

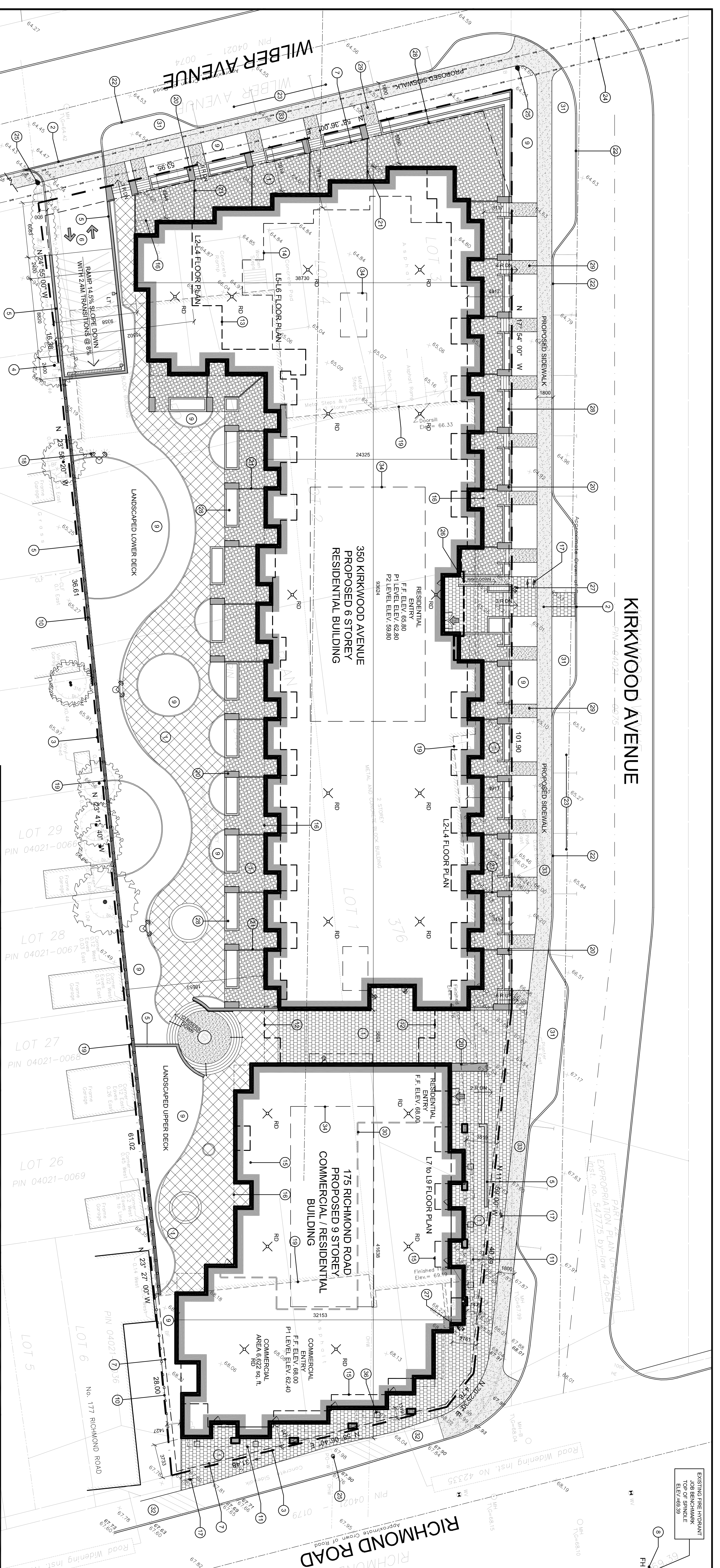
IT IS THE RESPONSIBILITY OF THE APPLICANT TO CHECK AND VERIFY ALL DIMENSIONS AND DIMENSIONAL REQUIREMENTS AND OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERMIT CODES AND BY-LAWS FOR CONSTRUCTION UNITS SUBMITTED BY THE APPLICANT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

**NOTATION SYMBOLS:**

- 1 INDICATES DRAWING NOTES LISTED ON EACH SHEET.
- 2 INDICATES ASSEMBLY TYPE REFER TO TYPICAL ASSEMBLY SCHEDULE.
- 3 INDICATES WINDOW TYPE REFER TO WINDOW ELEVATIONS AND DETAILS ON ASSEMBLY SCHEDULE.
- 4 INDICATES DOOR TYPE REFER TO DOOR ELEVATIONS AND DETAILS ON ASSEMBLY SCHEDULE.
- 5 DETAIL NUMBER.
- 6 DETAIL REFERENCE PAGE.
- 7 DETAIL CROSS REFERENCE PAGE.

**GENERAL NOTES:**

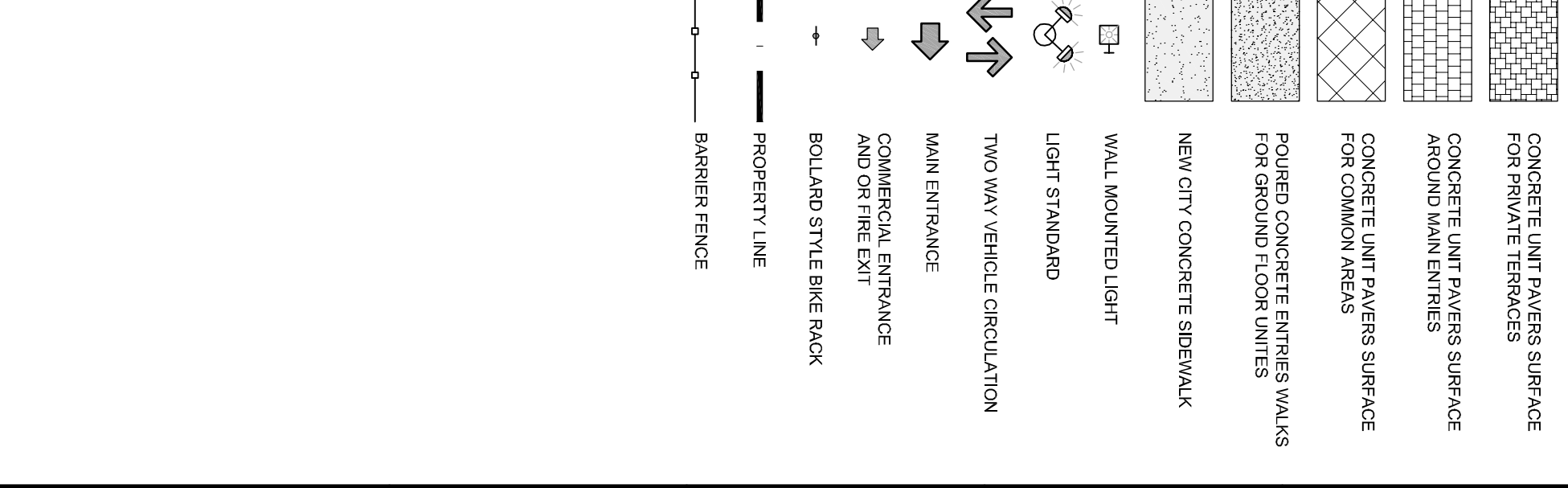
- 1 REFER TO TYPICAL ASSEMBLY SHEET FOR WALL, PARTITION, ROOF, CEILING & FLOOR TYPES.
- 2 REFER TO TYPICAL ASSEMBLY SHEET FOR FLOOR FLOOR TYPES AND DIMENSIONAL REQUIREMENTS.
- 3 REFER TO TYPICAL ASSEMBLY SHEET FOR ROOF TYPES AND DIMENSIONS AND DRAIN FROM THE FACE OF ROOF/WALL.
- 4 ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- 5 ALL EXTERIOR WALLS ARE TO BE TYPE "W" UNLESS NOTED OTHERWISE.
- 6 ALL INTERIOR PARTITIONS ARE TO BE TYPE "P" UNLESS NOTED OTHERWISE.



**DRAWING NOTES**

- 1 HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE.
- 2 SPURSESS CURB AND SIDEWALK TO CITY STANDARDS.
- 3 PROPERTY LINE.
- 4 EXISTING TREES ALONG ADJACENT PROPERTY.
- 5 RETAINING WALL.
- 6 HEATED VEHICLE ENTRANCE RAMP TO UIC PARKING CHANGE WITH DIRECTION SIGN.
- 7 EXISTING FIRE HYDRANT.
- 8 OUTLINE OF UNDERGROUND PARKING LEVELS.
- 9 EXISTING FIRE HYDRANT.
- 10 SOFT LANDSCAPING, SEE LANDSCAPE PLAN.
- 11 ROOM WITH HIGH PRIVACY FENCE.
- 12 ENTRANCE CANOPY OVER COMMERCIAL UNIT ENTRY.
- 13 OUTLINE OF 2nd FLOOR.
- 14 OUTLINE OF 3 TO 4th UPPER FLOORS.
- 15 OUTLINE OF 5 TO 6 LEVEL UPPER FLOORS.
- 16 OUTLINE OF 7 TO 8 LEVEL UPPER FLOORS.
- 17 OUTLINE OF PRIVATE TERRACE ABOVE.
- 18 BOLD LINE STYLE BOUNDARIES, SEE LANDSCAPE PLAN FOR EXACT LOCATION AND SPEC.
- 19 LIGHT STANDARDS, SEE LANDSCAPE PLAN FOR EXACT LOCATION AND SPEC.
- 20 EXISTING COMMERCIAL BUILDING TO BE REMOVED.
- 21 MASONRY ENTRY FEATURE.
- 22 METAL FINISHED GLASS PRIVACY SCREEN.
- 23 PROPOSED STREET CURB.
- 24 PROPOSED STREET PARKING.
- 25 EXISTING OVERHEAD HYDRO LINES.
- 26 EXISTING UTILITY POLE.
- 27 CONCRETE HANDICAPPED RAMP.
- 28 SWAIVER CONNECTION.
- 29 BARRIERS PLANTER BOX.
- 30 CONCRETE ENTRY WALKWAYS.
- 31 OUTLINE OF GROUND FLOOR COMMERCIAL.
- 32 500 BOLLARD/VAO.
- 33 NEW ROOMS WIDE CITY SIDEWALK.
- 34 ROOF TOP STAIRWELL, MECHANICAL PENHOUSE.
- 35 ROOF DRAINS.
- 36 WALL MOUNTED LIGHT FIXTURE.

**SITE PLAN SYMBOLS**



**LEGAL DESCRIPTION**

**TOPOGRAPHICAL PLAN OF PART OF LOT 1 AND ALL OF LOTS 2, 3, 4 AND 5 REGISTERED PLAN 576 CITY OF OTTAWA**  
 Surveyed by Anne, O'Sullivan, Vollebek Ltd.  
 Field Work Completed

**CAR PARKING**

REQUIRED RESIDENCE	-0.2 PER UNIT (239 UNITS)	120
REQUIRED VISITOR	-0.2 PER DWELLING UNIT (AFTER 12)	46
REQUIRED COMMERCIAL	-2.5 PER 100 M <sup>2</sup> OF G.F.A.	15
<b>TOTAL</b>		<b>181</b>

**PROJECT INFORMATION**

REQUIREZ	9 STOREYS	29.8 M
LANDSCAPE OPEN SPACE	(43%)	38113 sq. ft. (3572) sq. ft.
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**175 RICHMOND ROAD**  
OTTAWA ONTARIO

**SITE PLAN**

SCALE: 1:200

DATE: 11/08/2011

PROJECT NO: 1108

**CLARIDGE H.O.M.E.S**

**RODERICK LAHEY ARCHITECTS**

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