



PROJECT INFORMATION			
Zoning By-law: 2008-250 Consolidation		TM (102) R4UB	SITE AREA: 1994 SCOTT ST. 2,265.4 m ² 24,385 ft ²
			SITE AREA: 324 TWEEDSMUIR AVE. 1,332.9 m ² 14,347 ft ²
SITE AREA: TOTAL ALL PARCELS		0.77 ha 7,733.7 m ² 83,245 ft ²	SITE AREA: 330 ATHLONE AVE. 1,650.3 m ² 17,764 ft ²
			SITE AREA: 335 TWEEDSMUIR AVE. 2,485.1 m ² 26,749 ft ²
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT	BUILDING 'A1'	6 STOREY'S / 18.0m	40 STOREY'S / 136.0m
	BUILDING 'A2'	15.0m	4 STOREY'S / 15.0m
	BUILDING 'B'	15.0m	29 STOREY'S / 99.0m
	BUILDING 'C'	15.0m	29 STOREY'S / 99.0m
ALLOWABLE PROJECTION - AMENITY LEVEL		--	6.5m + 300.0m ²
DENSITY - MAXIMUM FLOOR SPACE INDEX		--	8.32
DENSITY - UNITS PER HECTARE		--	1,566
MINIMUM LOT AREA (CORNER AND INTERIOR LOTS)		1,150.0m ² & 1,350.0m ²	----
HIGH-RISE BUILDING SETBACK - INTERIOR SIDE AND REAR YARD		10.0m	----
TOTAL RESIDENTIAL UNIT COUNT		--	1,206
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT		PARKING AREA "Y"	579
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT			91
PARKING - COMMERCIAL (VARIES WITH USE) - 1.0 to 10.0 PER 100m ² GFA			0
PARKING - RESIDENTIAL (MAXIMUM NEAR RAPID TRANSIT STATIONS) 1.75 PER UNIT		2,111	472
PARKING - COMMERCIAL (MAXIMUM NEAR RAPID TRANSIT STATIONS) 3.6 PER 100m ² GFA		28	42
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		545	1,273
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA		3	6
aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH		6.0m	6.0m
AMENITY AREA - TOTAL PER UNIT - 6.0m ²		7,236.0m ²	10,420m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²		3,618.0m ²	5,000m ²
PARKLAND DEDICATION AREA - 10% RESIDENTIAL / 2% COMMERCIAL		773.4m ²	780.4 m ²

NOTATION SYMBOLS:	
(N)	INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
(S)	INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
(W)	INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.
(D)	INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.
(C)	DETAIL NUMBER
(R)	TITLE
(B)	NOTE
(P)	DETAIL REFERENCE PAGE
(C)	DETAIL CROSS REFERENCE PAGE

BUILDING STATISTICS	
BUILDING 'A1' - 40 Storey's	
GROSS BUILDING AREA (CITY OF OTTAWA ZONING AREA)	27,315.5 m ²
TOWER FOOTPRINT	294,022 ft ²
UNIT COUNT	555
VEHICLE PARKING	294 + 19 313
BICYCLE PARKING	542 + 8 550
COMMERCIAL AREA	466.6 m ² 5,023 ft ²
BUILDING 'A2' - 4 Storey's	
GROSS BUILDING AREA (CITY OF OTTAWA ZONING AREA)	2,321.9 m ²
TOWER FOOTPRINT	24,993 ft ²
UNIT COUNT	43
VEHICLE PARKING	0 + 0 0
BICYCLE PARKING	65 + 2 67
COMMERCIAL AREA	0 m ² 0 ft ²
BUILDING 'B' - 29 Storey's	
TOTAL BUILDING AREA (CITY OF OTTAWA ZONING AREA)	15,852.2 m ²
TOWER FOOTPRINT	170,632 ft ²
UNIT COUNT	290
VEHICLE PARKING - RESIDENTIAL ONLY	144 + 0 144
BICYCLE PARKING	318 + 14 332
COMMERCIAL / AMENITY AREA	321.9 m ² 3,465 ft ²
BUILDING 'C' - 29 Storey's	
TOTAL AREA (CITY OF OTTAWA ZONING AREA)	18,881.6 m ²
TOWER FOOTPRINT	203,240 ft ²
UNIT COUNT	318
VEHICLE PARKING - RESIDENTIAL ONLY	152 + 0 152
BICYCLE PARKING	322 + 0 322
COMMERCIAL AREA	0 m ² 0 ft ²
BUILDING AREA (CITY OF OTTAWA ZONING AREA)	
BUILDING 'A'	27,315.5 m ²
BUILDING 'A1'	294,022 ft ²
BUILDING 'B'	15,852.2 m ²
BUILDING 'C'	18,881.6 m ²
TOTAL AREA ABOVE GRADE	64,310.6 m ² 692,235 ft ²

UNIT MIX	
STUDIO UNIT	142 6 82 70 24.9%
1 BEDROOM UNIT	263 11 88 79 38.2%
2 BEDROOM UNIT	104 10 30 36 14.9%
3 BEDROOM UNIT	6 0 4 6 1.3%
TOTAL UNITS	555 43 290 318 1,206
COMMERCIAL AREA	788.6 sq. m. 8,488 sq. ft.

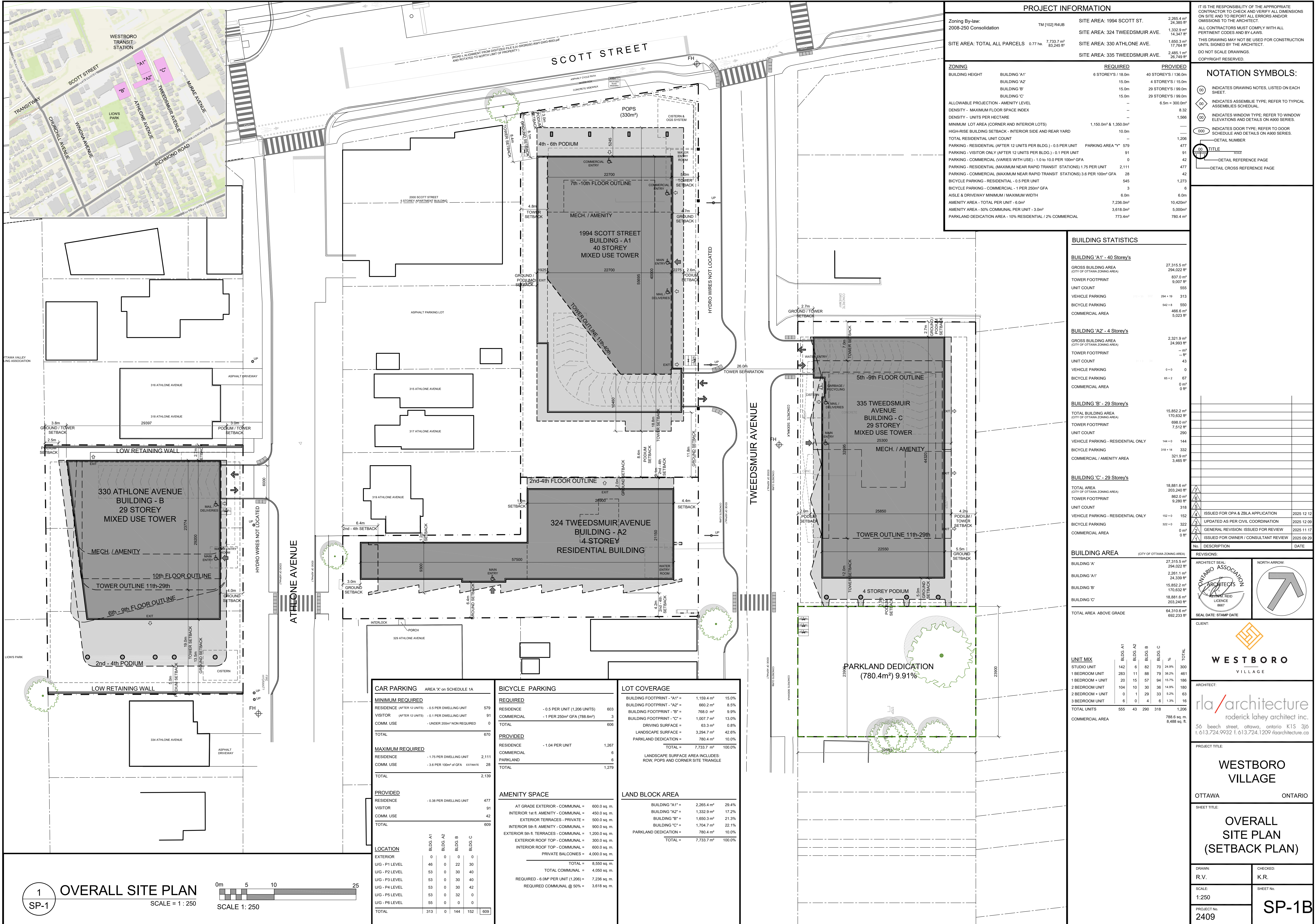
ARCHITECT:	rla / architecture
PROJECT TITLE:	WESTBORO VILLAGE
OTTAWA	ONTARIO
SHEET TITLE:	OVERALL SITE PLAN
DRAWN:	R.V.
CHECKED:	K.R.
SCALE:	1:250
SHEET No.	SP-1
PROJECT No.	2409

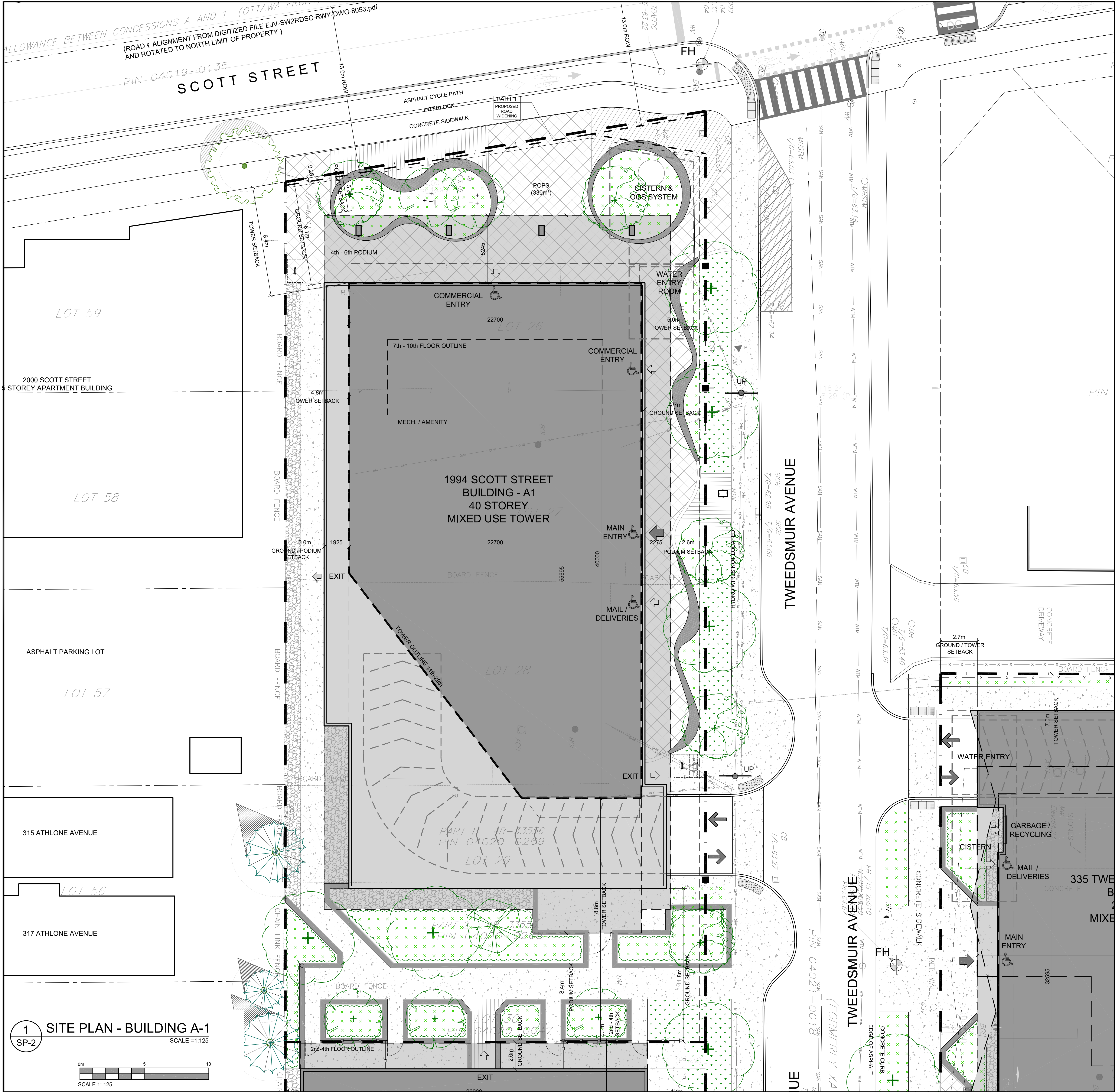
CAR PARKING	
MINIMUM REQUIRED	AREA "X" on SCHEDULE 1A
RESIDENCE (AFTER 12 UNITS)	0.5 PER DWELLING UNIT 579
VISITOR (AFTER 12 UNITS)	0.1 PER DWELLING UNIT 91
COMM. USE	UNDER 200m ² NON REQUIRED 0
TOTAL	670
MAXIMUM REQUIRED	
RESIDENCE	1.75 PER DWELLING UNIT 2,111
COMM. USE	3.6 PER 100m ² OF GFA ESTIMATE 28
TOTAL	2,139
PROVIDED	
RESIDENCE	0.38 PER DWELLING UNIT 477
VISITOR	91
COMM. USE	42
TOTAL	609
LOCATION	
EXTERIOR	0 0 0 0 0
UIG - P1 LEVEL	46 0 22 30 40
UIG - P2 LEVEL	53 0 30 30 40
UIG - P3 LEVEL	53 0 30 40
UIG - P4 LEVEL	53 0 30 42
UIG - P5 LEVEL	53 0 32 0
UIG - P6 LEVEL	55 0 0 0
TOTAL	313 0 144 152 609

BICYCLE PARKING	
REQUIRED	
RESIDENCE	0.5 PER UNIT (1,206 UNITS) 603
COMMERCIAL	1 PER 250m ² GFA (788.6m ²) 3
TOTAL	606
PROVIDED	
RESIDENCE	1.04 PER UNIT 1,267
COMMERCIAL	6
PARKLAND	6
TOTAL	1,279
AMENITY SPACE	
AT GRADE EXTERIOR - COMMUNAL	600.0 sq. m.
INTERIOR 1st fl. AMENITY - COMMUNAL	450.0 sq. m.
EXTERIOR TERRACES - PRIVATE	500.0 sq. m.
INTERIOR 5th fl. AMENITY - COMMUNAL	900.0 sq. m.
EXTERIOR 5th fl. TERRACES - COMMUNAL	1,200.0 sq. m.
EXTERIOR ROOF TOP - COMMUNAL	300.0 sq. m.
INTERIOR ROOF TOP - COMMUNAL	600.0 sq. m.
PRIVATE BALCONIES	4,000.0 sq. m.
TOTAL	8,550.0 sq. m.
TOTAL COMMUNAL	4,050.0 sq. m.
REQUIRED - 6.0m ² PER UNIT (1,206)	7,236.0 sq. m.
REQUIRED COMMUNAL @ 50%	3,618.0 sq. m.

LOT COVERAGE	
BUILDING FOOTPRINT - "A1"	1,158.4 m ² 15.0%
BUILDING FOOTPRINT - "A2"	660.2 m ² 8.5%
BUILDING FOOTPRINT - "B"	768.0 m ² 9.9%
BUILDING FOOTPRINT - "C"	1,007.7 m ² 13.0%
DRIVING SURFACE	63.3 m ² 0.8%
LANDSCAPE SURFACE	3,294.7 m ² 42.6%
PARKLAND DEDICATION	780.4 m ² 10.0%
TOTAL	7,733.7 m ² 100.0%
LANDSCAPE SURFACE AREA INCLUDES: ROW, POPS AND CORNER SITE TRIANGLE	

LAND BLOCK AREA	
BUILDING "A1"	2,285.4 m ² 29.4%
BUILDING "A2"	1,332.9 m ² 17.2%
BUILDING "B"	1,650.3 m ² 21.3%
BUILDING "C"	1,704.7 m ² 22.1%
PARKLAND DEDICATION	780.4 m ² 10.0%
TOTAL	7,733.7 m ² 100.0%





PROJECT INFORMATION			
Zoning By-law:	2008-250 Consolidation	SITE AREA: 1994 SCOTT STREET	2,265.4 m ² 24,385 ft ²
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT	BUILDING 'A1'	6 STOREYS / 18.0m	40 STOREYS / 136.0m
ALLOWABLE PROJECTION - ROOF TOP AMENITY LEVEL		0.0m	6.5m = 300.0m ²
DENSITY - MAXIMUM FLOOR SPACE INDEX		0.0	12.1
DENSITY - UNITS PER HECTARE		—	2,450
TOWER FOOTPRINT (GUIDELINE ONLY) NOT INCLUDES BALCONIES		750m ²	790.6m ²
FRONT YARD SETBACK		TBD	3.0m
CORNER YARD SETBACK		TBD	2.6m
HIGH-RISE BUILDING SETBACK - INTERIOR SIDE YARD		10.0m	3.0m
HIGH-RISE BUILDING SETBACK - REAR YARD		10.0m	8.4m
TOTAL RESIDENTIAL UNIT COUNT		-	555
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	ZONING AREA 'A'	272	264
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG. MAX. 30) - 0.1 PER UNIT		30	30
PARKING - COMMERCIAL (NOT REQUIRED FOR UNITS UNDER 500m ²)		0	19
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		278	550
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² G.F.A.	TO BE REVIEWED BY LANDSCAPE ARCHT.	2	2
WALKWAY MINIMUM / MAXIMUM WIDTH		6.0m	6.0m
AMENITY AREA - TOTAL PER UNIT - 6.0m ²		3,330.0m ²	3,340.0m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²		1,665.0m ²	1,980.0m ²

AMENITY SPACE		BUILDING STATISTICS	
7th FLOOR COMMUNAL INTERIOR = 800.0 m ²		GROSS BUILDING - AREA	
7th FLOOR COMMUNAL TERRACE = 260.0 m ²		(CITY OF OTTAWA'S DEFINITION)	
11th FLOOR COMMUNAL INTERIOR = 220.0 m ²		PARKING LEVEL	
11th FLOOR COMMUNAL TERRACE = 260.0 m ²		GROUND FLOOR	
ROOF TOP COMMUNAL TERRACE = 290.0 m ²		MEZZANINE LEVEL	
ROOF TOP COMMUNAL TERRACE = 150.0 m ²		2nd & 3rd FLOOR	
PRIVATE BALCONIES = 1,360.0 m ²		4th - 6th FLOOR	
TOTAL = 3,340.0 m ²		7th FLOOR - AMENITY	
TOTAL COMMUNAL = 1,980.0 m ²		8th - 10th FLOOR	
REQUIRED - 6.0m ² PER UNIT (555) = 3,330.0 m ²		11th FLOOR - AMENITY	
REQUIRED COMMUNAL @ 50% = 1,665.0 m ²		12th - 40th FLOOR	
		ROOF TOP AMENITY / MECHANICAL	
		TOTAL AREA	
		TOWER FLOOR PLATE	
		TOWER BALCONY PROJECTIONS	

WASTE REQUIREMENT		LOT COVERAGE	
GARBAGE	- 0.11 PER UNIT	61 YARDS	
RECYCLING GMP	- 0.018 PER UNIT	10 YARDS	
RECYCLING FIBER	- 0.038 PER UNIT	21 YARDS	
COMPOST	- 240L PER 50 UNITS	11	
		CORNER SITE TRIANGLE	
		ROW	
		POPS	
		PAVED SURFACE	
		BUILDING FOOTPRINT	
		LANDSCAPE OPEN SPACE	
		TOTAL	

CAR PARKING		UNIT STATISTICS	
RESIDENCE		STUDIO UNIT	
VISITOR		1 BEDROOM UNIT	
COMMERCIAL		1 BEDROOM + DEN UNIT	
		2 BEDROOM UNIT	
		2 BEDROOM + DEN UNIT	
		3 BEDROOM UNIT	
		TOTAL	
		RESIDENTIAL AREA	
		COMMERCIAL AREA	
		CITY OF OTTAWA'S DEFINITION	

BICYCLE PARKING		LOCATION	
RESIDENCE		P6 U/G PARKING LEVEL	
COMMERCIAL		P5 U/G PARKING LEVEL	
		P4 U/G PARKING LEVEL	
		P3 U/G PARKING LEVEL	
		P2 U/G PARKING LEVEL	
		P1 U/G PARKING LEVEL	
		TOTAL	
		P6 U/G PARKING LEVEL	
		P5 U/G PARKING LEVEL	
		P4 U/G PARKING LEVEL	
		P3 U/G PARKING LEVEL	
		P2 U/G PARKING LEVEL	
		P1 U/G PARKING LEVEL	
		TOTAL	

BICYCLE PARKING		LOCATION	
RESIDENCE		P4 U/G PARKING LEVEL	
COMMERCIAL		P3 U/G PARKING LEVEL	
		P2 U/G PARKING LEVEL	
		P1 U/G PARKING LEVEL	
		GROUND FLOOR	
		MEZZANINE LEVEL	
		EXTERIOR AT GRADE	
		TOTAL	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

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INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

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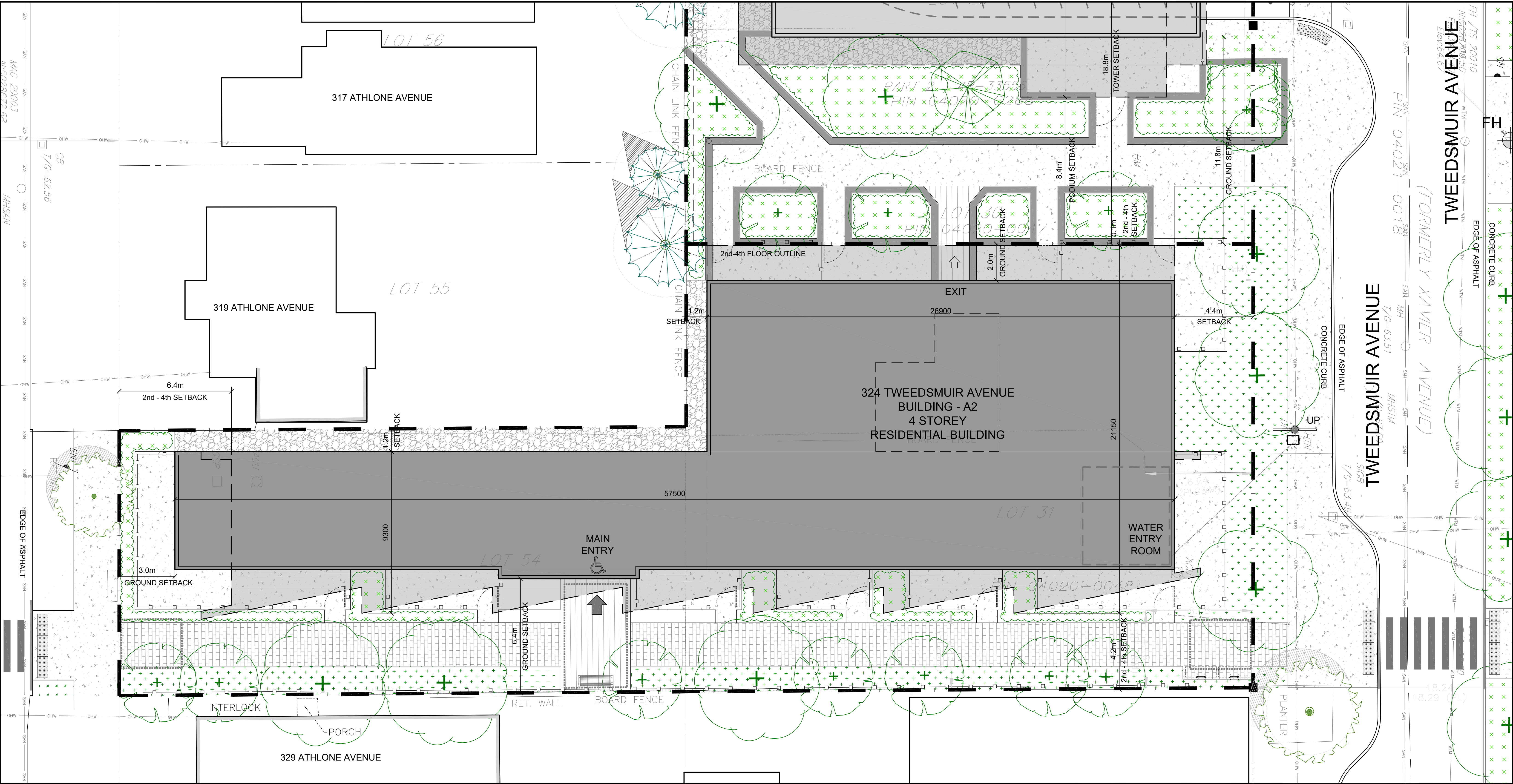
DETAIL NUMBER

TITLE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

ISSUED FOR OPA & ZBLA APPLICATION	2025 12 12
UPDATED AS PER CIVIL COORDINATION	2025 12 09
GENERAL REVISION: ISSUED FOR REVIEW	2025 11 17
ISSUED FOR OWNER / CONSULTANT REVIEW	2025 09 12
ISSUED FOR OWNER / CONSULTANT REVIEW	2025 07 04
DESCRIPTION	DATE
ARCHITECT SEAL:	NORTH ARROW:
CLIENT:	
ARCHITECT:	
PROJECT TITLE:	
1994 SCOTT STREET	
OTTAWA	ONTARIO
SHEET TITLE:	
SITE PLAN	
1994 SCOTT STREET	
BUDG. - A1	
DRAWN:	CHECKED:
R.V.	F.R.
SCALE:	SHEET No.
1:125	
PROJECT No.	
2409	
SP-2	



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5	ISSUED FOR OWNER / CONSULTANT REVIEW	2025 07 17

REVISIONS:

ARCHITECT SEAL:

SEAL DATE: STAMP DATE

NORTH ARROW:

1 SITE PLAN: BUILDING A-2
SCALE = 1:100

SCALE 1: 100

PAPER SIZE: ISO_B1_(707.00_x_1000.00_MM)

PLOT DATE: Thursday, December 11, 2025

PLOT SCALE: 1:1

PEN STYLE: 0-RLA-MASTER-100%.ctb

AMENITY SPACE		
GROUND FLOOR PRIVATE TERRACE =	200.0 m²	
ROOF TOP COMMUNAL TERRACE =	240.0 m²	
PRIVATE BALCONIES =	70.0 m²	
TOTAL =	510.0 m²	
TOTAL COMMUNAL =	240.0 m²	
REQUIRED - 6.0m² PER UNIT (43) =	258.0 m²	
REQUIRED COMMUNAL @ 50% =	129.0 m²	
WASTE REQUIREMENT		
GARBAGE	- 0.11 PER UNIT	5 YARDS
RECYCLING GMP	- 0.018 PER UNIT	1 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	2 YARDS
COMPOST	- 240L PER 50 UNITS	1
LOT COVERAGE		
PAVED SURFACE	0.0 m²	0.00%
BUILDING FOOTPRINT	660.2 m²	49.53%
LANDSCAPE OPEN SPACE	672.7 m²	50.47%
TOTAL	1,332.9 m²	100.0%

CAR PARKING		
REQUIRED by ZONING BY-LAW		
RESIDENCE	- 0.5 PER DWELLING UNIT AFTER 12	16
VISITOR	- 0.1 PER DWELLING UNIT AFTER 12	3
TOTAL		19
PROVIDED		
RESIDENCE	- 0.0 PER UNIT	0
VISITOR	- 0.0 PER UNIT	0
TOTAL		0
BICYCLE PARKING		
REQUIRED		
RESIDENCE	- 0.5 PER UNIT	22
PROVIDED		
RESIDENCE - INTERIOR	- 0.5 PER UNIT	65
RESIDENCE - EXTERIOR	- TO BE REVIEWED BY LANDSCAPE ARCH	2
TOTAL		67

BUILDING STATISTICS		
GROSS BUILDING - AREA		
(CITY OF OTTAWA'S DEFINITION)		
GROUND FLOOR	475.8 m²	5,121 ft²
2nd FLOOR	615.4 m²	6,624 ft²
3rd - 4th FLOOR	2 x 615.4m²	1,230.8 m²
5th FLOOR - AMENITY	2 x 6,624 ft²	13,248 ft²
TOTAL AREA	2,332.0 m²	24,993 ft²
UNIT STATISTICS		
STUDIO UNIT	14.0%	6
1 BEDROOM UNIT	25.6%	11
1 BEDROOM + DEN UNIT	34.9%	15
2 BEDROOM UNIT	23.2%	10
2 BEDROOM + DEN UNIT	2.3%	1
3 BEDROOM UNIT	0%	0
TOTAL	100%	43

PROJECT INFORMATION			
Zoning By-law:	R4UB	SITE AREA: 324 TWEEDSMUIR AVENUE	1,332.9 m² 14,347 ft²
2008-250 Consolidation			
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT	BUILDING 'A-2'	11.0m	4 STOREYS / 15.0m
ALLOWABLE PROJECTION - AMENITY LEVEL		0.0m	4.5m + 200.0m²
FRONT YARD SETBACK		TBD	4.4m
INTERIOR SIDE YARD SETBACK (VARIES)		1.5m	0.1m / 4.2m
REAR YARD SETBACK (30% OF LOT DEPTH)		19.56m	3.0m
SOFT LANDSCAPE AREA: FRONT YARD (40%)		40% (46m²)	45% (52m²)
TOTAL RESIDENTIAL UNIT COUNT		-	43
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	ZONING AREA X	16	0
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT		3	0
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		22	67
AMENITY AREA - TOTAL PER UNIT - 6.0m²		258.0 m²	550.0 m²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m²		129.0 m²	275.0 m²
PARKLAND DEDICATION AREA - 10% RESIDENTIAL		149.1 m²	149.1 m²

CLIENT:

ARCHITECT:

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t: 613.724.9932 f: 613.724.1209 rlaarchitecture.ca

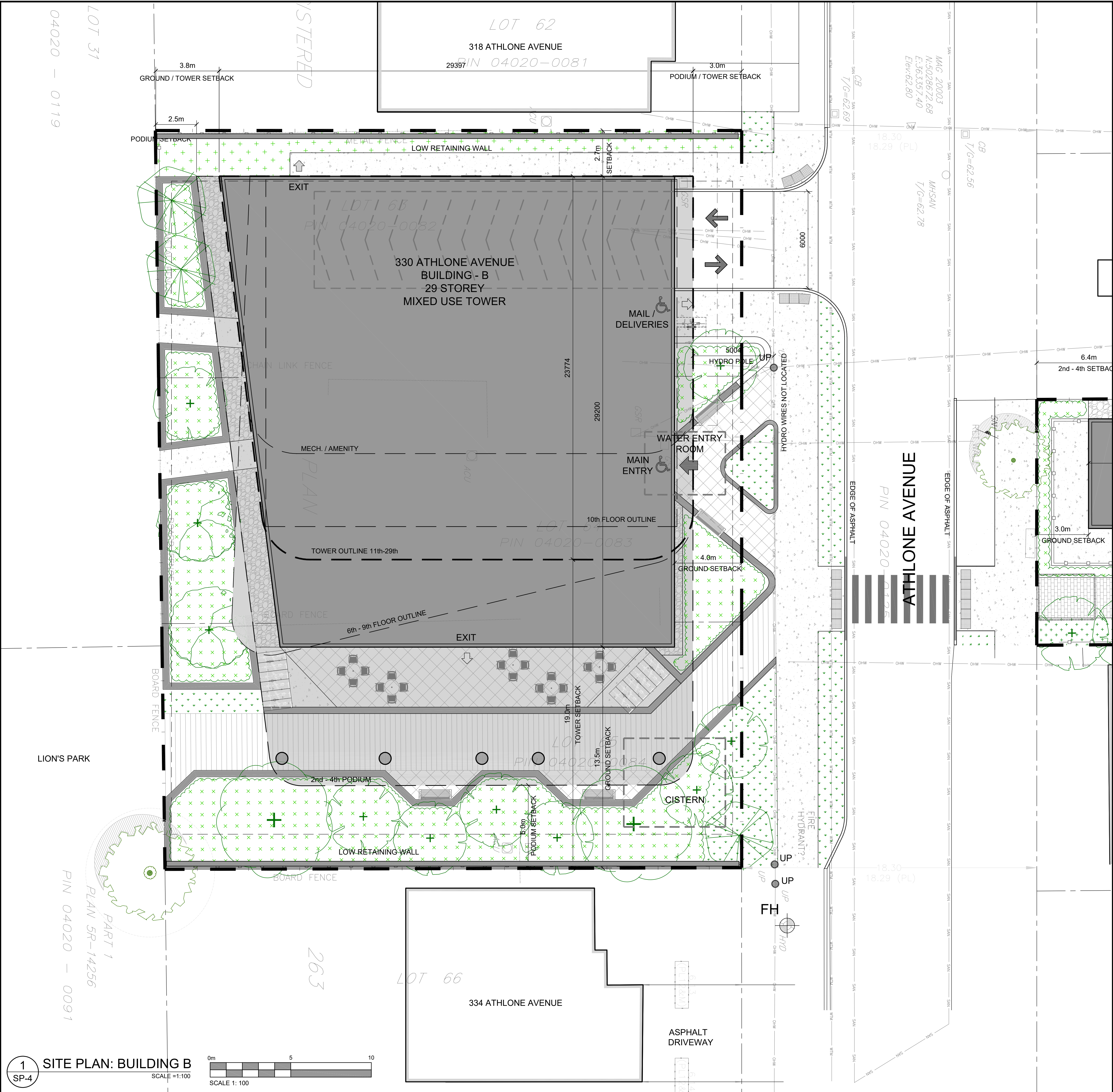
PROJECT TITLE: **1994 SCOTT STREET**

OTTAWA ONTARIO

SHEET TITLE: **SITE PLAN**

324 TWEEDSMUIR AVENUE
BUDG. A-2

DRAWN: R.V. CHECKED: R.V.
SCALE: 1:100 SHEET No.
PROJECT No: **SP-3**
2409



PROJECT INFORMATION

Zoning By-law: 2008-250 Consolidation

ZONING

	REQUIRED	PROVIDED
BUILDING HEIGHT	11.0m	29 STOREYS / 99.0m
ALLOWABLE PROJECTION - ROOF TOP AMENITY LEVEL	0.0m	4.5m = 300.0 m ²
DENSITY - MAXIMUM FLOOR SPACE INDEX	0.0	9.6
DENSITY - UNITS PER HECTARE	—	1,488
TOWER FOOTPRINT (GUIDELINE ONLY) NOT INCLUDES BALCONIES	750 m ²	660.0 m ²
FRONT YARD SETBACK	TBD	3.0m
HIGH-RISE BUILDING SETBACK - INTERIOR SIDE YARD	10.0m	2.7m / 5.0m
HIGH-RISE BUILDING SETBACK - REAR YARD	10.0m	3.8m
TOTAL RESIDENTIAL UNIT COUNT	-	290
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	139	116
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT	28	28
PARKING - COMMERCIAL (2.5 / 10 PER 100m ² GFA) - FOR UNITS ABOVE 200m ² GFA	0	0
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	145	328
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA	2	4
AMENITY AREA - TOTAL PER UNIT - 6.0m ²	1,740.0 m ²	2,205.0 m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²	870.0 m ²	1,335.0 m ²
PARKLAND DEDICATION AREA - 10% RESIDENTIAL	165.0 m ²	165.0 m ²

AMENITY SPACE

GROUND FLOOR COMMUNAL INTERIOR =	270.0 m ²
AT GRADE COMMUNAL EXTERIOR =	300.0 m ²
5th FLOOR COMMUNAL INTERIOR =	230.0 m ²
5th FLOOR COMMUNAL TERRACE =	225.0 m ²
ROOF TOP COMMUNAL TERRACE =	200.0 m ²
ROOF TOP COMMUNAL TERRACE =	110.0 m ²
PRIVATE BALCONIES =	700.0 m ²
PRIVATE TERRACE =	170.0 m ²
TOTAL =	2,205.0 m²
TOTAL COMMUNAL =	1,335.0 m²
REQUIRED - 6.0m ² PER UNIT (290)	1,740.0 m ²
REQUIRED COMMUNAL @ 50% =	870.0 m ²

BUILDING STATISTICS

GROSS BUILDING - AREA
(CITY OF OTTAWA'S DEFINITION)

PARKING LEVEL	0.0 m ²
GROUND FLOOR	0 m ²
MEZZANINE LEVEL	0.0 m ²
2nd - 4th FLOOR	3 x 891.50 m ² = 2,674.5 m ²
5th FLOOR - AMENITY	3 x 9,596 m ² = 28,788 m ²
6th - 9th FLOOR	4 x 614.9m ² = 2,459.7 m ²
10th FLOOR	4 x 6,619 m ² = 26,476 m ²
11th - 29th FLOOR	19 x 526.76 m ² = 10,008.4 m ²
ROOF TOP AMENITY / MECHANICAL	19 x 5,670 m ² = 107,730 m ²
TOTAL AREA	15,852.2 m²
TOTAL AREA	170,632 m²
TOWER FLOOR PLATE	660.0 m ²
TOWER BALCONY PROJECTIONS	37.9 m ²

UNIT STATISTICS

STUDIO UNIT	28.3%	82
1 BEDROOM UNIT	30.3%	88
1 BEDROOM + DEN UNIT	19.7%	57
2 BEDROOM UNIT	10.3%	30
2 BEDROOM + DEN UNIT	10.0%	29
3 BEDROOM UNIT	1.4%	4
TOTAL	100%	290
RESIDENTIAL AREA	15,859.6 m ²	167,580 m ²
COMMERCIAL AREA	282.6 m ²	7,104 m ²
CITY OF OTTAWA'S DEFINITION	3,042 m ²	

CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.5 PER UNIT AFTER 12	139
VISITOR	- 0.1 PER UNIT AFTER 12, MAX. 30	28
COMMERCIAL	- NOT REQUIRED FOR SMALL UNITS	0
TOTAL		167
PROVIDED		
RESIDENCE	- 0.4 PER UNIT	116
VISITOR	- 0.1 PER UNIT	28
COMMERCIAL		0
TOTAL		144
LOCATION		
P5 U/G PARKING LEVEL		32
P4 U/G PARKING LEVEL		30
P3 U/G PARKING LEVEL		30
P2 U/G PARKING LEVEL		30
P1 U/G PARKING LEVEL		22
TOTAL		144
BICYCLE PARKING		
REQUIRED		
RESIDENCE	- 0.5 PER UNIT	145
COMMERCIAL	- 1.0 PER 250m ² OF G.F.A.	4
TOTAL		149
PROVIDED		
RESIDENCE - INTERIOR	- 0.5 PER UNIT	319
RESIDENCE - EXTERIOR		10
COMMERCIAL		4
TOTAL		332
LOCATION		
P4 U/G PARKING LEVEL		74
P4 U/G PARKING LEVEL		40
P3 U/G PARKING LEVEL		40
P2 U/G PARKING LEVEL		40
P1 U/G PARKING LEVEL		0
GROUND FLOOR - EXTERIOR		14
MEZZANINE LEVEL		124
TOTAL		332

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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NOTATION SYMBOLS:

(N) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

(A) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

(W) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

(D) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

(#) - DETAIL NUMBER

(#) - TITLE

(#) - DETAIL REFERENCE PAGE

(#) - DETAIL CROSS REFERENCE PAGE

CLIENT:

WESTBORO VILLAGE

ARCHITECT:

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PROJECT TITLE:

1994 SCOTT STREET

OTTAWA **ONTARIO**

SHEET TITLE:

SITE PLAN

330 ATHLONE AVENUE
BUDG. - B

DRAWN:

R.V.

CHECKED:

K.R.

SCALE:

1:100

PROJECT No:

2409

SHEET No:

SP-4

PAPER SIZE: ISO_B1_(707.00_x_1000.00_MM)

PLOT DATE: Thursday, December 11, 2025

PLOT SCALE: 1:1

PEN STYLE: 0-RLA-MASTER-100%.ctb

F:\2024\2409 - 1994 Scott St OPA (Westboro Village)\01 Design Development\01 Site Plan\2409 SP-1 Site Plan 2025 12 08.dwg

City Plan #

