













**PROJECT INFORMATION**

Zoning By-law: 2008-250 Consolidation TM J.S. SITE AREA: 335 TWEEDSMUIR AVE. 2,485.1 m<sup>2</sup> 26,749 ft<sup>2</sup>

**ZONING**

REQUIRED	PROVIDED
6 STOREYS / 18.0m	29 STOREYS / 99.0m
4.5m = 300.0m <sup>2</sup>	4.5m = 300.0m <sup>2</sup>
7.6	7.6
ALLOWABLE PROJECTION - AMENITY LEVEL	
DENSITY - MAXIMUM FLOOR SPACE INDEX	0.0
DENSITY - UNITS PER HECTARE	0.0
FRONT YARD SETBACK - AVERAGE OF ADJACENT HOMES	1,336
HIGH-RISE BUILDING SETBACK - INTERIOR SIDE YARD	TBD
HIGH-RISE BUILDING SETBACK - REAR YARD	10.0m
TOTAL RESIDENTIAL UNIT COUNT	-
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	153
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT	30
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	159
AMBLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m
AMENITY AREA - TOTAL PER UNIT - 6.0m <sup>2</sup>	1,908.0m <sup>2</sup>
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m <sup>2</sup>	954.0m <sup>2</sup>
PARKLAND DEDICATION AREA - 10% RESIDENTIAL	4,325.0m <sup>2</sup>

**NOTATION SYMBOLS:**

- ROUTINE: INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- ASSEMBLY: INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- WINDOW: INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- DOOR: INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- DETAIL NUMBER: INDICATES DETAIL NUMBER.
- TITLE: INDICATES TITLE.
- SCALE: INDICATES SCALE.
- REFERENCE PAGE: INDICATES DETAIL REFERENCE PAGE.
- CROSS REFERENCE PAGE: INDICATES DETAIL CROSS REFERENCE PAGE.

**AMENITY SPACE**

GROUND FLOOR COMMUNAL INTERIOR	310.0 m <sup>2</sup>
AT GRADE COMMUNAL EXTERIOR	400.0 m <sup>2</sup>
5th FLOOR COMMUNAL INTERIOR	150.0 m <sup>2</sup>
5th FLOOR COMMUNAL EXTERIOR	190.0 m <sup>2</sup>
ROOF TOP COMMUNAL INTERIOR	165.0 m <sup>2</sup>
ROOF TOP COMMUNAL EXTERIOR	230.0 m <sup>2</sup>
PRIVATE BALCONIES	1,900.0 m <sup>2</sup>
PRIVATE TERRACE	980.0 m <sup>2</sup>
TOTAL	4,325.0 m <sup>2</sup>
TOTAL COMMUNAL	1,445.0 m <sup>2</sup>
REQUIRED - 6.0m <sup>2</sup> PER UNIT (158)	1,908.0 m <sup>2</sup>
REQUIRED COMMUNAL @ 50%	954.0 m <sup>2</sup>

**BUILDING STATISTICS**

GROSS BUILDING - AREA (CITY OF OTTAWA'S DEFINITION)	0.0 m <sup>2</sup>
PARKING LEVEL	0.0 ft <sup>2</sup>
GROUND FLOOR	0.0 ft <sup>2</sup>
MEZZANINE LEVEL	0.0 ft <sup>2</sup>
5th FLOOR	0.0 ft <sup>2</sup>
4th - 4th FLOOR	3 x 1,002.0 m <sup>2</sup>
TOTAL COMMUNAL	3,005.9 m <sup>2</sup>
REQUIRED - 6.0m <sup>2</sup> PER UNIT (158)	3 x 10,785.4 m <sup>2</sup>
5th FLOOR - AMENITY	265.8 m <sup>2</sup>
4th - 9th FLOOR	2,861 ft <sup>2</sup>
10th FLOOR	4 x 835.8 m <sup>2</sup>
11th - 29th FLOOR	521.4 m <sup>2</sup>
11th - 29th FLOOR	5,612 ft <sup>2</sup>
11th - 29th FLOOR	19 x 621.34 m <sup>2</sup>
11th - 29th FLOOR	11,805.4 m <sup>2</sup>
30th - AMENITY / MECHANICAL PENTHOUSE	12,077.2 ft <sup>2</sup>
TOTAL AREA	18,881.6 m <sup>2</sup>
TOWER FLOOR PLATE	263,240 ft <sup>2</sup>
TOWER BALCONY PROJECTIONS	770.9 m <sup>2</sup>

**WASTE REQUIREMENT**

GARBAGE	- 0.11 PER UNIT	35 YARDS
RECYCLING GMP	- 0.018 PER UNIT	6 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	12 YARDS
COMPOST	- 240L PER 50 UNITS	7

**LOT COVERAGE**

PARKLAND DEDICATION	780.4 m <sup>2</sup>	31.40%
PAVED SURFACE	17.9 m <sup>2</sup>	0.72%
BUILDING FOOTPRINT	1,007.7 m <sup>2</sup>	40.55%
LANDSCAPE OPEN SPACE	679.1 m <sup>2</sup>	27.33%
TOTAL	2,485.1 m <sup>2</sup>	100.00%

**UNIT STATISTICS**

STUDIO UNIT	22.0%	70
1 BEDROOM UNIT	24.8%	79
1 BEDROOM + DEN UNIT	29.6%	94
2 BEDROOM UNIT	11.3%	36
2 BEDROOM + DEN UNIT	10.4%	33
3 BEDROOM UNIT	1.9%	6
TOTAL	100%	318

**CAR PARKING**

REQUIRED by ZONING BY-LAW	
RESIDENCE	- 0.5 PER UNIT AFTER 12
VISITOR	- 0.1 PER UNIT AFTER 12 (MAX 30 PER BLDG.)
TOTAL	183

**PROVIDED**

RESIDENCE	- 0.38 PER UNIT
VISITOR	- 0.1 PER UNIT
TOTAL	152

**LOCATION**

P4 U/G PARKING LEVEL	
P3 U/G PARKING LEVEL	
P2 U/G PARKING LEVEL	
P1 U/G PARKING LEVEL	
TOTAL	152

**BICYCLE PARKING**

REQUIRED	- 0.5 PER UNIT
RESIDENCE	- 0.5 PER UNIT
TOTAL	159

**PROVIDED**

RESIDENCE - INTERIOR	- 0.5 PER UNIT
RESIDENCE - EXTERIOR	- TO BE REVIEWED BY LANDSCAPE ARCH
TOTAL	322

**LOCATION**

P4 U/G PARKING LEVEL	
P3 U/G PARKING LEVEL	
P2 U/G PARKING LEVEL	
P1 U/G PARKING LEVEL	
GROUND FLOOR	
MEZZANINE LEVEL	
TOTAL	322

**NOTES:**

- ISSUED FOR OPA & ZBLA APPLICATION 2025 12 12
- UPDATED AS PER CIVIL COORDINATION 2025 12 09
- GENERAL REVISION: ISSUED FOR REVIEW 2025 09 12
- ISSUED FOR OWNER / CONSULTANT REVIEW 2025 07 17
- ISSUED FOR OWNER / CONSULTANT REVIEW 2025 07 17
- No. DESCRIPTION DATE
- REVISIONS:
- ARCHITECT: rla/architecture roderick lahey architect inc. 56 beach street, ottawa, ontario K1S 3J6 t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca
- PROJECT TITLE: 1994 SCOTT STREET
- LOCATION: P4 U/G PARKING LEVEL P3 U/G PARKING LEVEL P2 U/G PARKING LEVEL P1 U/G PARKING LEVEL GROUND FLOOR MEZZANINE LEVEL TOTAL 322
- ARCHITECT: rla/architecture roderick lahey architect inc. 56 beach street, ottawa, ontario K1S 3J6 t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca
- PROJECT TITLE: 1994 SCOTT STREET BUDG. - C
- DRAWN: R.V. CHECKED: F.R.
- SCALE: 1:125 SHEET No. 2409
- SP-5