

**ZONING INFORMATION**

Zone: TM (112) H(16.0) Lot 83  
R4H H(11.0) Part of Lot 82

Legal Description:  
Lots 82, & Part of Lot 83  
Registered Plan #13  
City of Ottawa

Lot Area : 916 m<sup>2</sup>  
Proposed Lot Coverage: 78.5%  
Building Area: 719 m<sup>2</sup>  
Proposed Lot Frontage: 31.8 m (Somerset)  
23.16m (Booth)

**PROPOSED USE**  
-Commercial Retail Space at ground level  
-Apartments on all upper levels - 54 Units

**BUILDING HEIGHT**  
Allowable : 11.0 m Part Lot 82  
16.0 m Lot 83  
12.0 m Part Lot 82  
21.9 m Lot 83  
Proposed :

**PROPERTY SETBACKS**  
TM112 ZONE (Lot 83):  
-Front yard setback: 0.0 m required 0.0 m provided  
-Front yard setback (above 11m): 3.0 m required 0.0 m provided  
-Side yard setback (above 11m): 3.0 m required 0.0 m provided  
R4H ZONE (Part of Lot 82):  
-Front yard setback: 0.0 m required 0.0 m provided  
-Side yard setback (up to 21m): 1.5 m required 1.5 m provided  
-Side yard setback (beyond 21m): 7.5 m required 1.5 m provided  
-Rear yard setback: 7.5 m required 7.5 m provided

**GROSS FLOOR AREA**  
(Complete Building on Lots 1555, 1557 & 1559)  
Commercial GFA: 219 m<sup>2</sup>  
Total Residential GFA: 2839m<sup>2</sup>  
Total Building GFA: 3058m<sup>2</sup>

**FLOOR SPACE INDEX**  
TM Zone: No Maximum

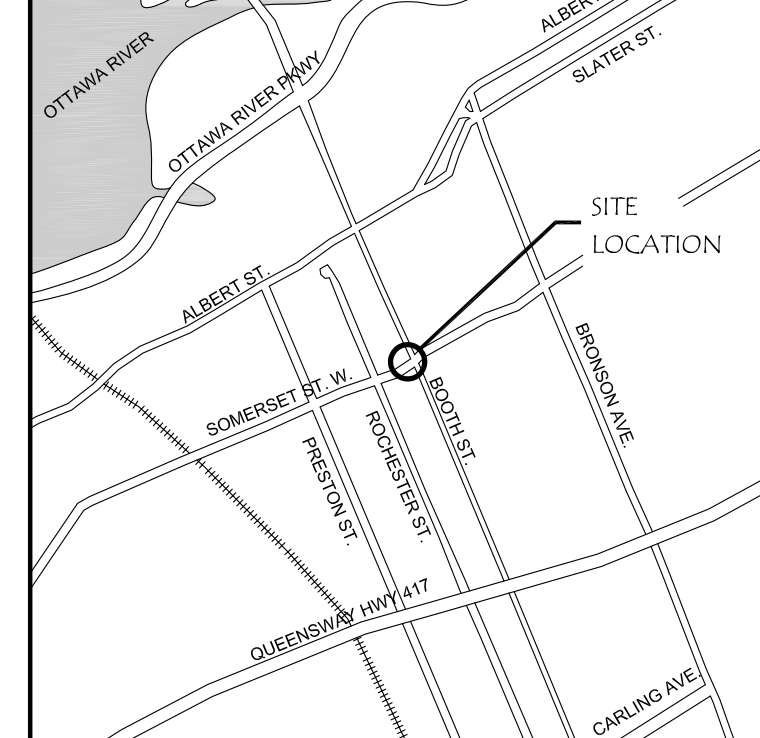
**LANDSCAPE AREAS**  
Required: 20% of Lot Area  
0.2 x 916 = 183.0 m<sup>2</sup>  
Proposed (softscape): 140.5 m<sup>2</sup>  
Proposed (total): 210.5 m<sup>2</sup>  
Proposed soft-scape percentage: 66.7% (8% required)

**AMENITY AREAS**  
Required:  
Total Amenity Area: 6m<sup>2</sup> per du = 324 m<sup>2</sup>  
Communal Area: 50% Amenity Area = 162 m<sup>2</sup>  
Proposed:  
Total Balconies: 93.7 m<sup>2</sup>  
Total Terraces: 144.1 m<sup>2</sup>  
Side yard landscape (along driveway): 33.8 m<sup>2</sup>  
Rear Garden Landscaped Area: 79.0 m<sup>2</sup> (communal)  
356.6 m<sup>2</sup> (124 req'd)

**PARKING**  
As per Table 101, Area B, Uses Related - Residential, sentence (d), lots abutting Somerset Street, and building within 60m from public transit station:  
Total residential spaces required: 0  
Total visitor parking spaces required: 0  
Total commercial spaces required: 0  
(all units < 150 m<sup>2</sup>)

Spaces provided:  
Residential spaces: 11  
Visitor spaces: 0  
Commercial/retail: 0  
Handicap: 0  
BICYCLE PARKING  
Residential : 5 x 54 du's = 27  
Commercial : 219 x 10 = 1  
Total Bikes Req'd: 28  
Bike Spaces Provided: 54

**LOCATION PLAN**



**REQUIRED MINOR VARIANCES**

LOT 83 (TM ZONE):

- 1) INCREASE BUILDING HEIGHT FROM 16.0m TO 21.9 m
- 2) INCREASE THE 3.0m FRONT YARD SET BACK BUILDING HEIGHT FROM 11.0m TO 16.0 m
- 3) REDUCE FRONT YARD SETBACK ABOVE 11.0m FROM 3.0m TO 0.0 m
- 4) REDUCE DRIVEWAY WIDTH FROM 6.7m TO 3.7m
- 5) BUILDING WITHIN SITE TRIANGLE
- 6) BUILDING ENCRoACHMENT ON CITY PROPERTY ALONG SOMERSET STREET
- 7) INCREASE NUMBER OF STOREYS FROM 6 TO 7
- 8) REMOVE REQUIREMENT FOR FLOOR AREA USED FOR RESIDENTIAL AND FOR COMMERCIAL USE MUST BE EQUAL ON ANY LOT 605 m<sup>2</sup> IN AREA OR MORE
- 9) REDUCE SIDE YARD SETBACK ABOVE 11.0m FROM 3.0m TO 0.0 m

PART OF LOT 82 (R4H ZONE):

- 10) INCREASE BUILDING HEIGHT FROM 11.0m TO 13.0 m
- 11) REDUCE SIDE-YARD SETBACK FROM 7.5m TO 1.5m BEYOND 21.0m FROM FRONT LOT LINE
- 12) REDUCE SIDE-YARD SETBACK FROM 7.5m TO 3.0m FOR 0.345m LENGTH BEYOND 21.0m FROM FRONT LOT LINE

**SURVEY INFORMATION FROM:**  
Farley, Smith & Denis Surveying Ltd.

**SITE DRAINAGE NOTE:**  
For all Proposed Site Drainage Patterns refer to Civil drawings prepared by D.B. Gray Engineering Inc.

**LANDSCAPE NOTE:**  
New planting & retaining walls locations indicated on this plan are approximate, refer to Landscape Plan by Gino J. Aiello Landscape Architect.

**GENERAL NOTES**

- A THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES TO THE ARCHITECT.
- B DO NOT SCALE DRAWINGS.
- C ALL WORK SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- D THIS DRAWING IS THE EXCLUSIVE PROPERTY OF CHRISTOPHER SIMMONDS ARCHITECT INC. COPYRIGHT RESERVED.

**PROJECT ADDRESS**  
288 Booth Street, Ottawa, ON

**DEVELOPER/PROPERTY OWNER**  
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Fax: 613 230 2598

**STRUCTURAL ENGINEER**  
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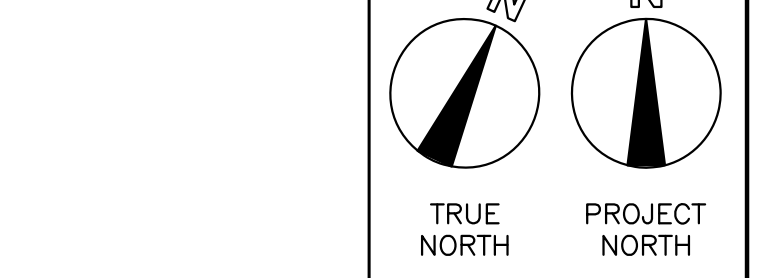
**LANDSCAPE ARCHITECT**  
Gino J. Aiello Landscape Architect  
50 Camelot Drive, Suite 200  
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**SURVEYOR**  
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Fax: 613 226 6344

No.	DATE	DESCRIPTION
01	AUG. 25, 2008	ISSUED FOR SITE PLAN CONTROL

**ARCHITECT'S SEAL:** PROJECT NORTH:  
TRUE NORTH PROJECT NORTH



Christopher Simmonds ARCHITECT Inc.  
THE ANNEX / 45 ECCLES ST. OTTAWA ON K1R 4S1  
613.567.7888 PHONE / 613.567.7528 FAX / csarchitect.com

**PROJECT:**  
288 BOOTH STREET  
MIXED USE PROJECT

**DRAWING TITLE:**  
SITE PLAN

<b>DATE:</b>	2011/08/25	<b>DRAWING No.:</b>	
<b>SCALE:</b>	1:125		
<b>DRAWN BY:</b>	JPL		
<b>JOB No.:</b>	392-10		

SPC-1

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