

Zoning Confirmation Report

258 Durocher

1

November 3, 2025

Annex 1 - Zoning Confirmation Report Checklist

A. Project Information				
Review Date	November 3, 2025		Official Plan Designation	Inner Urban Transect, Neighbourhood
Municipal Address(es)	258 Durocher Street		Legal Description	LOTS 1, 2, 3, 15, 16, 17 And PART OF LOTS 4 And 14 BLOCK C REGISTERED PLAN 113 CITY OF OTTAWA
Scope of Work	Zoning By-law Amendment			
Existing Zoning Code	I1A	By-law Number	2008-250	
Schedule 1 / 1A Area	X	Overlays Applicable	Evolving Neighbourhood	

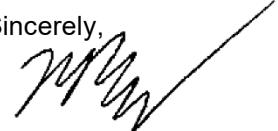
B. Zoning Review				
Zoning Provisions	By-law Requirement or Applicable Section, Exception or Schedule Reference	Proposal	Compliant (Y/N)	
Proposed Zone/Subzone	GM			
Principal Land Use(s)	Animal Hospital, Animal Care Establishment, Retail Store, Retail Food Store, Training Centre	Animal Hospital, Animal Care Establishment, Retail Store, Retail Food Store, Training Centre	Y	
Lot Width	No minimum	60.7 m	Y	
Lot Area	No minimum	3930.5 m ²	Y	
Front Yard Set Back <i>St. Paul St.</i>	3 m	7.7 m	Y	
Corner Side Yard Setback	3 m	12.4 m (Desrosiers) 13.8 m (Durocher)	Y	
Rear Yard Setback	7.5 m	29 m	Y	
Building Height	18 m	5 – 5.5 m	Y	
Maximum Floor Space Index	2	<2	Y	
Minimum Width of Landscaped Area	i) Abutting a Street	3 m	5.7 m (Durocher) 6.8 m (Desrosiers)	Y

B. Zoning Review				
Zoning Provisions		By-law Requirement or Applicable Section, Exception or Schedule Reference	Proposal	Compliant (Y/N)
Minimum Width of Landscaped Area	ii) Abutting a Residential Zone	3 m	3 m	Y
Required Parking Spaces Section 101 (Area X)		2 per 100 m ² of gross floor area (824 m ² /100) x 2 = 17 spaces	25 Spaces	Y
Size of Space Section 105 and 106		2.6 x 5.2 m	2.6 x 5.2 m	Y
Driveway Width Section 107		3 m for one way traffic	4 m	Y
Aisle Width Section 107		6 m	7 m	Y
Location of Parking Section 109		In the GM Zones no person may park a motor vehicle: a) in a required front yard; b) in a required corner side yard; or c) in the extension of a required corner side yard into a rear yard.	Parking is in the rear yard.	Y
Bicycle Parking Section 111		Using the highest bicycle parking rate of 1 per 250m ² of gross floor area for a Retail Food Store yields a minimum requirement of 3 bicycle parking spaces for the site.	6 spaces	Y

Conclusion

We trust that this information is satisfactory.

Sincerely,



Mark Ouseley, MES
Planner



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Associate