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Architecture

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374 McArthur - Castle Heights Residences 20002

RELEASE 4 - SITE PLAN APP. 2nd SUBMISSION
2021-07-18

Version 4
Project version note

CLIENT

TEAM / ÉQUIPE

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CIVIL
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T 613.829.5722

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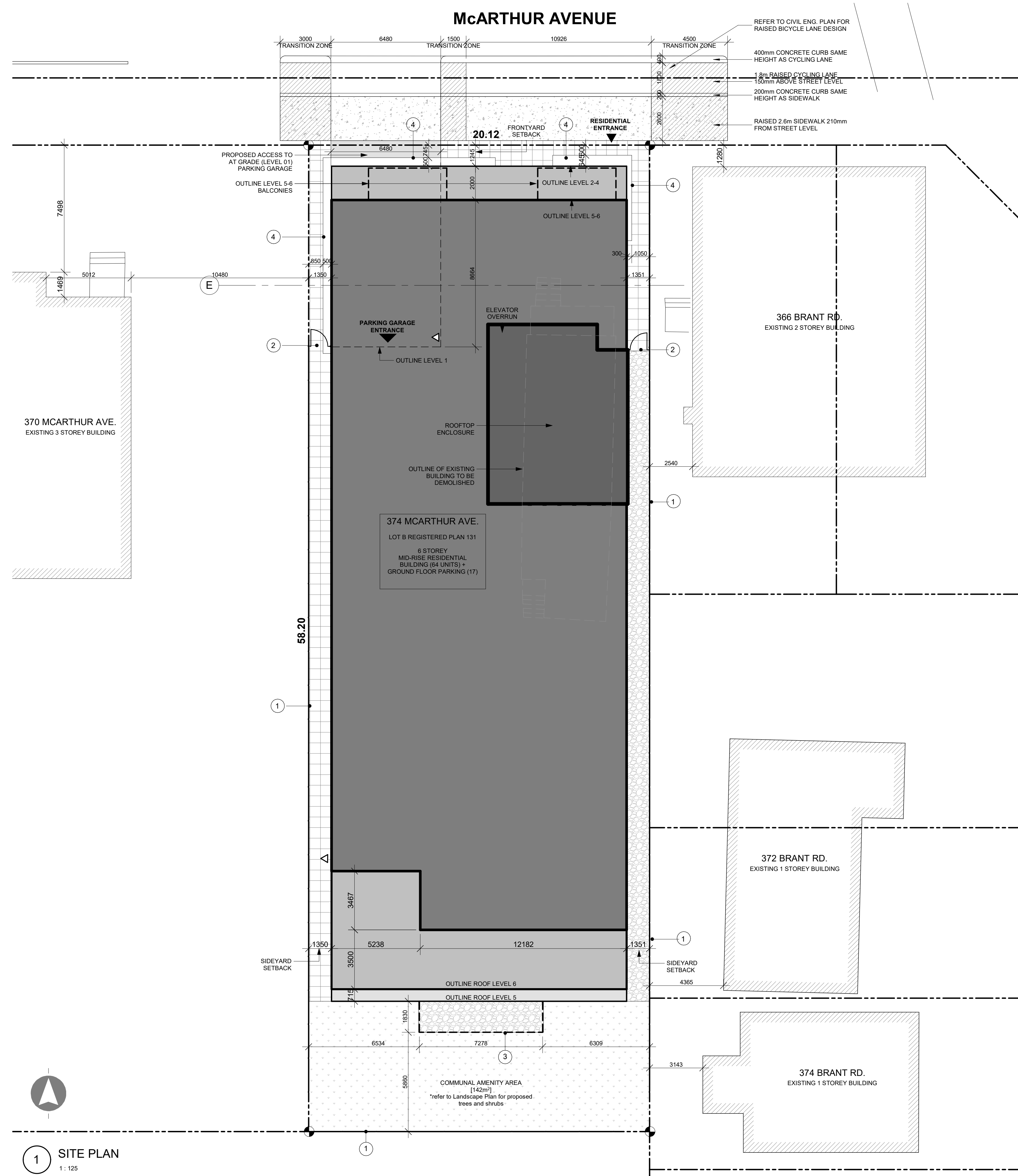
RELEASE	DATE	DESCRIPTION
06	2021-11-29	MINOR VARIANCE
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04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
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00	2020-04-03	FOR REVIEW

**NOT FOR / PAS POUR
CONSTRUCTION**

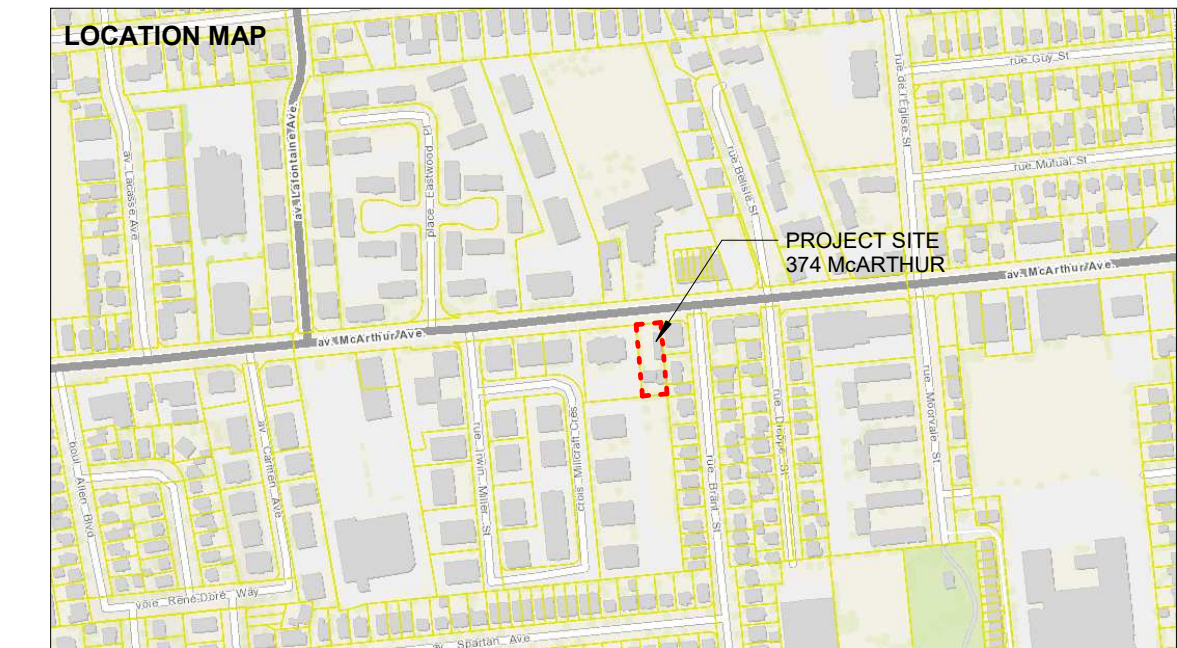
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1 SITE PLAN
1:125



GENERAL NOTES

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NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SURVEY INFO:
TOPOGRAPHIC PLAN OF:
PART OF LOTS B
REGISTERED PLAN 131
CITY OF OTTAWA
Annis, O'Sullivan, Vollebæk Ltd.
Field Work Completed November 25, 2013

GRAPHIC SCALE
0 1 5 10

SPECIFIC NOTES

- 1.8m PRIVACY FENCE ALONG FULL LENGTH OF PROPERTY LINE (SEE LANDSCAPE)
- SECURE ACCESS GATE
- BALCONY PROJECTION
- ENTRANCE CANOPY
- OUTLINE OF BUILDING ABOVE

DRAWING LEGEND

- SOFT LANDSCAPING (SEE LANDSCAPE)
- HARD LANDSCAPING (SEE LANDSCAPE)
- ASPHALT PAVING
- POURED CONCRETE
- PFE GRAVEL (SEE LANDSCAPE)
- BUILDING ACCESS
- BUILDING EGRESS
- PROPOSED PLANTATION (REFER TO LANDSCAPE)
- PROPERTY LINE
- PROPERTY REQUIRED SETBACKS
- EXISTING BUILDING TO BE DEMOLISHED
- PRIVACY FENCE

SITE SUMMARY

ADDRESS	374 McArthur Avenue
CURRENT ZONING	TM - Traditional Mainstreet
SITE AREA	1,170.98 m ²
PROPOSED USE	Mid-rise residential building of 64 units
BUILDING AREA	861.75 m ²

ZONING SUMMARY

	REQUIRED	PROPOSED
MINIMUM LOT AREA	-	1171.38 m ²
MINIMUM LOT WIDTH	-	20.12 m
MAXIMUM BUILDING HEIGHT	20 m but not more than 6 storeys	19.0 m
MAXIMUM PARAPET HEIGHT above maximum building height	-	0.6 m
MINIMUM FRONT YARD SETBACK	no minimum	1.25 m
MAXIMUM FRONT YARD SETBACK	2 m	1.25 m
MINIMUM CORNER SIDE YARD SETBACK	4 m	-
MINIMUM INTERIOR SIDE YARD SETBACK	1.2 m	1.35 m
MINIMUM REAR YARD SETBACK	7.5 m	7.7 m

ADDITIONAL SETBACK REQUIREMENTS

- Required: Additional 2 metres (min.) from the front lot line setback over four storeys or 15 metres whichever is the lesser.
- Required: No part of a building may project above a 45 degree angular plane measured at a height of 15 metres from a point 7.5 metres from the rear lot line, projecting upwards towards the front lot line.
- Provided: 3.25m front yard setback for the 6th and 8th storey & additional setback from the rear yard (8.40m @ 6th level & 11.9m @ 8th level) so no part of the building projects higher than the 45 degree angular plane.

VEHICULAR PARKING

MINIMUM PARKING (as per table 101)	units = 26 0 for the first 12 units & 0.5 / unit after 12 units	13 Including 1x Car Sharing & 1 HC parking space
MINIMUM VISITOR PARKING (as per table 102)	units = 5 0 for the first 12 units & 0.1 / unit after 12 units	5
MINIMUM ACCESSIBLE PARKING SPACES	0	0

BICYCLE PARKING

MINIMUM PARKING (as per table 111a)	32 0.5 / unit	64
-------------------------------------	------------------	----

WASTE MANAGEMENT CONTAINERS

GARBAGE (0.11 y ² / unit)	7.04 y ²	2x 3 y ² containers
RECYCLING (0.038 y ² / unit)	2.43 y ²	1x 3 y ² + 3X 360L container
ORGANICS		2x 240L

AMENITY AREA

TOTAL	384 m ² (6 m ² / unit @ 64 units)	390.67 m ²
COMMUNAL	50% of required amenity space (192m ²)	204.30 m ² (Gym + rear-yard)

UNIT MIX DATA

	STUDIO	1BED	1+DEN	2BED	2+DEN	3BED	TOTAL
LEVEL 1	0	0	0	0	0	0	0
LEVEL 2-4	8 (24)		5 (15)			0	39
LEVEL 5	10		3			0	13
LEVEL 6	11		1			0	12
TOTAL	45	0	19	0	0	0	64

BUILDING SUMMARY

GROSS FLOOR AREA - per City Definition	sq.ft	sq.m.
LEVEL 1	0	0
LEVEL 2-4	7259 / level	674.4 / level
LEVEL 5	6830.25	634.55
LEVEL 6	6060.30	563.02
ROOF TOP	0	0
TOTAL	34,667.55	3220.77

Gross floor area means total of each floor, above and below grade measure to interior of exterior walls. Including floor area occupied by interior walls. Excluding mechanical, electrical, common hallways, corridors, stairwells, shafts, voids, bike parking, car parking, common laundry, storage, common washrooms, amenity or play areas and living quarters for a caretaker of the building.

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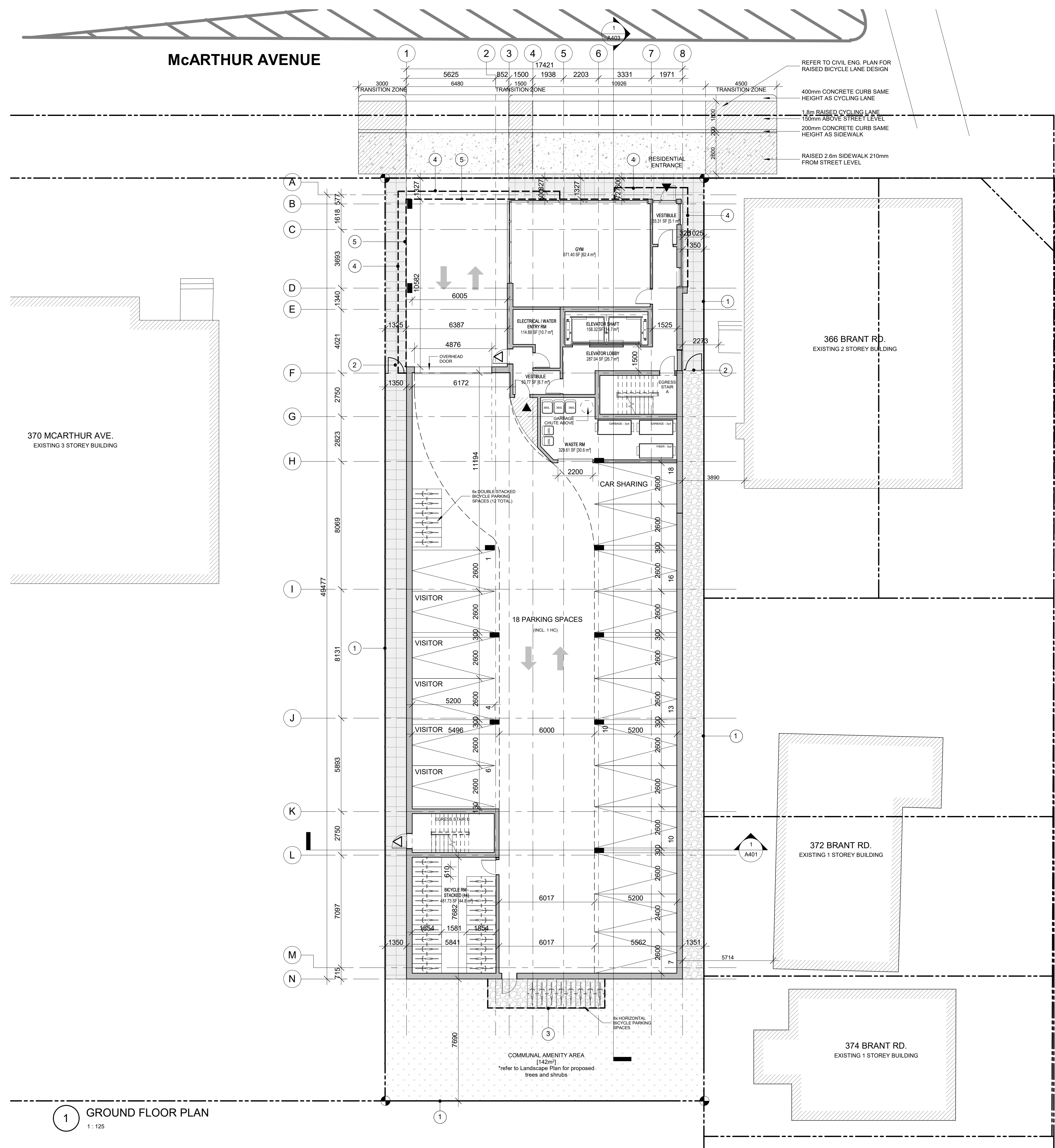
Revision	Date	Description
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2002
374 McArthur - Castle Heights
Residences

SITE PLAN

Scale as indicated **A003.2**

McARTHUR AVENUE



GENERAL NOTES

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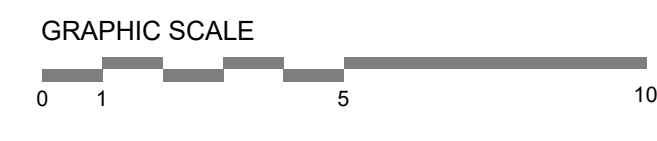
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- DRAWING LEGEND**
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 - ASPHALT PAVING
 - POURED CONCRETE
 - PEE GRAVEL (SEE LANDSCAPE)
 - BUILDING ACCESS
 - BUILDING EGRESS
 - PROPOSED PLANTATION (REFER TO LANDSCAPE)
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 - PROPERTY REQUIRED SETBACKS
 - EXISTING BUILDING TO BE DEMOLISHED
 - PRIVACY FENCE

- SPECIFIC NOTES**
- 1 1.8m PRIVACY FENCE ALONG FULL LENGTH OF PROPERTY LINE (SEE LANDSCAPE)
 - 2 SECURE ACCESS GATE
 - 3 BALCONY PROJECTION
 - 4 ENTRANCE CANOPY
 - 5 OUTLINE OF BUILDING ABOVE

LEVEL STATISTICS

	SQ. FT.	SQ. M.
GROSS FLOOR AREA (GFA)	8,500	789.67
PARKING AREA	5,934	551.3
LEASABLE AREA	0	0
AMENITY AREA	671 (INT)	62.3 (INT)
SERVICE AREA	916.3	85.12
SHAFTS / VOIDS	0	0
RESIDENTIAL CIRCULATION	0	0
NON-RESIDENTIAL CIRCULATION	447.5	41.6
STAIRCASE	373	34.65
ELEVATOR	158	14.7
UNIT TOTALS		
1 BEDROOM	-	-
2 BEDROOM	-	-
TOTAL	-	-



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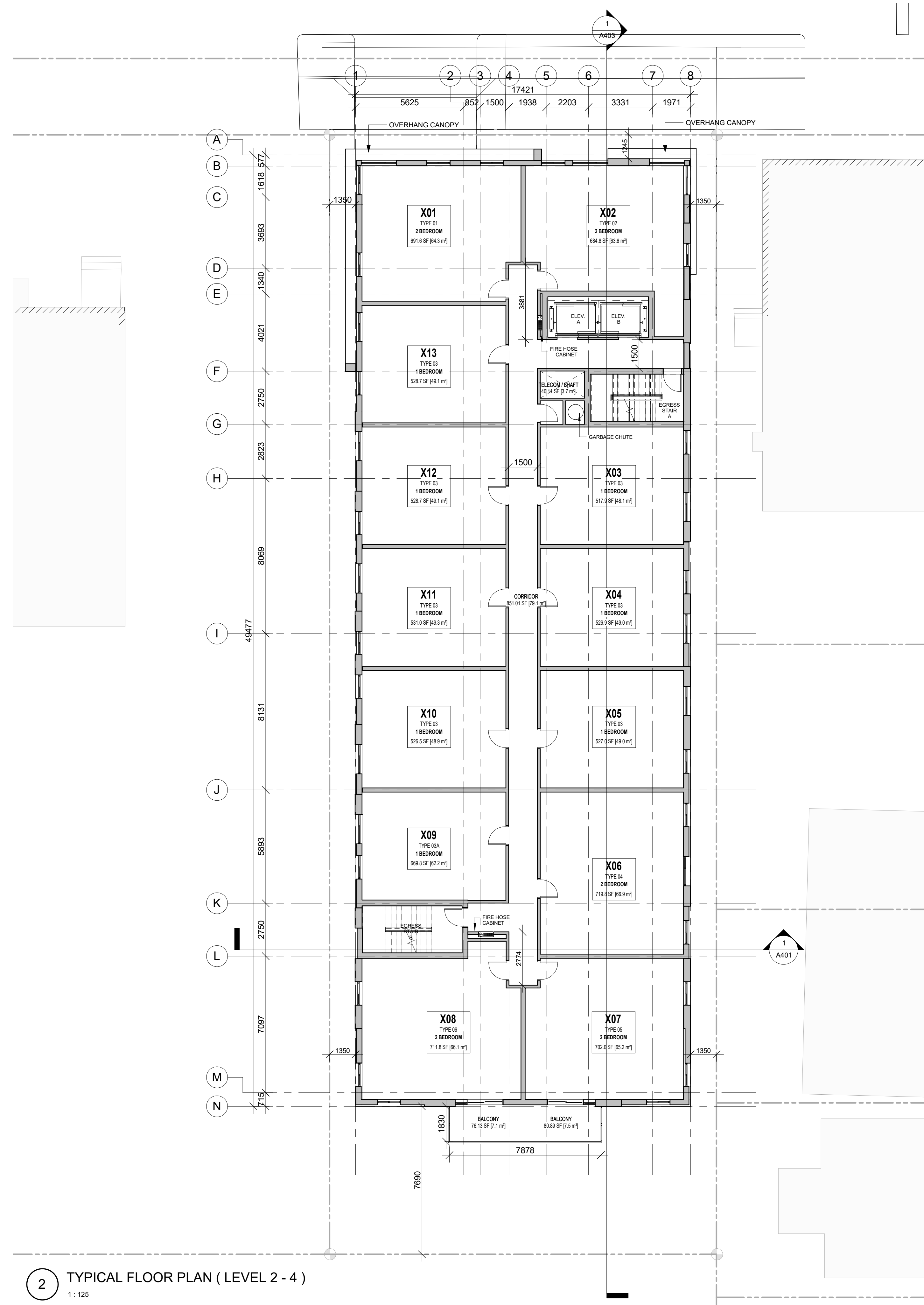
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Revision	Date	Description

1 GROUND FLOOR PLAN
 1:125

20002
 374 McArthur - Castle Heights
 Residences

GROUND FLOOR PLAN



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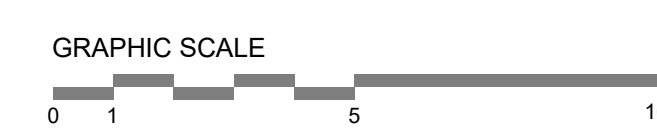
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LEVEL STATISTICS

	SQ. FT	SQ. M.
GROSS FLOOR AREA (GFA)	8,705.0	808.75
PARKING AREA	-	-
LEASABLE AREA	7,731.25	718.25
AMENITY AREA	150 (ext)	14 (ext)
SERVICE AREA	16	1.5
SHAFTS / VOIDS	48	4.5
RESIDENTIAL CIRCULATION	883	82
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	373.75	34.72
ELEVATOR	158	14.7
UNIT TOTALS		
1 BEDROOM	8 (24)	
2 BEDROOM	5 (15)	
TOTAL	13 (39)	



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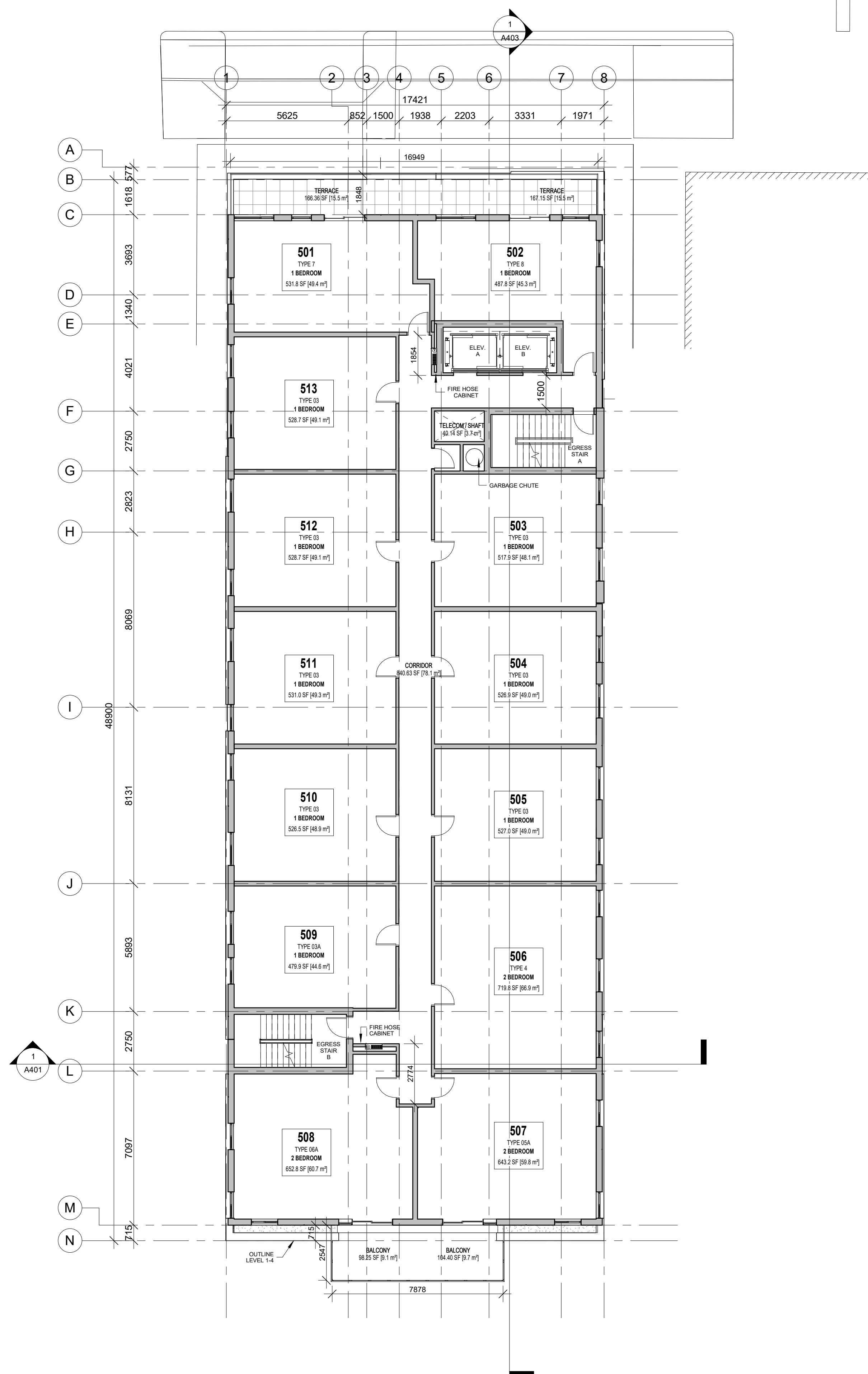
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20002

374 McArthur - Castle Heights
Residences

TYPICAL FLOOR PLANS (LEVEL
2-4)

2 TYPICAL FLOOR PLAN (LEVEL 2 - 4)
1 : 125



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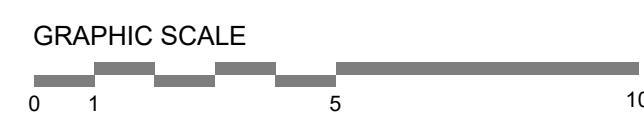
ROOF COVERING LEGEND

RF-1 2-PLY ROOF MEMBRANE SYSTEM WITH GRANULAR TOPPING
MANUFACTURER :
COLOR :
SQ.FT. : 6506 ft²

RF-2 ROOF TERRACE PAVERS
MANUFACTURER :
COLOR :
SQ.FT. :

LEVEL STATISTICS

	SQ.FT	SQ.M.
GROSS FLOOR AREA (GFA)	8587.25	797.75
PARKING AREA	-	-
LEASABLE AREA	7200	669
AMENITY AREA	536.25 (ext)	50 (ext)
SERVICE AREA	16	1.5
SHAFTS / VOIDS	48	4.5
RESIDENTIAL CIRCULATION	840.5	78
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	373.75	34.72
ELEVATOR	158	14.7
UNIT TOTALS		
1 BEDROOM	10	
2 BEDROOM	3	
TOTAL	13	



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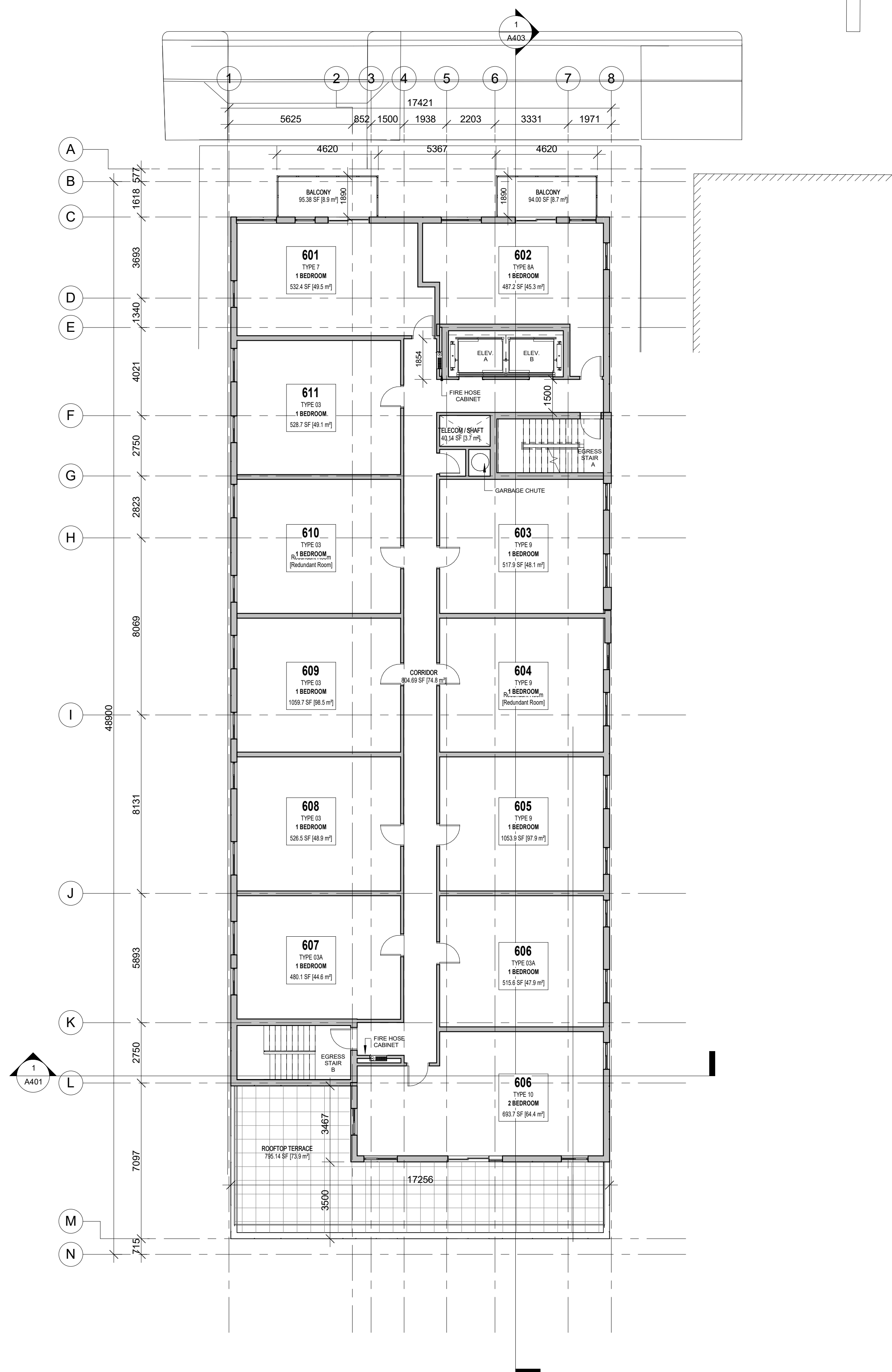
Revision	Date	Description
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20002

374 McArthur - Castle Heights Residences

FLOOR PLAN LEVEL 5

1 FLOOR PLAN LEVEL 5
1:125



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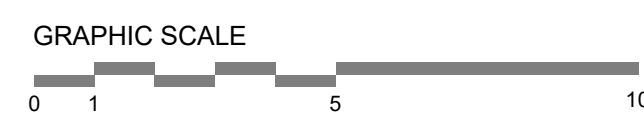
ROOF COVERING LEGEND

RF-1 2-PLY ROOF MEMBRANE SYSTEM WITH GRANULAR TOPPING
 MANUFACTURER :
 COLOR :
 SQ.FT. : 6506 ft²

RF-2 ROOF TERRACE PAVERS
 MANUFACTURER :
 COLOR :
 SQ.FT. :

LEVEL STATISTICS

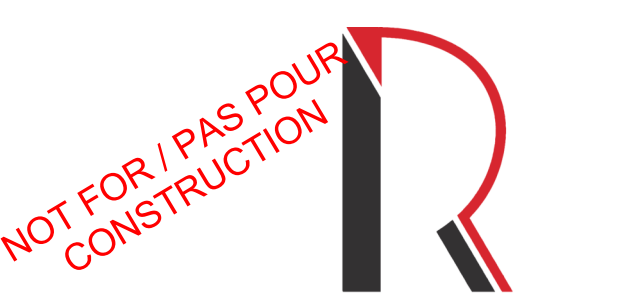
	SQ.FT.	SQ.M.
GROSS FLOOR AREA (GFA)	7731	718.25
PARKING AREA	-	-
LEASABLE AREA	6,393	594
AMENITY AREA	876 (ext)	81.4(ext)
SERVICE AREA	16	1.5
SHAFTS / VOIDS	48	4.5
RESIDENTIAL CIRCULATION	796.5	74
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	373.75	34.72
ELEVATOR	158	14.7
UNIT TOTALS		
1 BEDROOM	11	
2 BEDROOM	1	
TOTAL	12	



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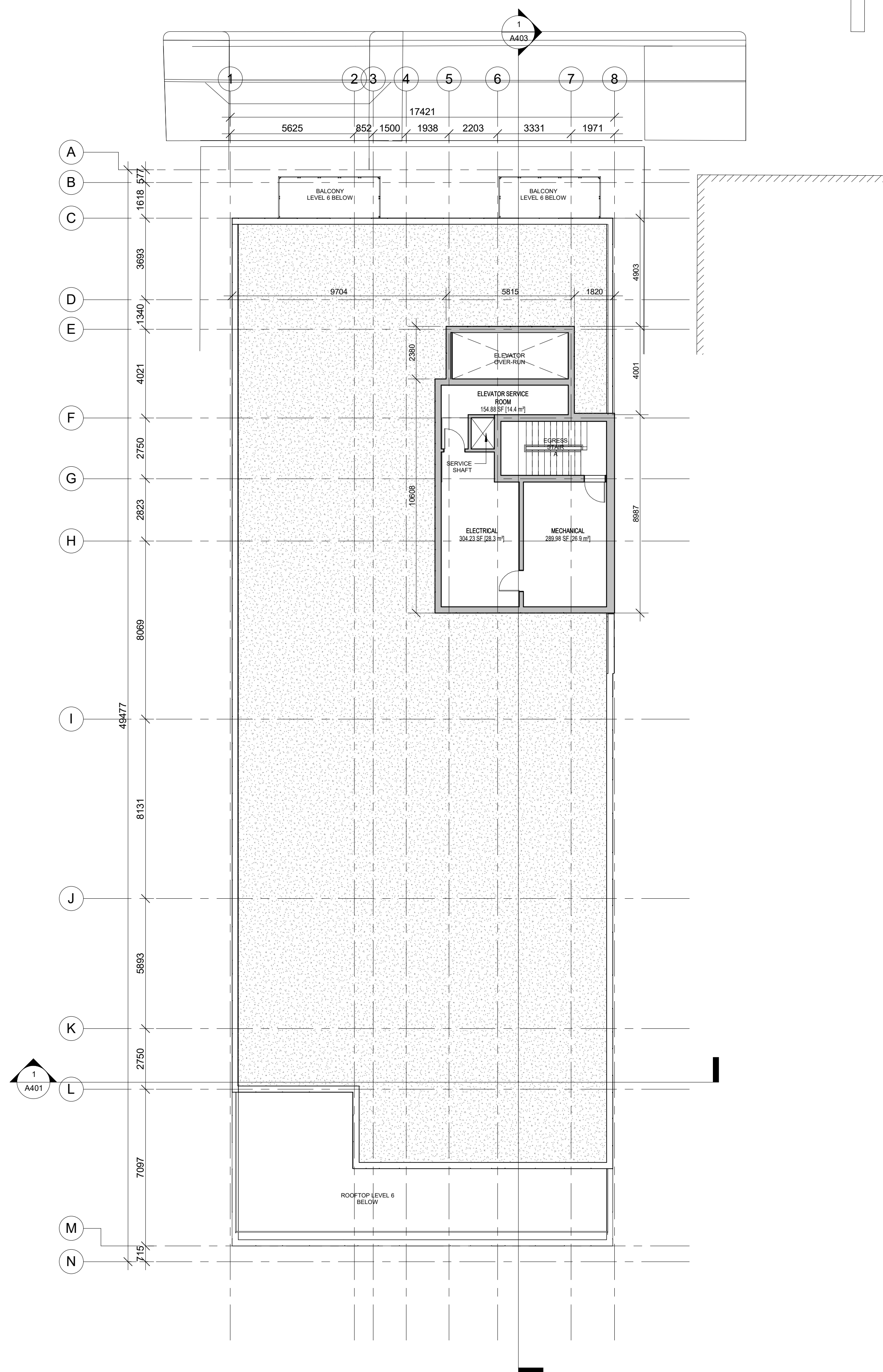
Revision	Date	Description
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
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Revision	Date	Description

20002
 374 McArthur - Castle Heights
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FLOOR PLAN LEVEL 6

1 FLOOR PLAN LEVEL 6
 1:125



GENERAL NOTES

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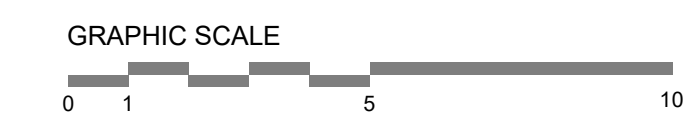
ROOF COVERING LEGEND

RF-1 2-PLY ROOF MEMBRANE SYSTEM WITH GRANULAR TOPPING
 MANUFACTURER :
 COLOR :
 SQ.FT. : 6506 ft²

RF-2 ROOF TERRACE PAVERS
 MANUFACTURER :
 COLOR :
 SQ.FT. :

LEVEL STATISTICS

	SQ.FT	SQ.M.
GROSS FLOOR AREA (GFA)	787.3	73.15
PARKING AREA	-	-
LEASABLE AREA	0	0
AMENITY AREA	0 (ext)	0 (ext)
SERVICE AREA	682	63.3
SHAFTS / VOIDS	16	1.5
RESIDENTIAL CIRCULATION	0	0
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	179	17
ELEVATOR	169	15.7
UNIT TOTALS		
1 BEDROOM		
2 BEDROOM		
TOTAL		



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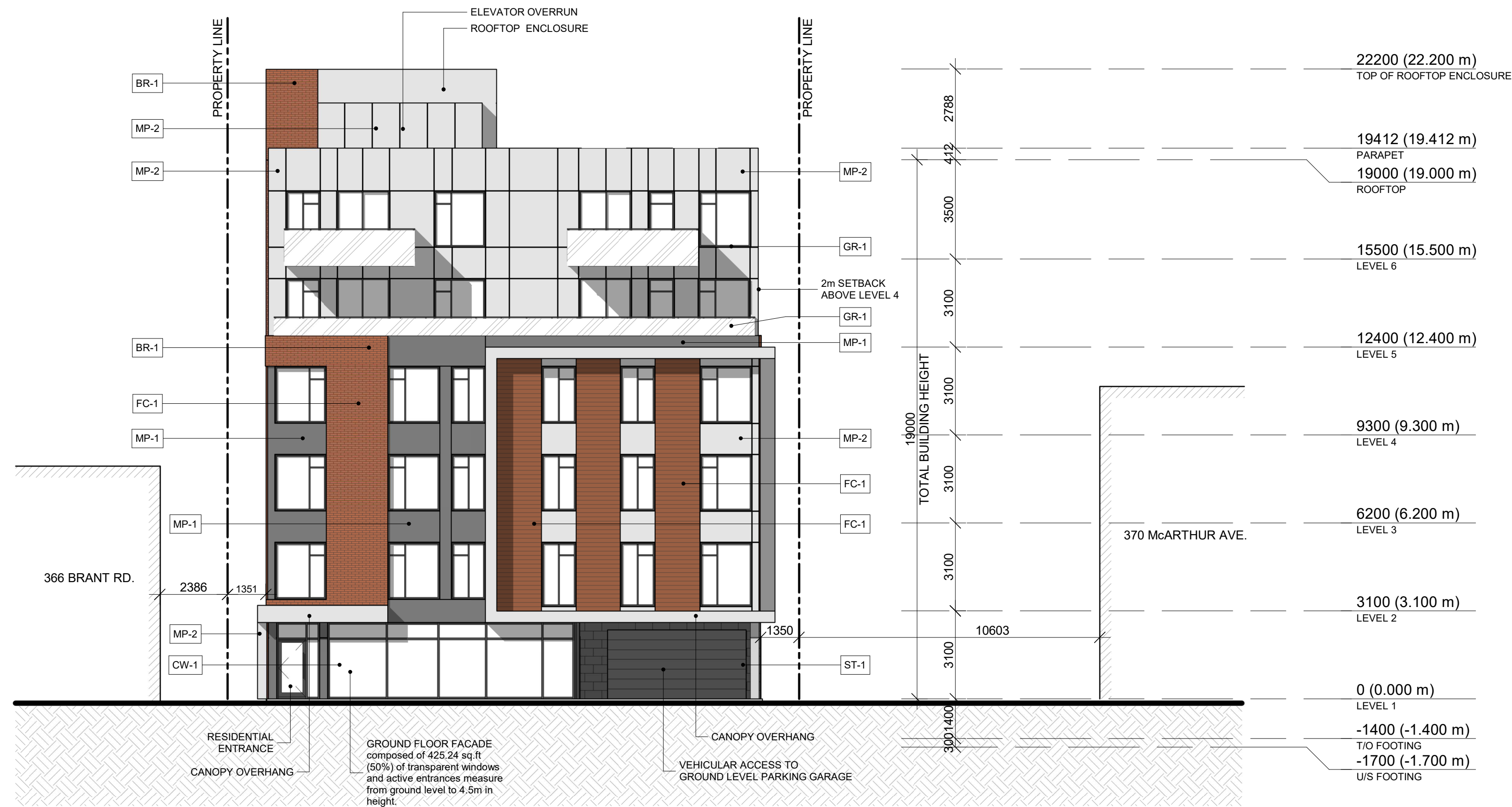
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1 FLOOR PLAN LEVEL ROOFTOP
 1:125

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ROOF PLAN



1 NORTH ELEVATION
1 : 125

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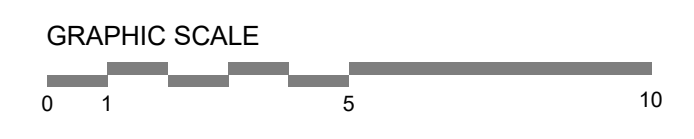
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MATERIAL LEGEND

ST-1	STONE VENEER MANUFACTURER : COLOR : CHARCOAL SQ.FT. :
BR-1	BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : BROWN / RED SQ.FT. :
MP-1	FIBER CEMENT PANELS TYPE 1 MANUFACTURER : JAMES HARDIE COLOR : CHARCOAL SQ.FT. :
MP-2	FIBER CEMENT PANELS TYPE 2 MANUFACTURER : JAMES HARDIE COLOR : LIGHT GREY SQ.FT. :
FC-1	HORIZONTAL FIBER-CIMENT CLADDING MANUFACTURER : JAMES HARDIE COLOR : CEDAR SQ.FT. :
MF-1	METALIC FLASHING MANUFACTURER : COLOR : CHARCOAL SQ.FT. :
CW-1	GLASS CURTAIN WALL COLOR : CLEAR
GR-1	GLASS RAILING COLOR : CLEAR



2 EAST ELEVATION
1 : 125

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NORTH & EAST ELEVATIONS

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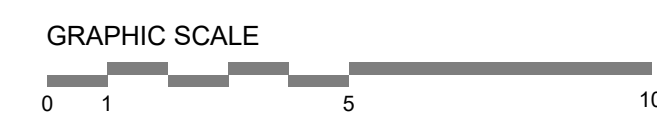
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374 McArthur - Castle Heights Residences

SOUTH & WEST ELEVATIONS



1 SOUTH ELEVATION
1:125



2 WEST ELEVATION
1:125

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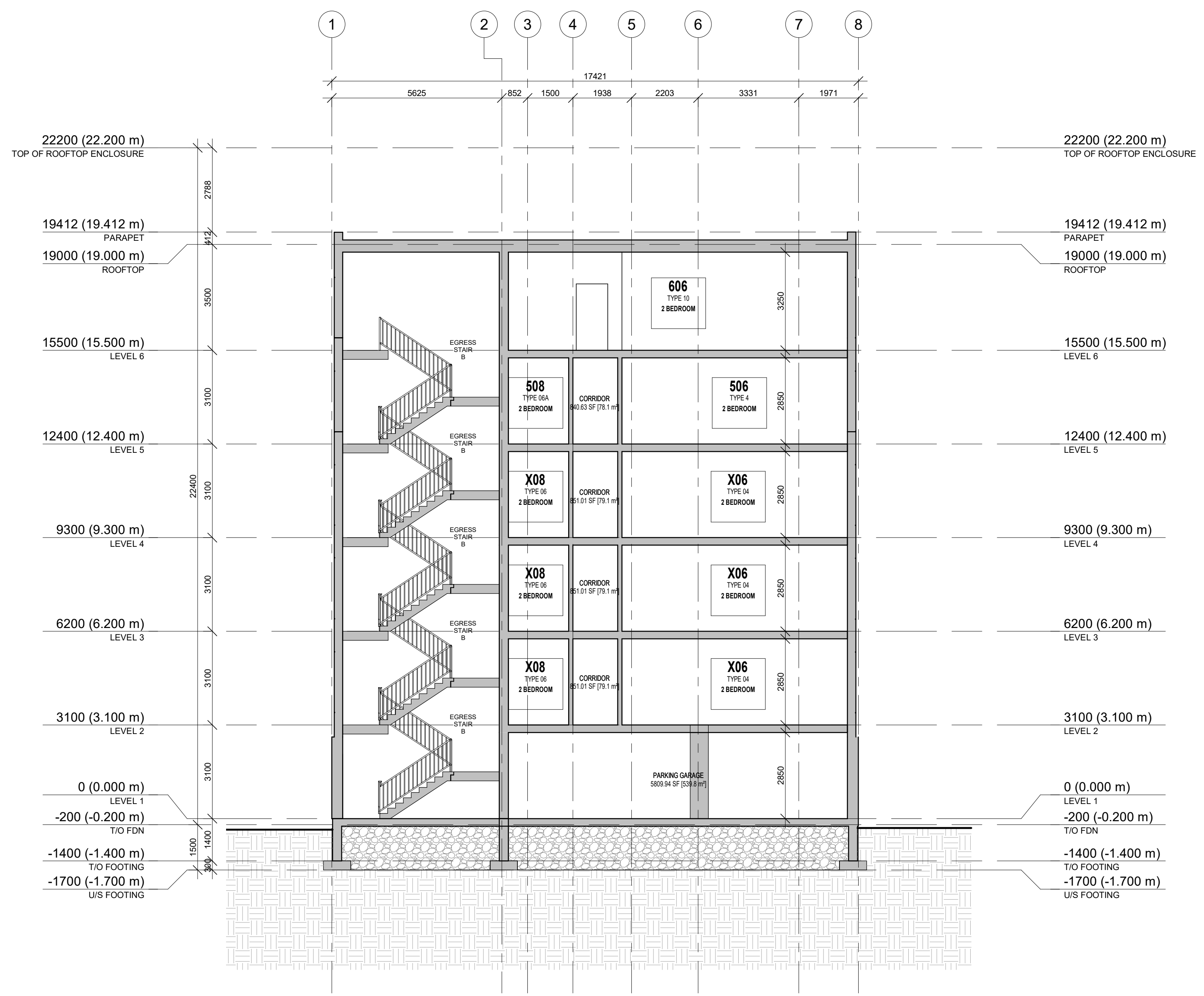
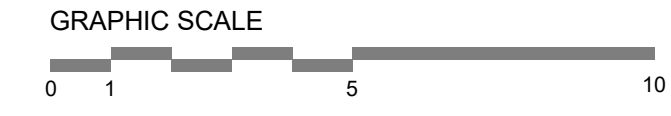
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1 BUILDING SECTION A
A101 A401 1 : 100

Revision	Date	Description
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
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BUILDING SECTION A

As indicated **A401**

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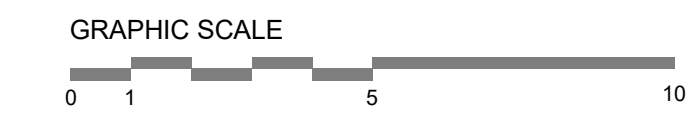
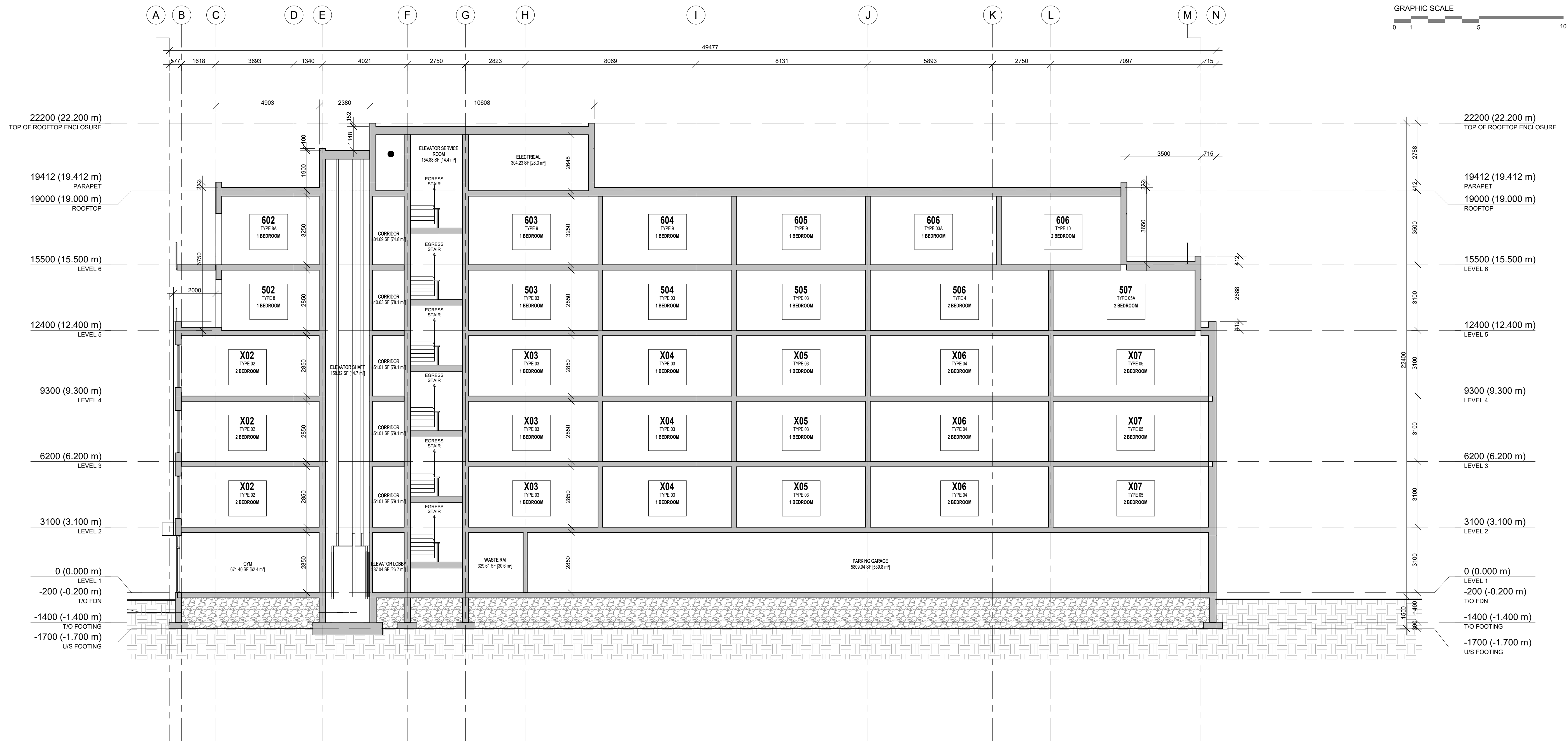
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Revision	Date	Description
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1 BUILDING SECTION B
 A101 | A403 1 : 100

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BUILDING SECTION B

As indicated **A403**