

# Zoning Confirmation Report

**Prepared for** Park River Properties  
**Prepared by** Stantec Consulting Ltd.  
**Date** December 12, 2025

**Location** 1994 Scott Street (includes 18 assembled properties)  
**Applications** Official Plan and Zoning By-law Amendments  
**City File No.** TBD  
**Zoning** TM[102] and R4UB



December 12, 2025

Stantec Consulting Ltd.



Table 1. Regulatory Framework

Parcel and Municipal Address	Zoning By-law 2008-250	Official Plan	
		Volume 1	Volume 2A – Richmond Road / Westboro Secondary Plan
<b>PARCEL A1</b> 1994 Scott St. 306 Tweedsmuir Ave. 314 Tweedsmuir Ave. 316 Tweedsmuir Ave. 318 Tweedsmuir Ave. 320 Tweedsmuir Ave. 324 Tweedsmuir Ave.	TM[102] TM[102] R4UB R4UB R4UB R4UB R4UB	Schedule B2 – Inner Urban Transect: Mainstreet Corridor Schedule B2 – Inner Urban Transect: Mainstreet Corridor	Schedule A – Planning Area Sectors: 5 and NA  Schedule C – Maximum Building Height: 4 to 6 storeys and unspecified (assumed low-rise)
<b>PARCEL A2</b> 324 Tweedsmuir Ave. 328 Tweedsmuir Ave. 327 Athlone Ave.	R4UB R4UB R4UB		
<b>PARCEL B</b> 322 Athlone Ave. 326 Athlone Ave. 330 Athlone Ave.	R4UB R4UB R4UB	Schedule B2 – Inner Urban Transect: Neighbourhood subject to Evolving Neighbourhood Overlay	Schedule A – Planning Area Sectors: NA but nearest 5  Schedule C – Maximum Building Height: unspecified (assumed low-rise)
<b>PARCEL C</b> 317 Tweedsmuir Ave. 321 Tweedsmuir Ave. 323 Tweedsmuir Ave. 327 Tweedsmuir Ave. 333 Tweedsmuir Ave. 335 Tweedsmuir Ave.	R4UB R4UB R4UB R4UB R4UB R4UB	Schedule B2 – Inner Urban Transect: Neighbourhood subject to Evolving Neighbourhood Overlay	Schedule A – Planning Area Sectors: NA but nearest 5  Schedule C – Maximum Building Height: unspecified (assumed low-rise)
Additional Notes: 1) Schedule C16 – Road Classification and Rights-of-Way Protection <ul style="list-style-type: none"> <li>– Scott Street (Arterial): 26 m protected ROW</li> <li>– Tweedsmuir Avenue (Local): 18 m protected ROW (unspecified)</li> <li>– Athlone Avenue (Local): 18 m protected ROW (unspecified)</li> </ul>			

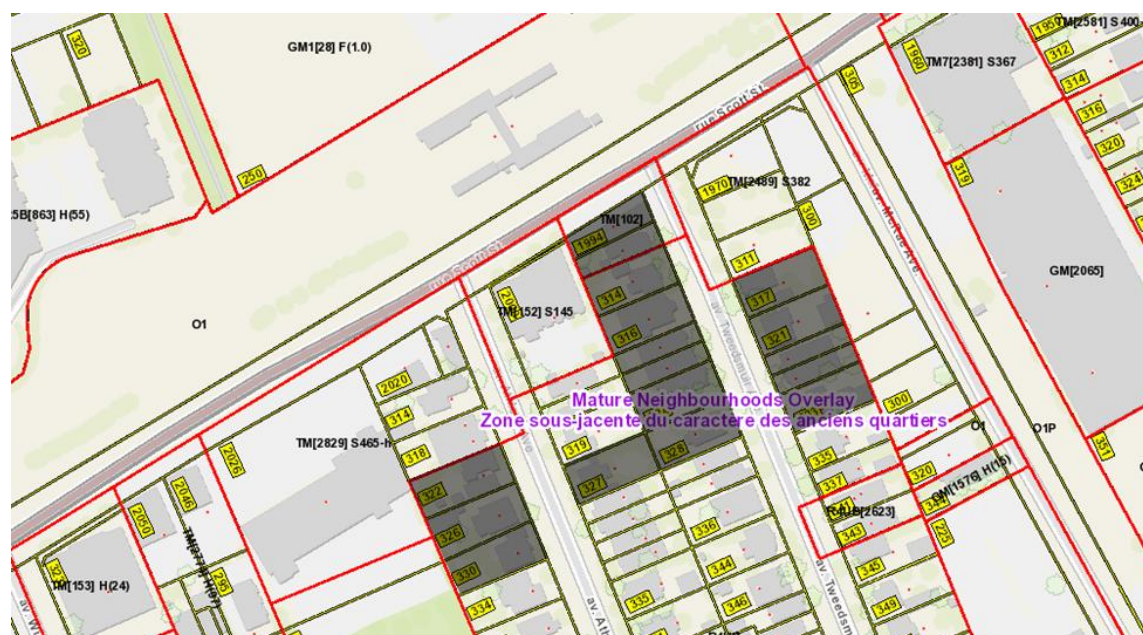


Figure 1. Existing Zoning

## **BUILDING A2**

Parcel A2 is zoned R4UB and contemplates a low-rise apartment building of four storeys. Since the proposed land use is already permitted, the rezoning for Parcel A2 is limited to proposal specific performance standards to be regulated through a site-specific zoning exception. The details of the existing and proposed performance standards are provided in Table 6, and the review of the site is on the basis of the Tweedsmuir Avenue frontage being the front lot line, the Athlone Avenue frontage being the rear lot line, and all other lot lines being interior side lot lines.

*Table 2. R4UB zoning matrix reviewed against proposed Building A2*

Section	Provision (Low-rise apartment maximum of 12 units)	Required / Permitted	Proposed (Per Building A2 Site Plan dated Dec 12, 2025)
161	(8) Except for a lot of less than 450 square metres in area in the R4-UA, R4 UB, R4-UC and R4UD zones, thirty percent of the lot area must be provided as landscaped area for a lot containing an apartment dwelling, low rise, stacked dwelling, or retirement home, or a planned unit development that contains any one or more of these dwelling types.	See provision	<b>Compliant</b> – 50.47%
	(15) In the case of a Three-unit Dwelling, Low-rise Apartment Dwelling or Stacked Dwelling in the R4-UA, R4-UB, R4-UC and R4-UD zones:		
	(a) Any part of the rear yard not occupied by accessory buildings and structures, permitted projections, bicycle parking and aisles, hardscaped paths of travel for waste and recycling management, pedestrian walkways, patios, and permitted driveways, parking aisles and parking spaces, must be softly landscaped.	See provision	<b>Compliant</b> – refer to site concept plan.
	(b) The minimum area of soft landscaping per (a) must be:		
	(iii) in the case of a lot 450 square metres or greater, at least 50 per cent of the rear yard	See provision	<b>Non-compliant</b> – the entire space is landscaped though primarily with hardscape, which meets the general intent for landscaping.
	(iv) in all cases, must comprise at least one aggregated rectangular area of at least 25 square metres and whose longer dimension is not more than twice its shorter dimension, for the purposes of tree planting.	See provision	<b>Non-compliant</b> – site is a through lot with the rear yard (fronting Athlone) to function as a front yard, and so this provision does not appropriately apply to the context.
	(c) Any part of any yard other than the rear yard not occupied by accessory buildings and structures, permitted projections, bicycle parking and aisles, hardscaped paths of travel for waste and recycling management, pedestrian walkways, permitted driveways and parking exclusion fixtures per (e) must be softly landscaped.	See provision	<b>Compliant</b> – refer to site concept plan.
	(d) The minimum area of soft landscaping in the front yard is per Table 161:	40%	<b>Compliant</b> – 48%
	(e) The front yard and corner side yard must be equipped with solid, permanent fixtures sufficient to prevent motor vehicle parking in contravention of this By-law, and for greater clarity:	(i) such parking exclusion fixtures may include bicycle racks, benches, bollards, ornamental fences or garden walls, raised planters, trees, wheelchair lifting devices, wheelchair lifting devices or some combination thereof; and (ii) raised planters are deemed to be soft landscaping for the purposes of (c) and (d).	<b>Compliant</b> – no driveway is proposed so the curb will limit access. Additionally, trees and private patios will occupy portions of this space.
	(f) At least one principal entrance to a ground-floor unit or to a common interior corridor or stairwell must be located on the facade and provide direct access to the street, and furthermore:	(ii) in the case of a lot of 24 metres width or greater, one principal entrance is required for every 12 metres of lot width or part thereof.	<b>Non-compliant</b> – principal entrances are located on the north and south facades facing interior yards and having appropriate access to the adjacent street through private pathways.
161	(g) the front facade must comprise at least 25 per cent windows, and furthermore,	(ii) windows located in doors may count towards the minimum fenestration requirement; and (iii) Any window counted towards the minimum fenestration requirement, other than windows in doors or at the basement level, must have a lower sill no higher than 100 centimetres above the floor level.	<b>Compliant</b> – 32%
	(h) at least 20 per cent of the area of the front facade must be recessed an additional 0.6 metres from the front setback line.	See provision	<b>Non-compliant</b> – the building provides sufficient articulation and design interest on its front façade, and is in keeping with the eclectic character of the area.
	(16) In the case of a Low-rise Apartment Dwelling or Stacked Dwelling in the R4-UA, R4-UB, R4UC and R4-UD zones		
	(b) in the case of a lot of 450 square metres or greater	(i) at least 25 per cent of dwelling units must have at least two bedrooms;	<b>Compliant</b> – 25.5% proposed.
Table 162A	Min. lot width	15m	<b>Compliant</b> – irregular lot width of ±15.2m along Athlone Avenue and ±25.5m along Tweedsmuir Avenue.
Table 162B	Max. lot width	38m	<b>Compliant</b> – see above row.
Table 162A	Min. lot area	450m2	<b>Compliant</b> – 1,332.9m2



Table 162B	Max. lot area	1,070m <sup>2</sup>	<b>Non-compliant</b> – the lot is an appropriate assembly of three properties to accommodate a desirable form of missing middle housing.
Table 162A	Max. building height	11m	<b>Non-compliant</b> – 15m proposed, a negligible difference representing a single storey.
Table 162A	Min. front yard setback – see Sections 144(8)(a) and 135(1)	4.5m	<b>Non-compliant</b> – 4.4m, which is appropriate for a low-rise apartment within an urban setting less than 100 metres from rapid transit.
Table 162A	Min. rear yard setback – see Sections 144(8)(a) and 135(1)	4.5m	<b>Non-compliant</b> – 3m, which is appropriate for the context of the area and site as the rear yard functions as a front yard and is within an urban setting less than 100 metres from rapid transit.
Table 162A	Min. interior side yard setback – see Section 144(2)(a)	1.5m	<p><b>Non-compliant</b> – 0.1m, which applies only to the proposed lot line with Parcel A1, whereas a minimum of 1.2m is provided for other interior lot lines.</p> <p>The 1.2m setback is negligible given the context of the site and area, and amount to a difference of 30cm from what is permitted.</p> <p>The 0.1m setback to the lot line shared with Parcel A1 is appropriate given the context of that interface which is under same ownership and is conceptually planned for pedestrian circulation (would be subject to a future easement and joint use and maintenance agreement).</p>
139(1)	Minimum soft landscaped area, required in Table 139(1), must meet all of the following regulations:	(a) it is required at-grade in a front yard	<b>Compliant</b> – refer to site concept plan.
		(b) it must be aggregated	<b>Compliant</b> – refer to site concept plan.
		(c) it must abut the front lot line and the side lot line abutting the street, as the case may be	<b>Compliant</b> – refer to site concept plan.
Table 139(1)	Minimum soft landscaped area: Front yard setback of 3m +	In the case of any lot with a width of 12 m or more, 40%	<b>Compliant</b> – 48%
139(4)	A walkway located in a front yard or corner side yard is permitted subject to the following:	(a) Where it provides access between a right-of-way or driveway, and an entranceway to a dwelling or any other incidental or accessory use on the lot.	<b>Compliant</b> – refer to site concept plan.
		(c) The width of a walkway may not exceed: (i) 1.8m in the case of a low-rise apartment dwelling	<b>Non-compliant</b> – 2.5m, which is appropriate given the site meets the minimum landscaping requirement, does not provide a driveway or parking, and that the 2.5m walkway serves both residents and the public as a publicly accessible mid-block connection.
		(d) walkway may traverse an area required for soft landscaping per Table 139(1) and may be included in the calculated area.	<b>Compliant</b> – refer to site concept plan.
101	(2) Within the area shown as Area Z on Schedule 1A, no off-street motor vehicle parking is required to be provided under this section.	See provision	<b>Compliant</b> – None
Table 102	Minimum visitor parking space rates	0.1 per dwelling unit (first 12 dwelling units exempt) = (43-12) (0.1) = 3	<b>Non-compliant</b> – None, whereas 3 are required, representing a negligible difference given the context of the area.
Table 111A	Bicycle parking space rates	0.5 per dwelling unit = (43) (0.5) = 22	<b>Compliant</b> – 67 spaces
111 & Table 111B	(8A) A bicycle parking space must comply with the minimum parking space dimensions specified in Table 111B.		
	(a) Horizontal	Min. width: 0.6m Min. length: 1.8m	<b>Compliant</b>
	(b) Vertical	Min. width: 0.5m Min. length: 1.5m	<b>Compliant</b>
111	(9) bicycle parking space must have access from an aisle having a minimum width of 1.5 metres.	See provision	<b>Compliant</b>
	(10) where four or more bicycle parking spaces are provided in a common parking area, each bicycle parking space must contain a parking rack that is securely anchored to the ground and attached to a heavy base such as concrete.	See provision	<b>Compliant</b>
	(11) minimum of 50% of the bicycle parking spaces required by this by-law must be horizontal spaces at ground level.	22 (0.5) = 11	<b>Compliant</b> – 67 horizontal spaces provided at ground level.
137	Amenity area not required for a low-rise apartment building in the R4UB zone	NA	<p><b>Compliant</b></p> <p>Total Private = 270m<sup>2</sup> Total Communal = 240m<sup>2</sup> Total = 510m<sup>2</sup></p>
64	Permitted projections above the height limit	<ul style="list-style-type: none"> <li>- mechanical and service equipment penthouse, elevator or stairway penthouses</li> <li>- landscaped areas, roof-top gardens and terraces and associated safety guards and</li> </ul>	<p><b>Compliant</b> (assumes relief for proposed building height is approved)</p> <p>– an exterior rooftop amenity area is proposed, and includes an access structure.</p>

		access structures; pursuant to Table 55, Row (8)	
65	(2) An at-grade projection must not project into the minimum aggregated soft landscaped area required in the front yard and in the corner side yard pursuant to Section 139, on lots zoned R1, R2, R3 and R4 within Area A of Schedule 342.	See provision	<b>Compliant</b> – At-grade private terrace projections do not negate the front yard from meeting the minimum aggregated soft landscaped area requirement of 40%.
Table 65	(6) Covered or uncovered balcony, porch, deck, platform and verandah, with a maximum of two enclosed sides, excluding those covered by canopies and awnings		
	(b) In the R1, R2, R3 and R4 Zones within Area A of Schedule 342: (i)(6)(a) applies, and	(iv) In all other cases, the maximum projection is 2 m, but no closer than 1 m from any lot line. (v) Where a deck or balcony occurs above the first floor and is within 1.5 metres of an exterior side wall or interior side lot line of a residential-zoned lot, a 1.5 metre high opaque screen is to be provided facing the interior side lot line	<b>Non-compliant</b> for the north interior side yard adjacent proposed Parcel A1. The private terraces here project $\pm 2.3$ m and are $\pm 0.1$ m from the adjacent interior lot line.  <b>Partially compliant</b> for front yard private terraces which project $\pm 3$ m (non-compliant) and are $\pm 1.5$ m from the front lot line (compliant).  <b>Compliant</b> for rear yard balconies within 1.5 metres of the northerly interior side lot line as they will include the required opaque screen.

## **BUILDING A1 AND PARCELS B AND C**

The TM zone applies to a portion of Parcel A (1994 Scott Street) and is intended for high density development, as reflected by the existing and approved high-rise buildings zoned TM and located adjacent the site. The balance of Parcel A and all of Parcels B and C are zoned R4UB, and the land uses and standards of this zone do not contemplate the form of development proposed on these lands and so there is no baseline to appropriately compare them with what is proposed. Accordingly, as the intent is for all of Parcels B and C to be re-designated Mainstreet Corridor (Parcel A already designated as such) it is most appropriate to review all of Building A1 and Parcels B and C against the TM zone rather than the R4UB zone.

*Table 3. TM zoning matrix reviewed against proposed Building A1 of Parcel A*

Section	Provision	Required / Permitted (per theoretical TM zone, as applicable R4UB does not contemplate high-rise)	Proposed (per Building A1 Site Plan dated Dec 12, 2025)
197	(1) The following non-residential uses are permitted subject to:		
	(b) where in a commercial or mixed use building and located on the ground floor abutting a street having direct pedestrian access to that street, residential, office and research and development centre uses must not be located within a depth of six metres of the front wall of the main building abutting the street	See provision	<b>Compliant</b> – no residential units on the ground floor, only supporting functions, as appropriate, including admin and mail rooms and a lobby, though the majority is commercial space, including all of the portion facing Scott Street
	(c) a minimum of 50% of the ground floor façade facing the main street, measured from the average grade to a height of 4.5 metres, must comprise transparent windows and active entrances	See provision	<b>Compliant</b> – $\pm 82\%$
Table 197	(a) Min. lot area	No minimum	<b>Compliant</b> – 2,265.4m <sup>2</sup>
Table 197	(b) Min. lot width	No minimum	<b>Compliant</b> – 32.61m
Table 197	(c) Max. front yard setback	2m, subject to the provisions of subsection 197(4)	<b>Non-compliant</b> – maximum setback ranges from $\pm 3$ m to $\pm 7.5$ m as Scott Street is at an angle with the parcel and the building is of an orthogonal shape (these values will reduce following a planned ROW taking). The setback is intentional to provide for a POPS and potential patio space facing Westboro Station in response to policy direction and good placemaking principles.
197	(4) The provisions of subsection 197(3)(c) above do not apply to the following:		
	(b) when a building must be located further from the lot line to provide a required corner lot triangle	See provision	Refer to the response to Table 197(c).
	(c) when an outdoor commercial patio accessory to a restaurant use is located in a front yard of a corner lot, the maximum front yard setback is 3 metres;	See provision	Refer to the response to Table 197(c).
	(d) any part of a building above 15 metres, for which a minimum front yard setback of 2 metres must be provided; and	See provision	<b>Compliant</b> – 3m
	(d) Interior side yard setbacks		

Table 197	(i) Maximum	3 metres between a non-residential use building or a mixed-use building and another non-residential use building or mixed-use building	NA – the proposed building is mixed use and its interior side yard is shared with residential only buildings.
	(ii) Minimum The maximum setback provisions of row (d)(i) above do not apply to the following cases and the following minimum setbacks apply:	(1) 3 metres for a non-residential use building or a mixed-use building abutting a residential zone, and	<b>Compliant</b> – 3m setback provided along the west interior side yard where abutting the R4UB zone.
Table 197	(e) Min. corner side yard setback	3m, except for any part of a building above 15 metres for which an additional 2 metre setback must be provided	<b>Partially compliant</b> – ground floor is setback 4.7m whereas floors 2-6 are 2.6m, floors 7-10 are 4.8m, floor 11 is 5.5m, and floors 12-40 are 5m. An approximately 5m minimum setback is provided for the majority of the building above 15 metres.
Table 197	(f) Min. rear yard setback	(i) rear lot line abutting a residential zone: 7.5m	<b>Compliant</b> – 8.4m to the proposed lot line with Parcel A2
Table 197	(g) Building height		
	(i) minimum	6.7 metres for a distance of 20 metres from the front lot line as set out under subsection 197(5) below	<b>Compliant</b> – 136m (40 storeys, including mezzanine and rooftop amenity area projection).
	(ii) maximum		<b>Non-compliant</b> – 136m (40 storeys, including mezzanine and rooftop amenity area projection). Rationale for the added height and transition measures has been provided throughout this report and in conjunction with the Urban Design Brief prepared in support of the applications.
	(1) 20 metres but not more than 6 storeys, except where otherwise shown on the zoning maps	See provision	
	(2) for a building that exceeds four- storeys or 15 metres in height, for all storeys above the fourth storey, or 15 metres in height, whichever is the lesser, the building must be setback a minimum of 2 metres more than the provided setback from the front lot line as set out under Subsection 197(5) below, and from a corner lot line.	See provision	
	(3) no part of a building on a lot with a rear lot line abutting an R1, R2, R3 or R4 Zone may project above a 45 degree angular plane measured at a height of 15 metres from a point 7.5 metres from the rear lot line, projecting upwards towards the front lot line	See provision	
Table 197	(h) Max. floor space index	No maximum	<b>Compliant</b> – ±13
Table 197	(i) Min. width of landscaped area		
	(i) abutting a residential zone	3 m; may be reduced to one metre where a minimum 1.4 metre high opaque fence is provided	<b>Compliant</b> – 8.4m provided to the south and 3m provided to the west where abutting R4UB.
	(ii) in all other cases	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking or loading spaces, the whole yard must be landscaped	<b>Compliant</b> – refer to site concept plan.
197	(6) Storage must be completely enclosed in a building	See provision	<b>Compliant</b> – refer to site concept plan.
197	(13) The façade facing the main street must include at least one active entrance serving each residential or non-residential use occupying any part of the ground floor	See provision	<b>Non-compliant</b> – a commercial space occupies the entire ground floor façade facing Scott Street and will include an active entrance. A second ground floor commercial space is situated in the southeast portion of the building and will have an active entrance to Tweedsmuir Avenue. The Residential lobby on the ground floor will face Tweedsmuir Avenue. The layout appropriately works with the shape of the parcel, which has a shorter frontage along Scott Street, and the intention to wrap active uses around the portions of the ground-floor façade facing the street.
101	(2) Within the area shown as Area Z on Schedule 1A, no off-street motor vehicle parking is required to be provided under this section.	See provision	<b>Compliant</b> – 264 resident (0.48/DU) and 19 commercial stalls.
102(2), 102(3), Table 102	Minimum visitor parking space rates	0.1 per dwelling unit (first 12 dwelling units exempt) = (555-12) (0.1) = 54 *No more than 30 required per building	<b>Compliant</b> – 30 visitor stalls (0.05/unit)
Table 111A	Bicycle parking space rates	-0.5 per dwelling unit = (555) (0.5) = 278 -1 per 250m <sup>2</sup> of commercial GFA = 444.5 / 250 = 2	<b>Compliant</b> – 550 resident stalls (indoor) and 2 commercial stalls (exterior)
106	(1) Any motor vehicle parking space must be:		
	(a) At least 2.6m wide	See provision	<b>Compliant</b>
	(b) Not more than 3.1m wide	See provision	<b>Compliant</b>
	(c) At least 5.2m long	See provision	<b>Compliant</b>
	(2) Despite Subsection (1), up to 50% of the parking spaces in a parking lot or parking garage may be reduced to a minimum of 4.6m long and 2.4m wide, provided that any such space:	(a) Is visibly identified as being for a compact car  (b) Is not a visitor parking space required under Section 102  (c) Is not abutting or near a wall, column or similar surface that obstructs the opening of the doors of a parked vehicle or limits access to a parking space, in which case the minimum width is 2.6 metres.	<b>Compliant</b> – 58 (less than 50% provided)
106	(2) Despite Subsection (1):		
	(b) In the case of accessible parking space required by Provincial legislation, the minimum and maximum	- Type A = 3.4m wide by 5.2m long - Type B = 2.4m wide by 5.2m long	<b>Compliant</b> – 1 Type A provided at 5.2m by 3.4m

		dimensions are governed by the Traffic and Parking By-law	- Must have min. 1.5m wide access aisle adjacent to each space (can be shared between two spaces)	
By-law 2017-301	Section 112 - Types of Parking Spaces and Parking Provision Requirements			
		(2) The owner and operator of an obligated organization shall provide Type A and Type B parking spaces as prescribed by the following table:	Total number of parking spaces 551-600: 14 (7 Type A and 7 Type B)	<b>Non-compliant with By-law 2017-301 – 1 Type A space provided</b>
107	(1) The following regulations apply to parking lots and parking garages, whether as principal or accessory uses:			
		(a) A driveway providing access to a parking lot or parking garage must have a minimum width of:	(iii) in the case of a parking garage, 6.0 metres for a double traffic lane.	<b>Compliant – 6m</b>
		(aa) Despite clause 107(1)(a), in the case of an apartment dwelling, low-rise, stacked dwelling, or an apartment mid-rise, or apartment high-rise, the maximum permitted width for a double traffic lane that leads to:	(ii) 20 or more parking spaces: 6.7m	<b>Compliant – 6m</b>
		(c) despite (i), in the case of a parking garage, or parking lot accessory to a residential use an aisle serving parking spaces angled at between 56 and 90 degrees must be at least 6.0 metres wide;	See provision	<b>Compliant – 6m</b>
111 & Table 111B	(8A) A bicycle parking space must comply with the minimum parking space dimensions specified in Table 111B.			
		(a) Horizontal	Min. width: 0.6m Min. length: 1.8m	<b>Compliant</b>
		(b) Vertical	Min. width: 0.5m Min. length: 1.5m	<b>Compliant</b>
111	(9) bicycle parking space must have access from an aisle having a minimum width of 1.5 metres.		See provision	<b>Compliant</b>
	(10) where four or more bicycle parking spaces are provided in a common parking area, each bicycle parking space must contain a parking rack that is securely anchored to the ground and attached to a heavy base such as concrete.		See provision	<b>Compliant – 2 exterior commercial spaces</b>
	(11) minimum of 50% of the bicycle parking spaces required by this by-law must be horizontal spaces at ground level.		278 (0.5) = 139	<b>Compliant – 550 resident stalls and 2 commercial stalls are horizontal at ground level</b>
	(12) Where the number of bicycle parking spaces required for a single office or residential building exceeds fifty 50 spaces, a minimum of 25% of that required total must be located within		(a) a building or structure	<b>Compliant – 542 of 552 total spaces are interior</b>
Table 137	(5) Mixed Use Building, with 9 or more dwelling units or rooming units			
	Total: 6m <sup>2</sup> per dwelling unit Communal: 50% of the required total amenity area		Total: 6(555) = 3,330m <sup>2</sup> Communal = 1,665m <sup>2</sup>	<b>Compliant</b> Total Private = 1,360m <sup>2</sup> Total Communal = 1,980m <sup>2</sup> Total = 3,340m <sup>2</sup>
64	Permitted projections above the height limit		- mechanical and service equipment penthouse, elevator or stairway penthouses - landscaped areas, roof-top gardens and terraces and associated safety guards and access structures; pursuant to Table 55, Row (8)	<b>Non-compliant – rooftop amenity area includes interior amenity, which is not uncommon for rooftop amenity layouts, allows for year-round use of the space, and aligns with the intent of the proposed new zoning by-law. This interior space does not include any living space.</b>
77	(3) Buildings that are 10 storeys and higher in Area A as shown on Schedule 402 are subject to the following provisions:		(a) the minimum required lot area for a corner lot is 1150 m <sup>2</sup> ; (c) the minimum interior side and rear yard setback for a tower is 10 m;	<b>Compliant – 2,265.4m<sup>2</sup></b> <b>Partially compliant – 4.8m (west interior side lot line) and 14m (south rear lot line). Rationale for the tower setback from the interior side lot line has been provided throughout this report and in conjunction with the Urban Design Brief prepared in support of the applications.</b>

Table 4. TM zoning matrix reviewed against proposed Building B (assumes no commercial)

Section	Provision	Required / Permitted (per theoretical TM zone, as applicable R4UB does not contemplate high-rise)	Proposed (per Building B Site Plan dated Dec 12, 2025)
Table 197	(a) Min. lot area	No minimum	<b>Compliant – 1,650.3m<sup>2</sup></b>
Table 197	(b) Min. lot width	No minimum	<b>Compliant – 45.72m</b>
Table 197	(c) Max. front yard setback	2m, subject to the provisions of subsection 197(4)	<b>Non-compliant – maximum podium setback is 4m from Athlone Avenue (tower is ±3m), which is appropriate for the street context in comparison to Scott Street. The setback will allow for additional landscaping and streetscape enhancement in response to policy direction. Further, there are hydro poles and wires along the front yard, with their impact to be determined.</b>
197	(4) The provisions of subsection 197(3)(c) above do not apply to the following:		
	(d) any part of a building above 15 metres, for which a minimum front yard setback of 2 metres must be provided; and	See provision	<b>Compliant – Minimum setback of ±3m above 15m.</b>
	(e) in the case of a hydro pole, the setback may be 2 metres, and from a high voltage power line, the setback may be 5 metres for that portion of the building affected by the high voltage power line.	See provision	<b>Impact of hydro poles and wires to be determined</b>

Table 197	(d) Interior side yard setbacks		
	(ii) Minimum The maximum setback provisions of row (d)(i) above do not apply to the following cases and the following minimum setbacks apply:	(2) 1.2 metres for a residential use building	<b>Compliant</b> – 5m (south), 2.7m (north)
Table 197	(f) Min. rear yard setback	(iii) for residential use building: 7.5m	<b>Non-compliant</b> – 2.5m. The setback requirement is intended to preserve rear yard space for amenity and height transition. The 2.5m applies to only the northwest corner of the building, which widens to the south to approximately 6.5m. Further, the 2.5m only applies to the podium, whereas the ground floor and tower are setback a minimum 3.8m from the rear lot line before widening towards the south.  Given the configuration of the parcel and the proposed building form, it is most appropriate to provide at-grade amenity space and height transition in the southerly side yard that abuts low-density development; whereas the rear yard abuts Lion's Park.
Table 197	(g) Building height		
	(i) minimum	6.7 metres for a distance of 20 metres from the front lot line as set out under subsection 197(5) below	NA – the site doesn't share a lot line with Scott Street.
	(ii) maximum		
	(1) 20 metres but not more than 6 storeys, except where otherwise shown on the zoning maps	See provision	<b>Non-compliant</b> – 99m (29 storeys, including mezzanine and rooftop amenity area projection). Rationale for the added height and transition measures has been provided throughout this report and in conjunction with the Urban Design Brief prepared in support of the applications.
	(2) for a building that exceeds four- storeys or 15 metres in height, for all storeys above the fourth storey, or 15 metres in height, whichever is the lesser, the building must be setback a minimum of 2 metres more than the provided setback from the front lot line as set out under Subsection 197(5) below, and from a corner lot line.	See provision	
Table 197	(h) Max. floor space index	No maximum	<b>Compliant</b> – ±9.6
Table 197	(i) Min. width of landscaped area		
	(i) abutting a residential zone	3 m; may be reduced to one metre where a minimum 1.4 metre high opaque fence is provided	<b>Compliant</b> – 13.5m provided to the south where abutting R4UB.
	(ii) in all other cases	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking or loading spaces, the whole yard must be landscaped	<b>Compliant</b> – refer to site concept plan.
197	(6) Storage must be completely enclosed in a building	See provision	<b>Compliant</b> – refer to site concept plan.
197	(13) The façade facing the main street must include at least one active entrance serving each residential or non-residential use occupying any part of the ground floor	See provision	NA – the site doesn't have a façade facing Scott Street. Nonetheless, the façade facing Athlone Avenue consists of active frontage.
101	(2) Within the area shown as Area Z on Schedule 1A, no off-street motor vehicle parking is required to be provided under this section.	See provision	<b>Compliant</b> – 116 resident (0.4/unit) and no commercial stalls.
102(2), 102(3), Table 102	Minimum visitor parking space rates	0.1 per dwelling unit (first 12 dwelling units exempt) = (290-12) (0.1) = 28 *No more than 30 required per building	<b>Compliant</b> – 28 visitor stalls (0.1/unit)
Table 111A	Bicycle parking space rates	-0.5 per dwelling unit = (290) (0.5) = 145	<b>Compliant</b> – 332 resident stalls (318 indoor and 14 outdoor).
106	(1) Any motor vehicle parking space must be:		
	(a) At least 2.6m wide	See provision	<b>Compliant</b>
	(b) Not more than 3.1m wide	See provision	<b>Compliant</b>
	(c) At least 5.2m long	See provision	<b>Compliant</b>
	(2) Despite Subsection (1), up to 50% of the parking spaces in a parking lot or parking garage may be reduced to a minimum of 4.6m long and 2.4m wide, provided that any such space:	(a) Is visibly identified as being for a compact car  (b) Is not a visitor parking space required under Section 102  (c) Is not abutting or near a wall, column or similar surface that obstructs the opening of the doors of a parked vehicle or limits access to a parking space, in which case the minimum width is 2.6 metres.	<b>Compliant</b> – 17 (less than 50% provided).
106	(2) Despite Subsection (1):		
	(b) In the case of accessible parking space required by Provincial legislation, the minimum and maximum dimensions are governed by the Traffic and Parking By-law	- Type A = 3.4m wide by 5.2m long - Type B = 2.4m wide by 5.2m long - Must have min. 1.5m wide access aisle adjacent to each space (can be shared between two spaces)	NA – none provided.
By-law 2017-301	Section 112 - Types of Parking Spaces and Parking Provision Requirements		
	(2) The owner and operator of an obligated organization shall provide Type A and Type B parking spaces as prescribed by the following table:	Total number of parking spaces 134-166: 6 (3 Type A and 3 Type B)	<b>Non-compliant with By-law 2017-301</b> – none provided.
107	(1) The following regulations apply to parking lots and parking garages, whether as principal or accessory uses:		



	(a) A driveway providing access to a parking lot or parking garage must have a minimum width of;	(iii) in the case of a parking garage, 6.0 metres for a double traffic lane.	<b>Compliant – 6m</b>
	(aa) Despite clause 107(1)(a), in the case of an apartment dwelling, low-rise, stacked dwelling, or an apartment mid-rise, or apartment high-rise, the maximum permitted width for a double traffic lane that leads to:	(ii) 20 or more parking spaces: 6.7m	<b>Compliant – 6m</b>
	(c) despite (i), in the case of a parking garage, or parking lot accessory to a residential use an aisle serving parking spaces angled at between 56 and 90 degrees must be at least 6.0 metres wide;	See provision	<b>Compliant – 6m</b>
111 & Table 111B	(8A) A bicycle parking space must comply with the minimum parking space dimensions specified in Table 111B.		
	(a) Horizontal	Min. width: 0.6m Min. length: 1.8m	<b>Compliant</b>
	(b) Vertical	Min. width: 0.5m Min. length: 1.5m	<b>Compliant</b>
111	(9) bicycle parking space must have access from an aisle having a minimum width of 1.5 metres.	See provision	<b>Compliant</b>
	(10) where four or more bicycle parking spaces are provided in a common parking area, each bicycle parking space must contain a parking rack that is securely anchored to the ground and attached to a heavy base such as concrete.	See provision	<b>Compliant – 12 exterior residential spaces.</b>
	(11) minimum of 50% of the bicycle parking spaces required by this by-law must be horizontal spaces at ground level.	145 (0.5) = 73	<b>Compliant – 332 horizontal spaces at ground level.</b>
	(12) Where the number of bicycle parking spaces required for a single office or residential building exceeds fifty 50 spaces, a minimum of 25% of that required total must be located within	(a) a building or structure	<b>Compliant – 318 of 332 total spaces are interior.</b>
Table 137	(4) Apartment Building, mid-high rise		
	Total: 6m2 per dwelling unit Communal: 50% of the required total amenity area	Total: 6(290) = 1,740m2 Communal = 870m2	<b>Compliant</b> Total Private = 870m2 Total Communal = 1,335m2 Total = 2,205m2
64	Permitted projections above the height limit	- mechanical and service equipment penthouse, elevator or stairway penthouses - landscaped areas, roof-top gardens and terraces and associated safety guards and access structures; pursuant to Table 55, Row (8)	<b>Non-compliant – rooftop amenity area includes interior amenity, which is not uncommon for rooftop amenity layouts, allows for year-round use of the space, and aligns with the intent of the proposed new zoning by-law. This interior space does not include any living space.</b>
77	(3) Buildings that are 10 storeys and higher in Area A as shown on Schedule 402 are subject to the following provisions:	(b) the minimum required lot area for an interior lot is 1350 m2; (c) the minimum interior side and rear yard setback for a tower is 10 m;	<b>Compliant – 1,650.3m2</b> <b>Partially compliant – 2.7m (north interior lot line), 3.8m (west rear lot line), and 19m (south interior lot line). Rationale for the tower setback from these lot lines has been provided throughout this report and in conjunction with the Urban Design Brief prepared in support of the applications.</b>

**Table 5. TM zoning matrix reviewed against proposed Building C (assumes no commercial)**

Section	Provision	Required / Permitted (per theoretical TM zone, as applicable R4UB does not contemplate high-rise)	Proposed (per Building C Site Plan dated Dec 12, 2025)
Table 197	(a) Min. lot area	No minimum	<b>Compliant – 2,485.1m2 (includes proposed parkland).</b>
Table 197	(b) Min. lot width	No minimum	<b>Compliant – 32.64m</b>
Table 197	(c) Max. front yard setback	2m, subject to the provisions of subsection 197(4)	<b>Compliant – 2m (floors 2-4).</b>
197	(4) The provisions of subsection 197(3)(c) above do not apply to the following:		
	(d) any part of a building above 15 metres, for which a minimum front yard setback of 2 metres must be provided; and	See provision	<b>Compliant – 2m (floors 2-4).</b>
	(e) in the case of a hydro pole, the setback may be 2 metres, and from a high voltage power line, the setback may be 5 metres for that portion of the building affected by the high voltage power line.	See provision	<b>Impact of hydro poles and wires to be determined</b>
Table 197	(d) Interior side yard setbacks		
	(ii) Minimum The maximum setback provisions of row (d)(i) above do not apply to the following cases and the following minimum setbacks apply:	(2) 1.2 metres for a residential use building	<b>Compliant – 23.9m (south – includes parkland), 2.7m (north).</b>
Table 197	(f) Min. rear yard setback	(iii) for a residential use building: 7.5m	<b>Non-compliant – 4.2m. The setback requirement is intended to preserve rear yard space for amenity and height transition. Given the configuration of the parcel and the proposed building form, it is most appropriate to provide at-grade amenity space and height transition in the southerly side yard that abuts low-density development; whereas the rear yard abuts high-density development recently constructed in conjunction with a high-rise along Scott Street.</b>
	(g) Building height		

Table 197	(i) minimum		6.7 metres for a distance of 20 metres from the front lot line as set out under subsection 197(5) below	NA – the site doesn't share a lot line with Scott Street.
	(ii) maximum			
		(1) 20 metres but not more than 6 storeys, except where otherwise shown on the zoning maps	See provision	<b>Non-compliant</b> – 99m (29 storeys, including mezzanine and rooftop amenity area projection). Rationale for the added height and transition measures has been provided throughout this report and in conjunction with the Urban Design Brief prepared in support of the applications.
		(2) for a building that exceeds four- storeys or 15 metres in height, for all storeys above the fourth storey, or 15 metres in height, whichever is the lesser, the building must be setback a minimum of 2 metres more than the provided setback from the front lot line as set out under Subsection 197(5) below, and from a corner lot line.	See provision	
Table 197	(h) Max. floor space index		No maximum	<b>Compliant</b> – ±7.6 (includes proposed parkland)
Table 197	(i) Min. width of landscaped area			
		(i) abutting a residential zone	3 m; may be reduced to one metre where a minimum 1.4 metre high opaque fence is provided	<b>Compliant</b> – ±23.9m provided to the south where abutting R4UB (includes the proposed parkland).
		(ii) in all other cases	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking or loading spaces, the whole yard must be landscaped	<b>Compliant</b> – refer to site concept plan.
197	(6) Storage must be completely enclosed in a building		See provision	<b>Compliant</b> – refer to site concept plan.
197	(13) The façade facing the main street must include at least one active entrance serving each residential or non-residential use occupying any part of the ground floor		See provision	NA – the site doesn't have a façade facing Scott Street. Nonetheless, the façade facing Tweedsmuir Avenue consists of active frontage.
101	(2) Within the area shown as Area Z on Schedule 1A, no off-street motor vehicle parking is required to be provided under this section.		See provision	<b>Compliant</b> – 122 resident (0.38/unit) and no commercial stalls.
102(2), 102(3), Table 102	Minimum visitor parking space rates		0.1 per dwelling unit (first 12 dwelling units exempt) = (318-12) (0.1) = 30 *No more than 30 required per building	<b>Compliant</b> – 30 visitor (0.1/unit).
Table 111A	Bicycle parking space rates		-0.5 per dwelling unit = (318) (0.5) = 159	<b>Compliant</b> – 322 resident stalls (indoor).
106	(1) Any motor vehicle parking space must be:			
		(a) At least 2.6m wide	See provision	<b>Compliant</b>
		(b) Not more than 3.1m wide	See provision	<b>Compliant</b>
		(c) At least 5.2m long	See provision	<b>Compliant</b>
	(2) Despite Subsection (1), up to 50% of the parking spaces in a parking lot or parking garage may be reduced to a minimum of 4.6m long and 2.4m wide, provided that any such space:		(a) Is visibly identified as being for a compact car  (b) Is not a visitor parking space required under Section 102  (c) Is not abutting or near a wall, column or similar surface that obstructs the opening of the doors of a parked vehicle or limits access to a parking space, in which case the minimum width is 2.6 metres.	<b>Compliant</b> – 16 (less than 50% provided).
106	(2) Despite Subsection (1):			
		(b) In the case of accessible parking space required by Provincial legislation, the minimum and maximum dimensions are governed by the Traffic and Parking By-law	- Type A = 3.4m wide by 5.2m long - Type B = 2.4m wide by 5.2m long - Must have min. 1.5m wide access aisle adjacent to each space (can be shared between two spaces)	NA – none provided
By-law 2017-301	Section 112 - Types of Parking Spaces and Parking Provision Requirements			
		(2) The owner and operator of an obligated organization shall provide Type A and Type B parking spaces as prescribed by the following table:	Total number of parking spaces 134-166: 6 (3 Type A and 3 Type B)	<b>Non-compliant with By-law 2017-301</b> – none provided
107	(1) The following regulations apply to parking lots and parking garages, whether as principal or accessory uses:			
		(a) A driveway providing access to a parking lot or parking garage must have a minimum width of:	(iii) in the case of a parking garage, 6.0 metres for a double traffic lane.	<b>Compliant</b> – 6m
		(aa) Despite clause 107(1)(a), in the case of an apartment dwelling, low-rise, stacked dwelling, or an apartment mid-rise, or apartment high-rise, the maximum permitted width for a double traffic lane that leads to:	(ii) 20 or more parking spaces: 6.7m	<b>Compliant</b> – 6m
		(c) despite (i), in the case of a parking garage, or parking lot accessory to a residential use an aisle serving parking spaces angled at between 56 and 90 degrees must be at least 6.0 metres wide;	See provision	<b>Compliant</b> – 6m
111 & Table 111B	(8A) A bicycle parking space must comply with the minimum parking space dimensions specified in Table 111B.			
		(a) Horizontal	Min. width: 0.6m Min. length: 1.8m	<b>Compliant</b>
		(b) Vertical	Min. width: 0.5m Min. length: 1.5m	<b>Compliant</b>
111	(9) bicycle parking space must have access from an aisle having a minimum width of 1.5 metres.		See provision	<b>Compliant</b>
	(11) minimum of 50% of the bicycle parking spaces required by this by-law must be horizontal spaces at ground level.		159 (0.5) = 80	<b>Compliant</b> – 322 horizontal spaces at ground level.
	(12) Where the number of bicycle parking spaces required for a single office or residential building exceeds fifty 50 spaces, a minimum of 25% of that required total must be located within		(a) a building or structure	<b>Compliant</b> – 322 total spaces are interior.
	(4) Apartment Building, mid-high rise			

Table 137	Total: 6m <sup>2</sup> per dwelling unit Communal: 50% of the required total amenity area	Total: 6(318) = 1,908m <sup>2</sup> Communal = 954m <sup>2</sup>	<b>Compliant</b> Total Private = 2,880m <sup>2</sup> Total Communal = 1,445m <sup>2</sup> Total = 4,325m <sup>2</sup>
64	Permitted projections above the height limit	- mechanical and service equipment penthouse, elevator or stairway penthouses - landscaped areas, roof-top gardens and terraces and associated safety guards and access structures; pursuant to Table 55, Row (8)	<b>Non-compliant</b> – rooftop amenity area includes interior amenity, which is not uncommon for rooftop amenity layouts, allows for year-round use of the space, and aligns with the intent of the proposed new zoning by-law. This interior space does not include any living space.
77	(3) Buildings that are 10 storeys and higher in Area A as shown on Schedule 402 are subject to the following provisions:	(b) the minimum required lot area for an interior lot is 1350 m <sup>2</sup> ; (c) the minimum interior side and rear yard setback for a tower is 10 m;	<b>Compliant</b> – 2,481.1m <sup>2</sup> (includes proposed parkland) <b>Partially compliant</b> – 7m (north interior side lot line), 12m (south interior side lot line to edge of proposed parkland), and 4.2m (east rear lot line). Rationale for the tower setback from these lot lines has been provided throughout this report and in conjunction with the Urban Design Brief prepared in support of the applications.