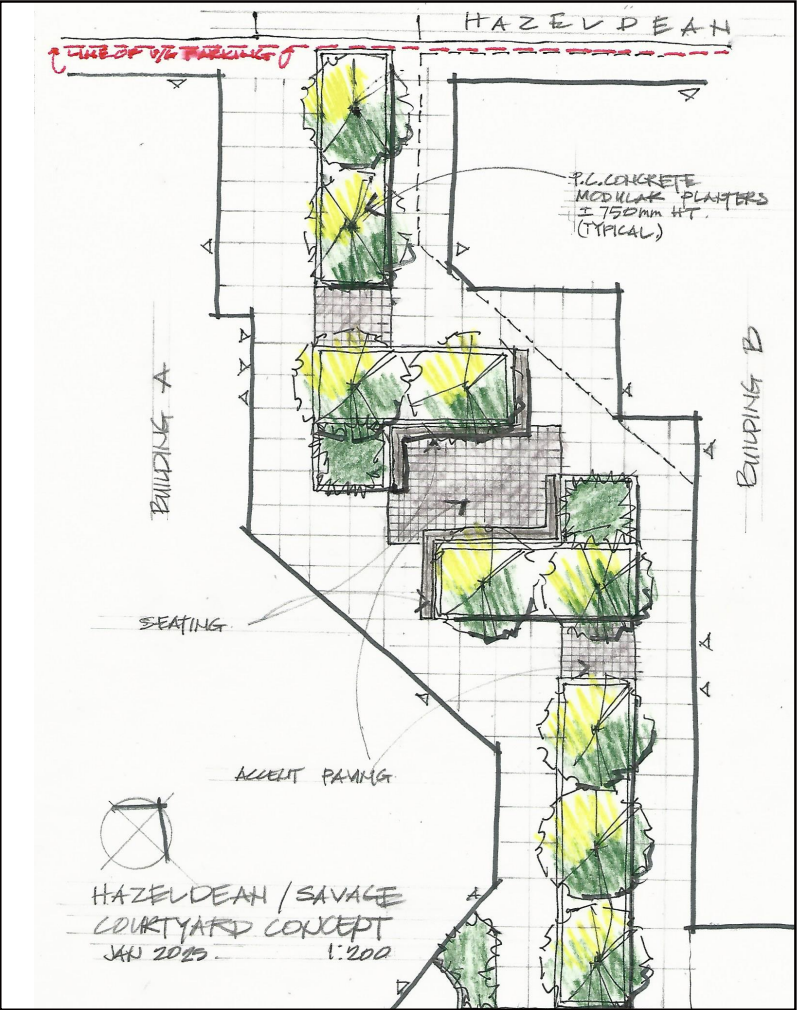
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LEGEND / SYMBOL

EXISTING TREE
TO BE RETAINED
(Refer to TCR)
CRZ (Critical Root Zone)

PROPOSED DECIDUOUS TREE

PROPOSED CONIFEROUS TREE

PROPOSED SHRUBS,
PERENNIALS, ORNAMENTAL GRASSES

PROPOSED UNIT PAVERS

PROPOSED BENCH (SEATING)

PROPOSED P.C. CONCRETE
SEGMENTAL PLANTER WALL

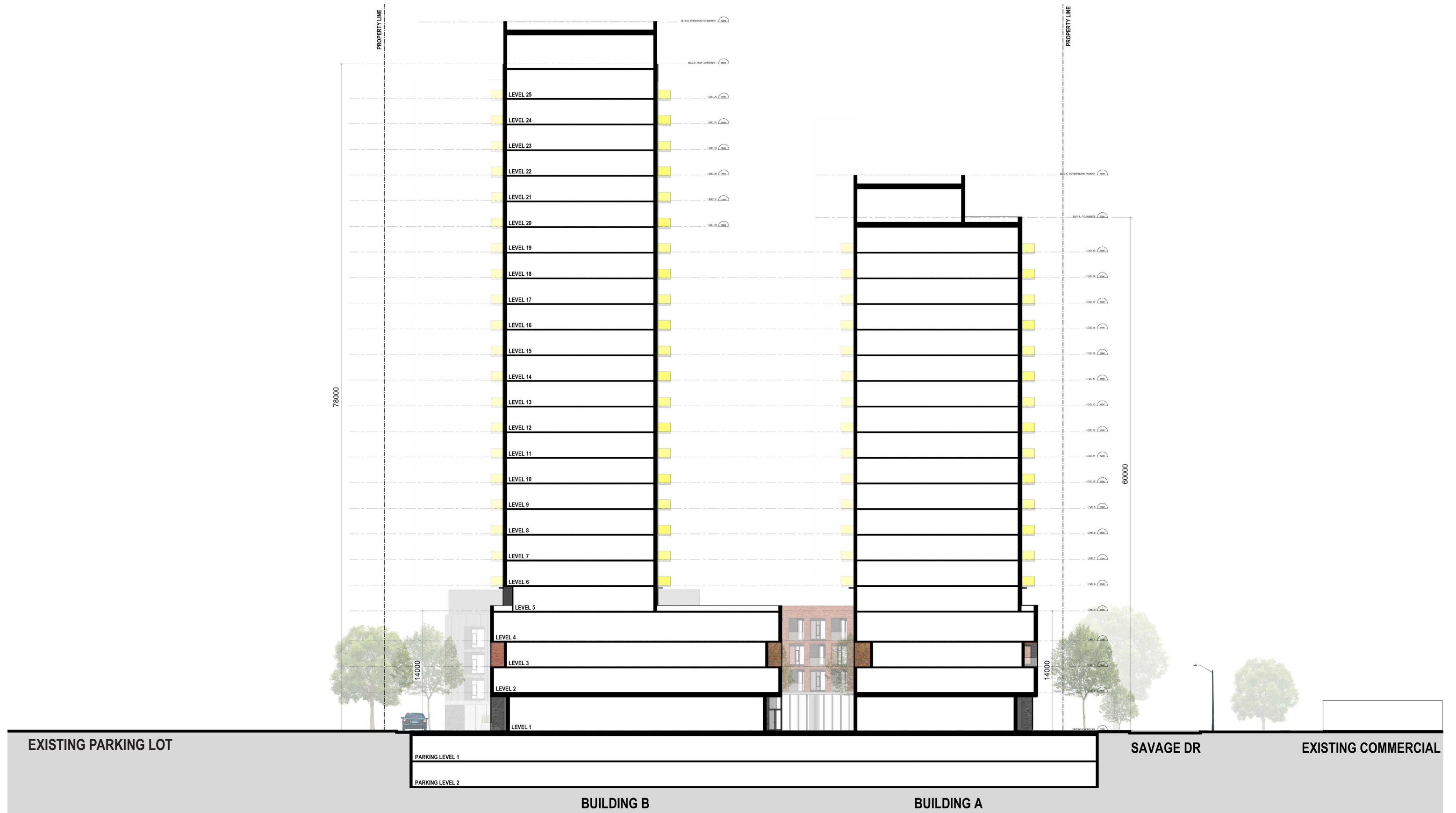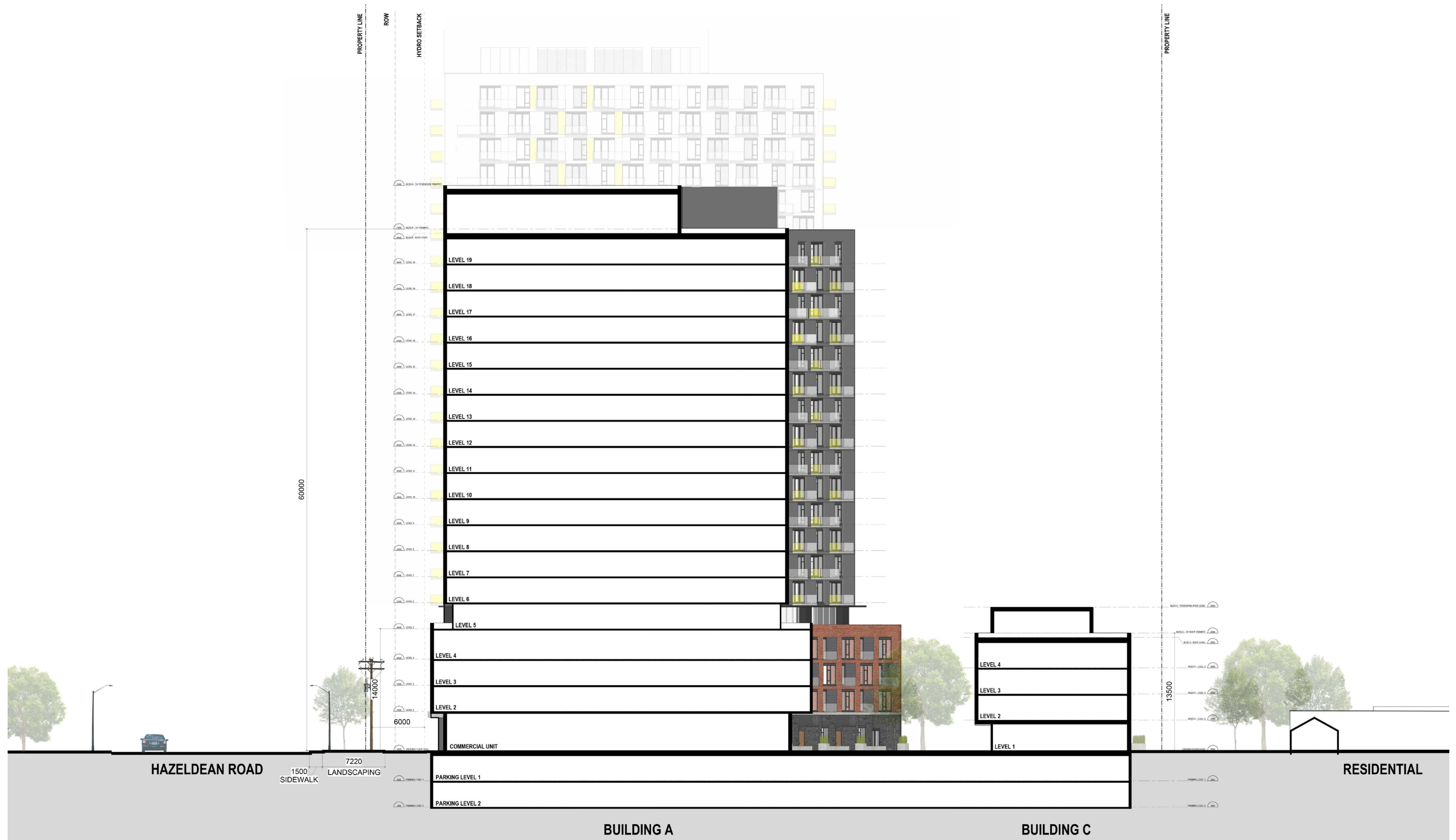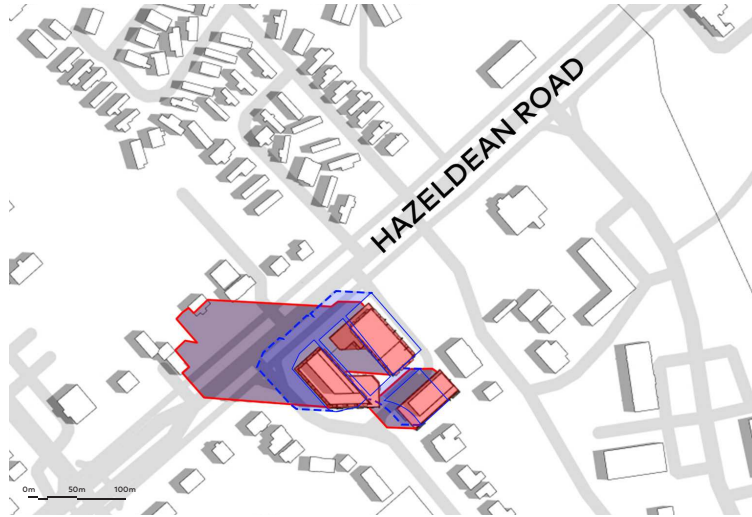SAVAGE DRIVE

BUILDING A
PROPOSED 19-STOREY
BUILDING

COURTYARD

BUILDING B
PROPOSED 25-STOREY
BUILDING

BUILDING C
PROPOSED 4-STOREY
BUILDING

SCALE 1:200

0 2 4 6 8 10 12 14 16m

HAZELDEAN

P.C. CONCRETE
MODULAR PLANTERS
± 750mm HT.
(TYPICAL)

BUILDING A

BUILDING B

SEATING

ACCENT PAVING

HAZELDEAN / SAVAGE
COURTYARD CONCEPT
JAN 2025   1:200

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Proposed Landscape Plan + Courtyard Sketch

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September 2025

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N

N

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N

N

Bldg B Roof Level

N

PROPERTY LINE

PROPERTY LINE

LEVEL 25
LEVEL 24
LEVEL 23
LEVEL 22
LEVEL 21
LEVEL 20
LEVEL 19
LEVEL 18
LEVEL 17
LEVEL 16
LEVEL 15
LEVEL 14
LEVEL 13
LEVEL 12
LEVEL 11
LEVEL 10
LEVEL 9
LEVEL 8
LEVEL 7
LEVEL 6
LEVEL 5
LEVEL 4
LEVEL 3
LEVEL 2
LEVEL 1

78000

14000

14000

60000

EXISTING PARKING LOT

SAVAGE DR

EXISTING COMMERCIAL

PARKING LEVEL 1
PARKING LEVEL 2

BUILDING B

BUILDING A

East-West Site Section

30

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PROPERTY LINE

ROW

HYDRO SETBACK

LEVEL 19

LEVEL 18

LEVEL 17

LEVEL 16

LEVEL 15

LEVEL 14

LEVEL 13

LEVEL 12

LEVEL 11

LEVEL 10

LEVEL 9

LEVEL 8

LEVEL 7

LEVEL 6

LEVEL 5

LEVEL 4

LEVEL 3

LEVEL 2

COMMERCIAL UNIT

PARKING LEVEL 1

PARKING LEVEL 2

60000

14000

6000

HAZELDEAN ROAD

1500 SIDEWALK

7220 LANDSCAPING

PROPERTY LINE

LEVEL 4

LEVEL 3

LEVEL 2

LEVEL 1

13500

RESIDENTIAL

BUILDING A

BUILDING C

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North-South Site Section

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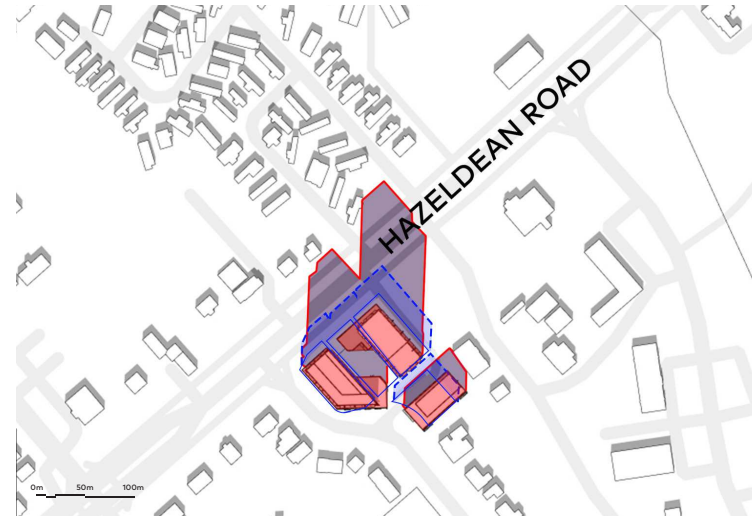2428
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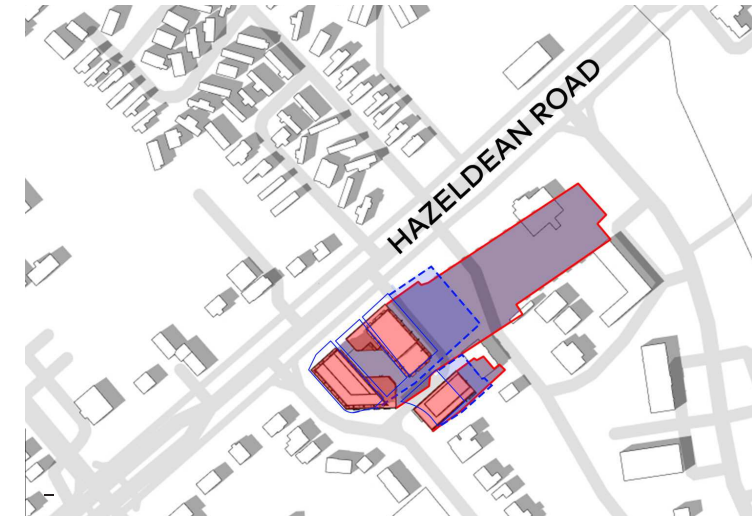
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June 21, 8am

June 21, 12pm
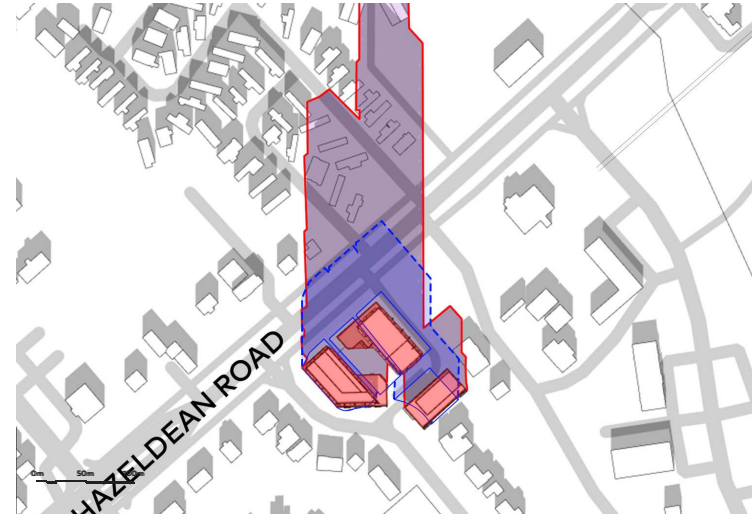
September 21, 8am
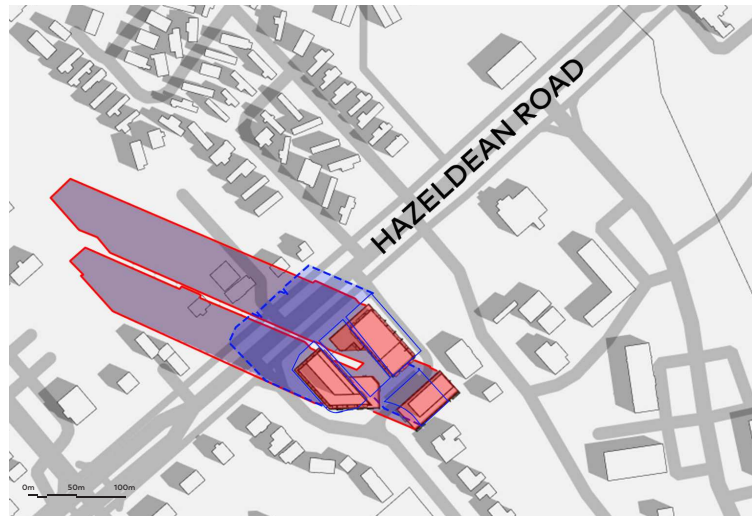
September 21, 12pm

September 21, 4pm

December 21, 9am

December 21, 12pm

December 21, 3:00pm