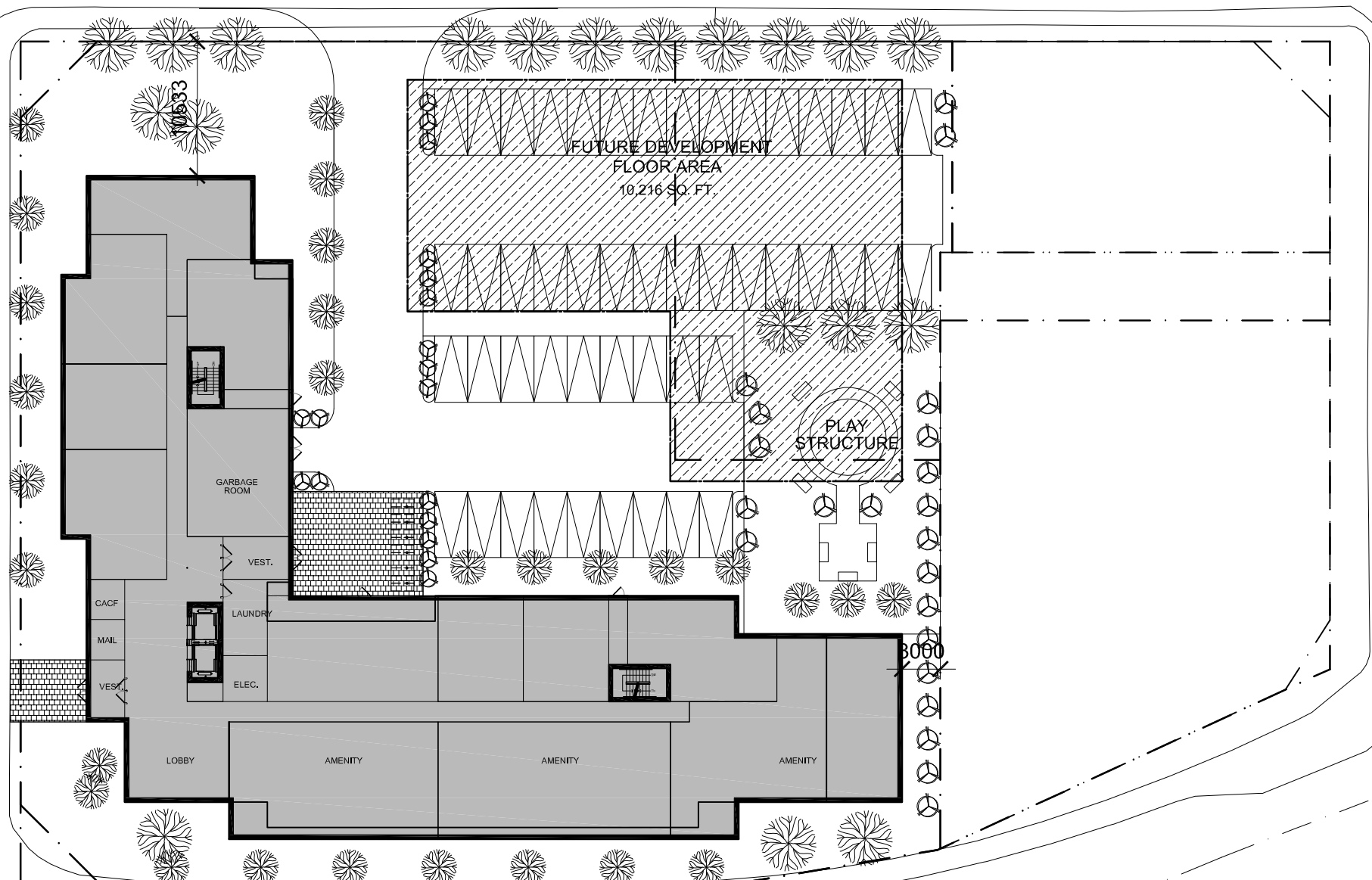


ROCHESTER STREET

BALSAM STREET

BOOTH STREET



GLADSTONE AVENUE

PROJECT INFORMATION

ZONING BY-LAW 2008-250 (City of Ottawa) TM & R4A

SITE AREA 51,224 sq. ft.

ZONING REQUIREMENTS (TM)

BUILDING HEIGHT	6 STOREYS & 20.0 M
MAX. FRONT YARD SETBACK (FACING GLADSTONE AVE.)	2.0 M
MIN. INTERIOR SIDE YARD SETBACK	1.2 M
MIN. CORNER SIDE YARD SETBACK (FACING ROCHESTER ST.)	3.0 M 5.0 M ABOVE 15M BLDG. HEIGHT
MIN. REAR YARD SETBACK	7.5 M
CAR PARKING - RESIDENCE	0.5 / PER UNIT
	AFTER FIRST 12 UNITS
	68
CAR PARKING - VISITOR	0.1 / PER UNIT
	15
BICYCLE PARKING	0.5 / PER UNIT
	74
AMENITY AREA	6 SQ.M. / PER UNIT
	888 SQ.M. / 9559 SQ.FT.

PROJECT STATISTICS (PROPOSED)

BUILDING HEIGHT (FLAT ROOF)	8 STOREYS & 25 M
FRONT YARD SETBACK (FACING GLADSTONE AVE.)	3.3 M
INTERIOR SIDE YARD SETBACK	3 M
CORNER SIDE YARD SETBACK (FACING ROCHESTER ST.)	3.17 M
REAR YARD SETBACK	10.533 M
TOTAL CAR PARKING	48
TOTAL BICYCLE PARKING	62 (INDOOR)
	12 (OUTDOOR)
AMENITY AREA	5669 SQ. FT. (INDOOR)
	4212 SQ. FT. (OUTDOOR)

UNIT STATISTICS

STUDIOS	14
1 BEDROOM UNITS	66
2 BEDROOM UNITS	54
3 BEDROOM UNITS	14
TOTAL	148

