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 DO NOT SCALE DRAWINGS.
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NOTATION SYMBOLS:

(N)	INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
(A)	INDICATES ASSEMBLY TYPE; REFER TO WINDOW ASSEMBLY SCHEDULE.
(W)	INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
(D)	INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
(#)	DETAIL NUMBER
(T)	TITLE
(R)	DETAIL REFERENCE PAGE
(C)	DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- REFER TO TYPICAL ASSEMBLY SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A300 SERIES.
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- ALL EXTERIOR WALLS ARE TO BE TYPE 'W' UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P' UNLESS NOTED OTHERWISE.

▲	REVISED AS PER S.P.C. COMMENTS	Mar 22, 12
▲	ISSUED FOR SITE PLAN CONTROL & ZONING AMENDMENT APPLICATION	Oct 12, 11
▲	PRINTER FOR DESIGN REVIEW	Sept 8, 11
▲	ISSUED FOR ZONING AMENDMENT	July 15, 11

No.	DESCRIPTION	DATE
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ARCHITECT: **RODERICK LAHEY ARCHITECTS**
 1501 CARLING AVENUE, SUITE 200 OTTAWA, ONTARIO K1Z 7M1
 TEL: 613.724.9932 FAX: 613.724.1209 WWW.RODERICKLAHEY.CA

CLARIDGE HOMES
 PROJECT INFORMATION
 ZONING: Zoning By-Law 2008-250, Proposed Zoning TM (H29)
 SITE AREA: 6,386.65 sq. m. (68,745) sq. ft.

PROJECT STATISTICS
 BUILDING HEIGHT: 9 STOREYS 28.0 M
 LANDSCAPE OPEN SPACE (43%): 3611.3 sq. m. (38,872) sq. ft.

GROSS BUILDING AREAS (CONSTRUCTION AREA)

P3 PARKING LEVEL	6,089.6 sq. m. (65,333) sq. ft.
P2 PARKING LEVEL	6,089.6 sq. m. (65,333) sq. ft.
P1 PARKING LEVEL	1,711.8 sq. m. (18,426) sq. ft.
GROUND FLOOR	3,297.3 sq. m. (35,492) sq. ft.
1TH UPPER FLOOR	2,100.0 sq. m. (22,604) sq. ft.
2nd FLOOR	2,904.4 sq. m. (31,263) sq. ft.
3rd FLOOR	2,709.3 sq. m. (29,163) sq. ft.
4th FLOOR	2,577.9 sq. m. (27,822) sq. ft.
5th FLOOR	1,104.0 sq. m. (11,883) sq. ft.
6th FLOOR	1,005.0 sq. m. (10,819) sq. ft.
7th FLOOR	945.0 sq. m. (10,172) sq. ft.
8th FLOOR	889.5 sq. m. (9,575) sq. ft.
9th FLOOR	20,458.5 sq. m. (220,213) sq. ft.

SITE PLAN
 DRAWN BY: RV
 CHECKED BY: R.L.A.
 SCALE: 1:200
 SHEET NO.: SP-1
 PROJECT NO.: 1108

- DRAWING NOTES**
- HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERNS AND TYPE
 - DEPRESSED CURB AND/OR SIDEWALK TO CITY STANDARDS
 - PROPERTY LINE
 - EXISTING TREES ALONG ADJACENT PROPERTY
 - RETAINING WALL
 - 6.0 M WIDE HEATED VEHICLE ENTRANCE RAMP TO U/G PARKING GARAGE WITH DRENCH DRAIN
 - OUTLINE OF UNDERGROUND PARKING LEVELS
 - EXISTING FIRE HYDRANT
 - SOFT LANDSCAPING, SEE LANDSCAPE PLAN
 - 100mm HIGH BLACK METAL RAILING / FENCE
 - ENTRANCE CANOPY OVER COMMERCIAL UNIT ENTRY
 - OUTLINE OF 2nd FLOOR
 - 3.0 x 3.0 SITE TRIANGLE
 - OUTLINE OF UPPER FLOORS
 - MOUNTABLE CURB
 - OUTLINE OF PRIVATE TERRACE ABOVE
 - BOLLARD STYLE BICYCLE RACKS, SEE LANDSCAPE PLAN FOR EXACT LOCATION AND SPEC
 - LIGHT STANDARDS, SEE LANDSCAPE PLAN FOR EXACT LOCATION AND SPEC
 - EXISTING COMMERCIAL BUILDING TO BE REMOVED
 - MASONRY ENTRY FEATURE
 - METAL FRAMED GLASS PRIVACY SCREEN
 - PROPOSED STREET CURB
 - PROPOSED PUBLIC STREET PARKING
 - EXISTING OVERHEAD HYDRO LINES
 - EXISTING UTILITY POLE
 - CONCRETE HANDICAPPED RAMP
 - SIAMENSE CONNECTION
 - RAISED PLANTER BOX
 - CONCRETE ENTRY WALKWAYS
 - OUTLINE OF GROUND FLOOR COMMERCIAL

- SITE PLAN SYMBOLS**
- CONCRETE UNIT PAVERS SURFACE FOR PRIVATE TERRACES
 - CONCRETE UNIT PAVERS SURFACE AROUND MAIN ENTRIES
 - CONCRETE UNIT PAVERS SURFACE FOR COMMON AREAS
 - POURED CONCRETE ENTRIES WALKS FOR GROUND FLOOR UNITS
 - NEW CITY CONCRETE SIDEWALK
 - WALL MOUNTED LIGHT
 - LIGHT STANDARD
 - TWO WAY VEHICLE CIRCULATION
 - MAIN ENTRANCE
 - COMMERCIAL ENTRANCE AND/OR FIRE EXIT
 - BOLLARD STYLE BIKE RACK
 - PROPERTY LINE
 - BARRIER FENCE

LEGAL DESCRIPTION
 TOPOGRAPHICAL PLAN OF PART OF LOT 1 AND ALL OF LOTS 2, 3, 4 AND 5 REGISTERED PLAN 376 CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd. Field Work Completed

PROJECT DEVELOPER
 Claridge Homes
 2001 -201 Gladstone Avenue, Ottawa, Ontario, K2P 0Y6
 Tel: (613) 233-6030
 Fax: (613) 233-8290

SURVEYOR
 Annis O'Sullivan Vollebek Ltd.
 Ontario Land Surveyors
 14 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6
 Tel: (613) 727-0850
 Fax: (613) 727-1079

CIVIL ENGINEER
 Novatech Eng. Consultants Limited
 200 - 240 Michael Cowpland Drive
 Ottawa, Ontario, K2M 1P6
 Tel: (613) 254-9643
 Fax: (613) 254-5867

LANDSCAPE ARCHITECT
 James B. Lennox & Associates Inc.
 1419 Carling Ave. Su 200A
 Ottawa, Ontario K1Z 7L6
 Tel: (613) 722-5168
 Fax: 1-866-343-3942

UNIT STATISTICS

TWO LEVEL UNIT	30
1 BEDROOM UNIT	101
2 BEDROOM UNIT	96
TOTAL	227
COMMERCIAL RETAIL	700.0 sq. m. (7,530) sq. ft.

CAR PARKING

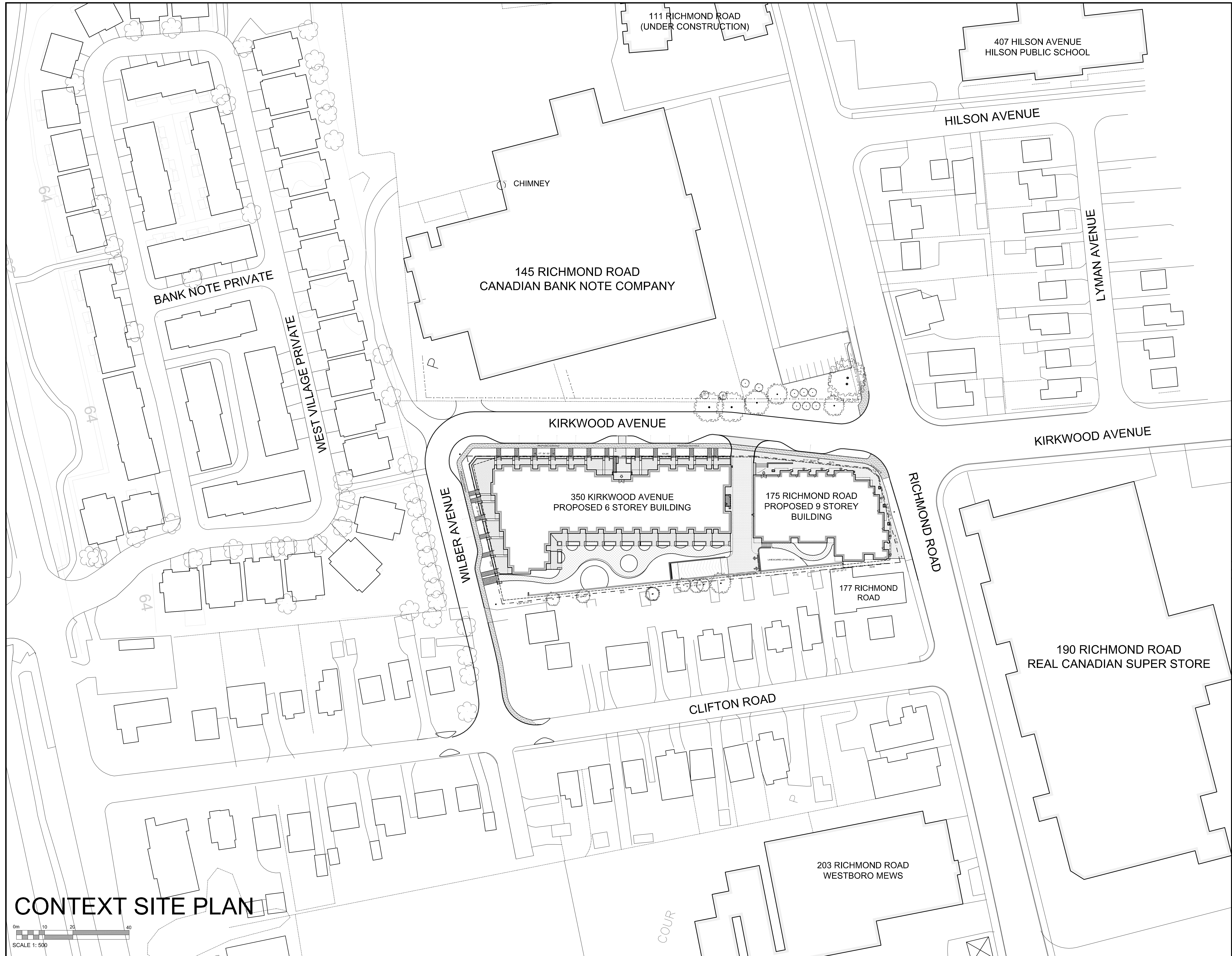
REQUIRED	
RESIDENCE	- 0.5 PER UNIT (227 UNITS)
VISITOR	- 0.2 PER DWELLING UNIT (AFTER 12 UNITS)
COMMERCIAL	- 2.5 PER 100 M ² OF G.F.A. @ TO 15
TOTAL	172
PROVIDED	
RESIDENCE	- 1.0 PER UNIT (227 UNITS)
VISITOR	- 0.2 PER DWELLING UNIT
COMMERCIAL	- 2.5 PER 100 M ² OF G.F.A.
TOTAL	300

BICYCLE PARKING

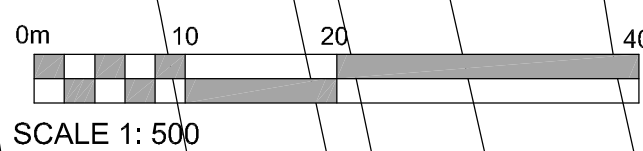
REQUIRED	
RESIDENCE	- 0.5 PER UNIT (227 UNITS)
COMMERCIAL	- 1.0 PER 250 M ² OF G.F.A.
TOTAL	3
PROVIDED	
UNDERGROUND & AT GRADE	120



SITE PLAN
 SCALE 1: 250



CONTEXT SITE PLAN



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- (-)-DETAIL NUMBER
- (-)-TITLE
- (-)-PAGE
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- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

No.	DESCRIPTION	DATE
1	ISSUED FOR S.P.C. & ZONING AMENDMENT	Mar 14, 12

ARCHITECT SEAL: NORTH ARROW:

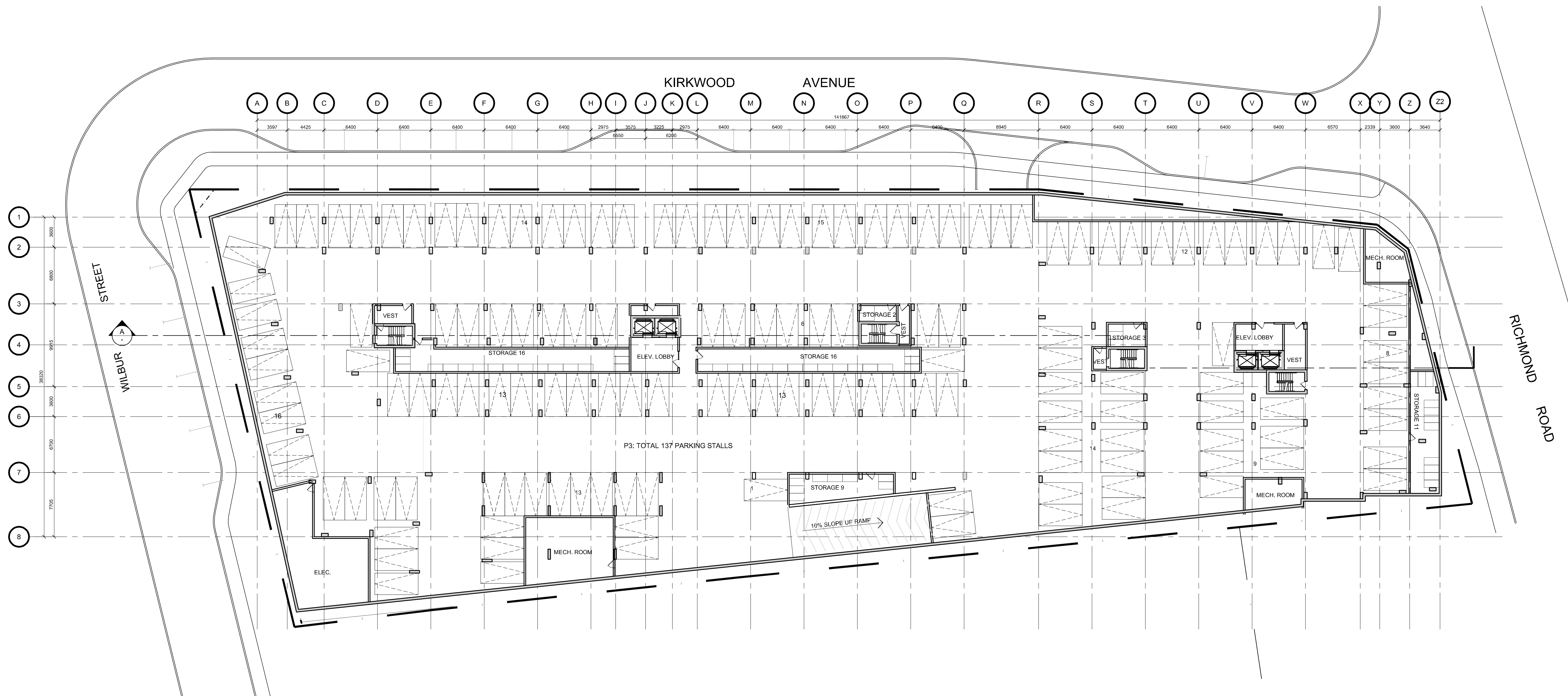
CLIENT:

ARCHITECT: **RODERICK LAHEY ARCHITECT INC**
 1501 CARLING AVENUE, SUITE 200 OTTAWA, ONTARIO K1Z 7M1
 t. 613.724.9932 f. 613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
175 RICHMOND ROAD
 OTTAWA ONTARIO

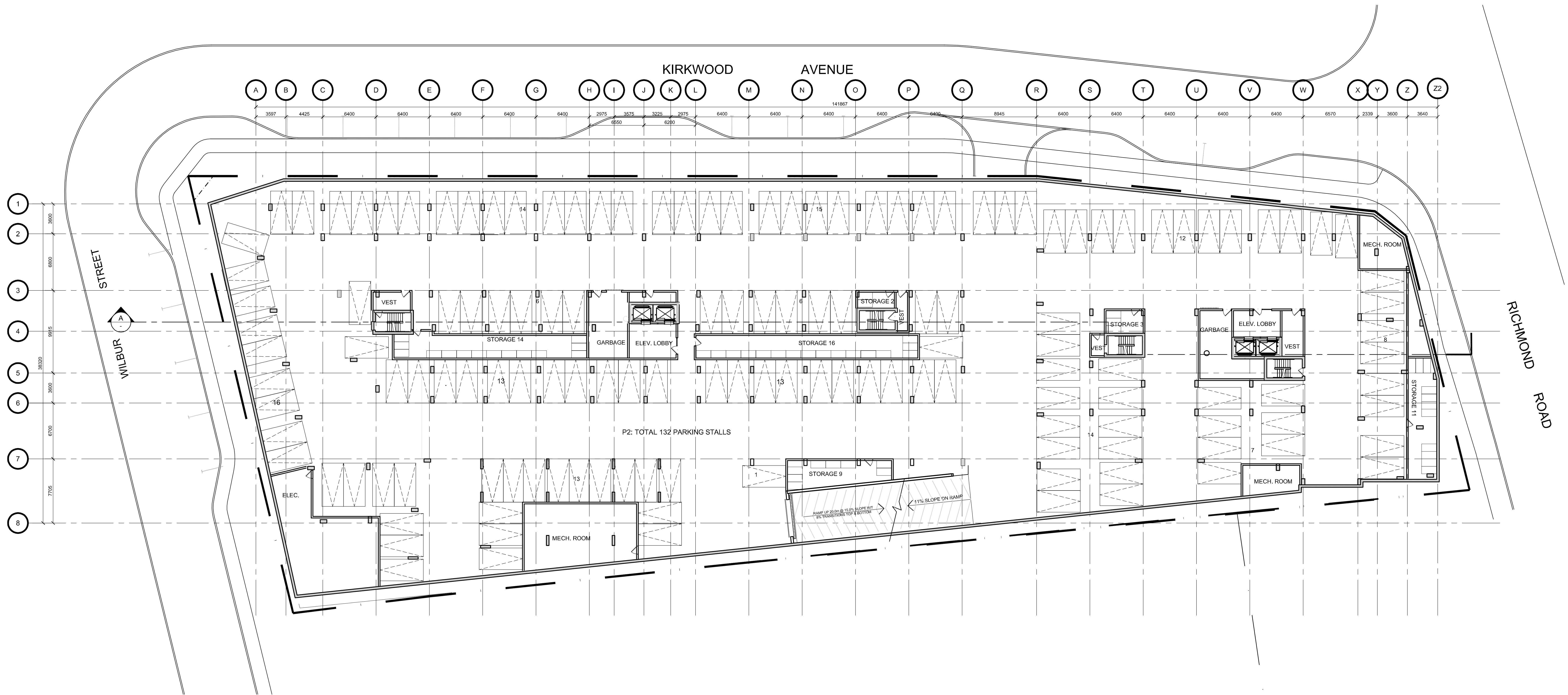
SHEET TITLE:
CONTEXT SITE PLAN

DRAWN: RV	CHECKED: R.L.A.
SCALE: 1:500	SHEET No. SP-2
PROJECT No. 1108	



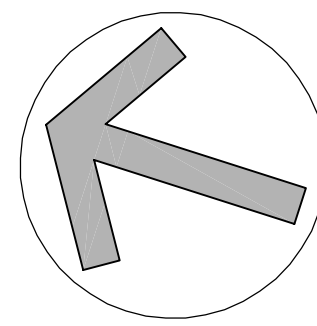
PARKING P3 PLAN

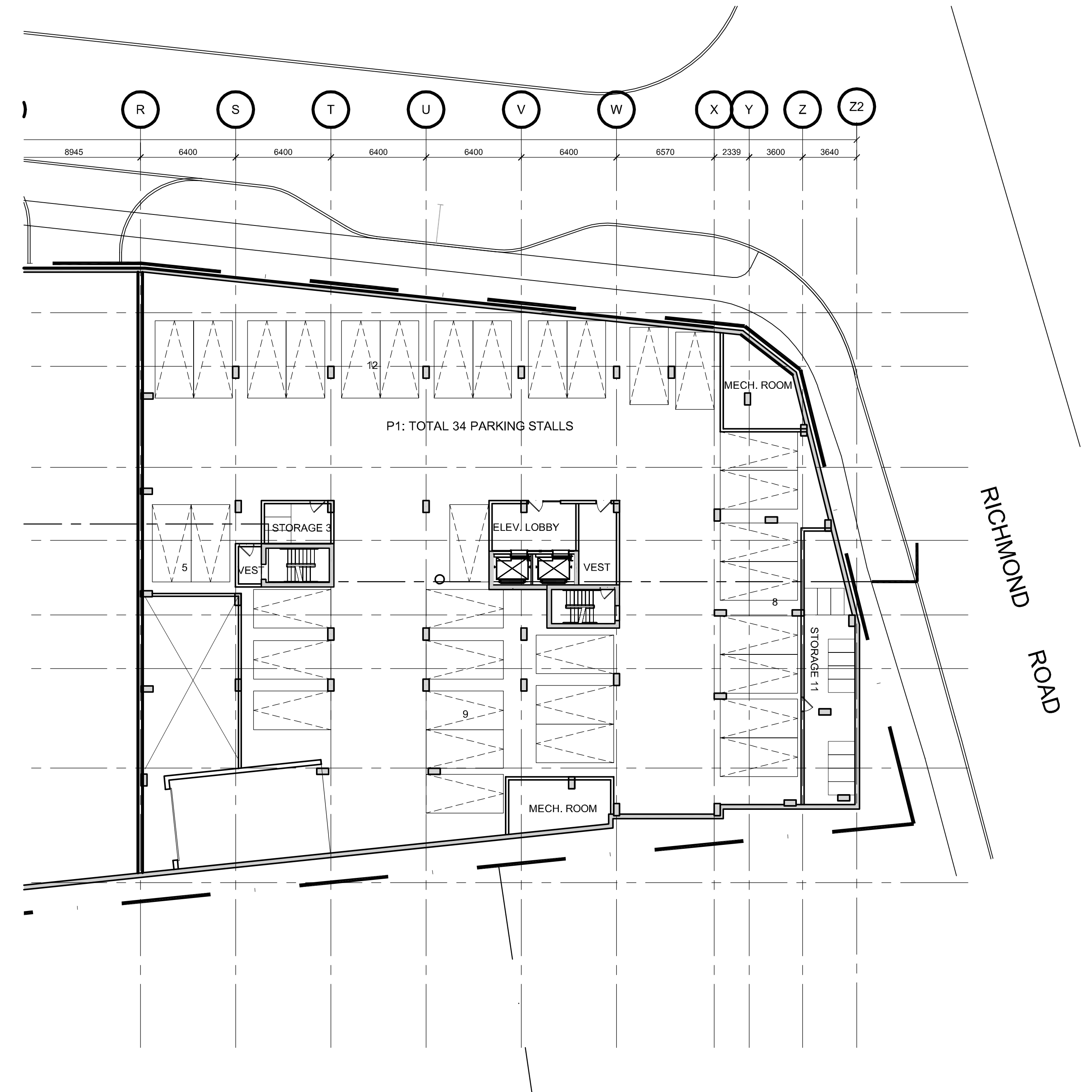
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PARKING P2 PLAN

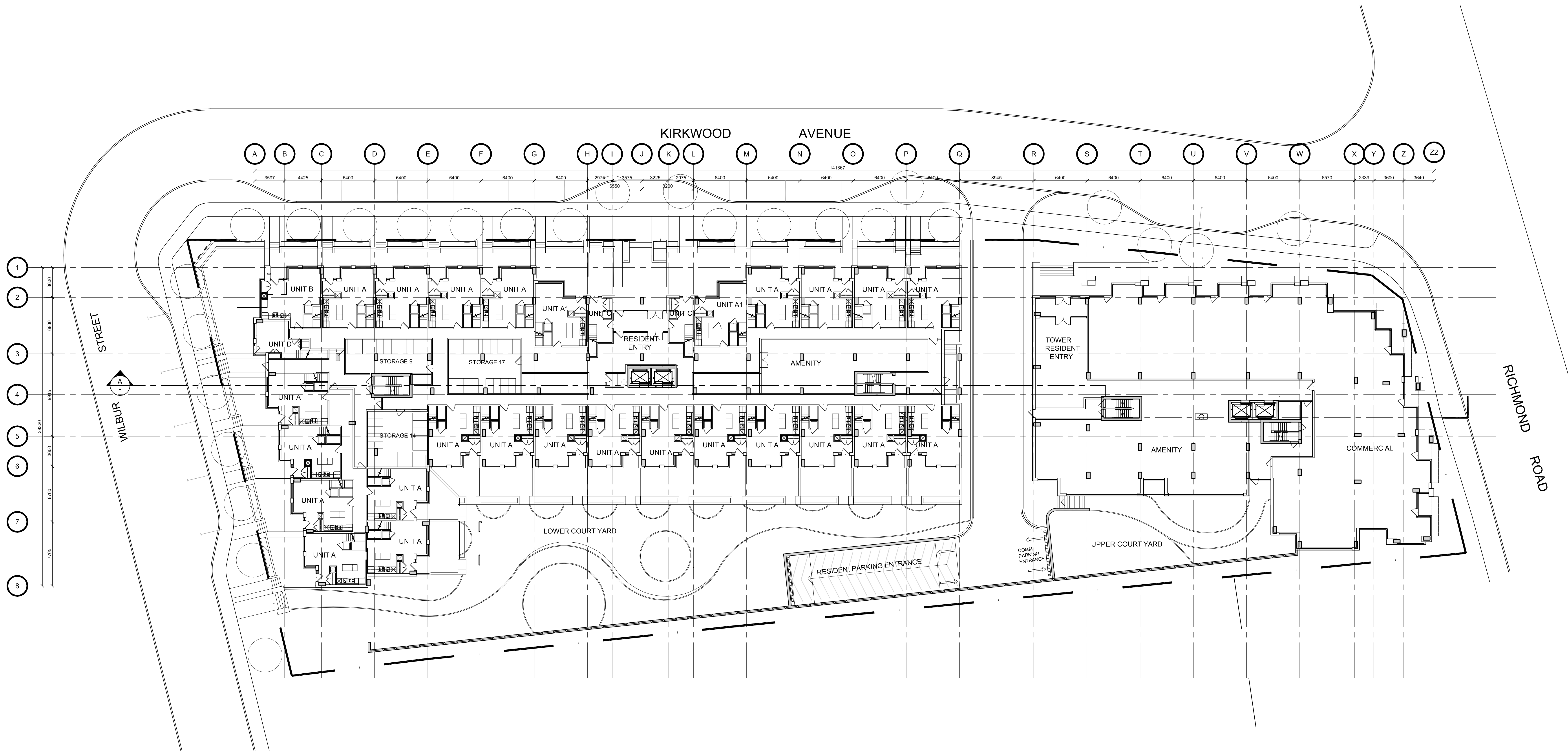
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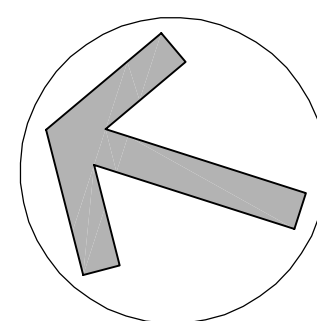
PARKING P1 PLAN

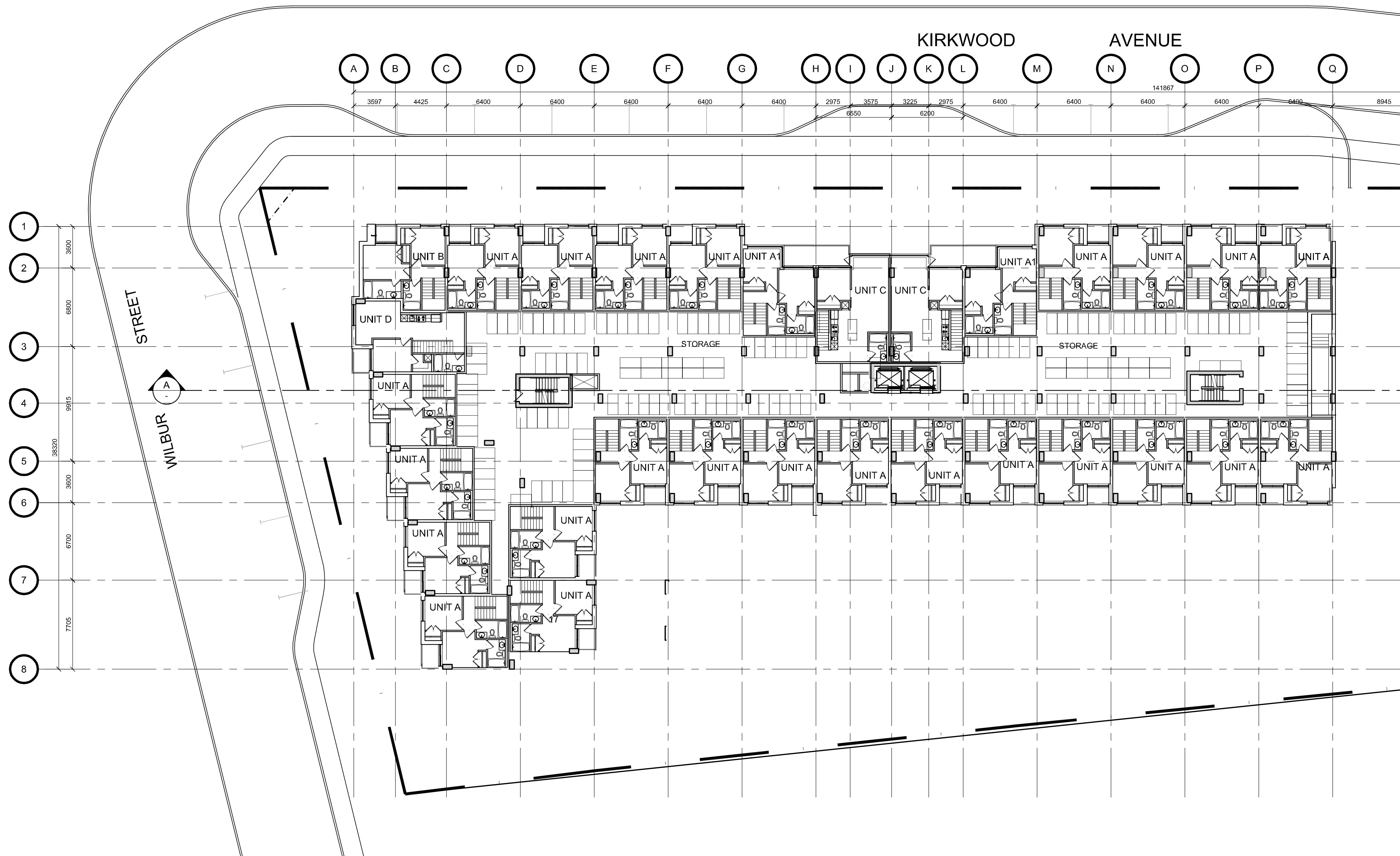
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GROUND FLOOR PLAN

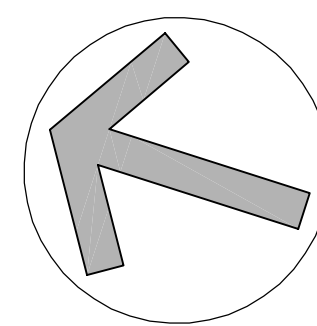
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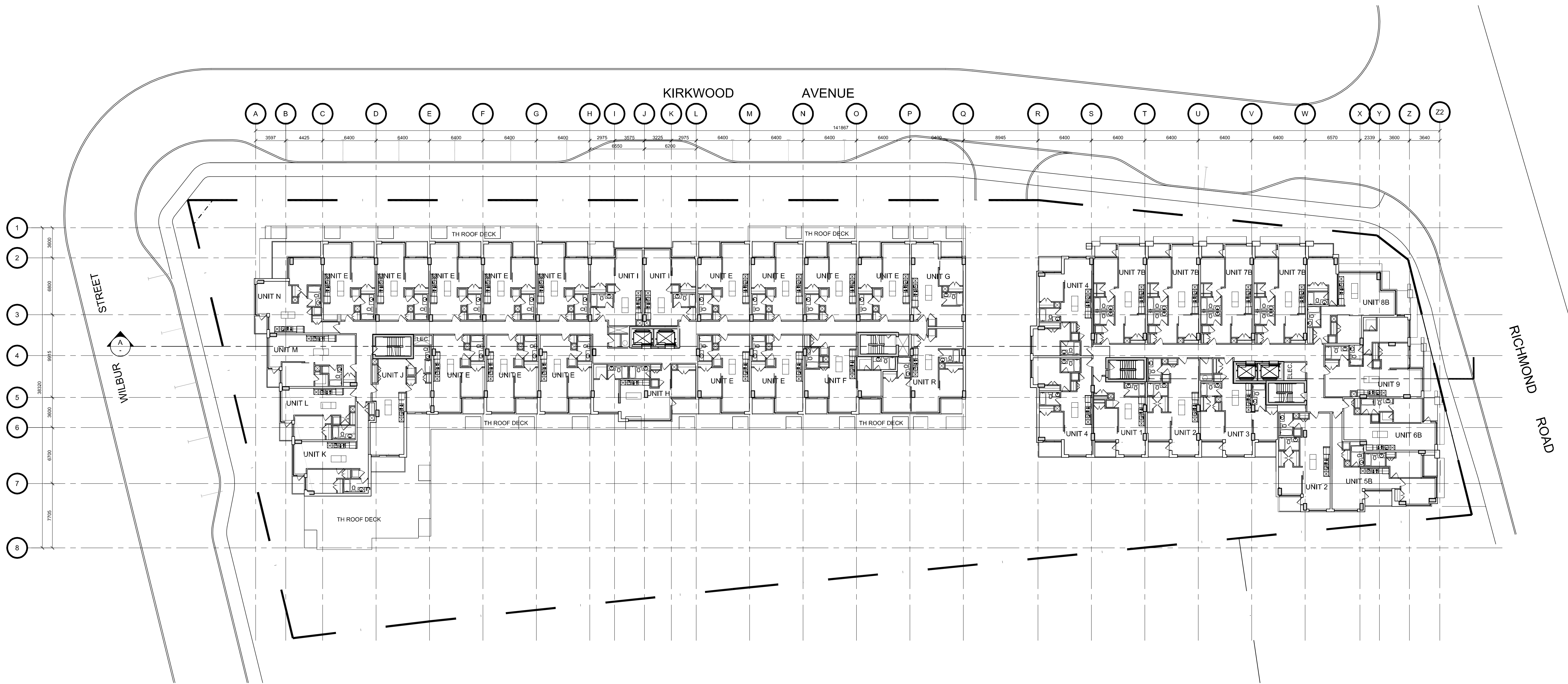




TOWNHOUSE UPPER LEVEL FLOOR PLAN

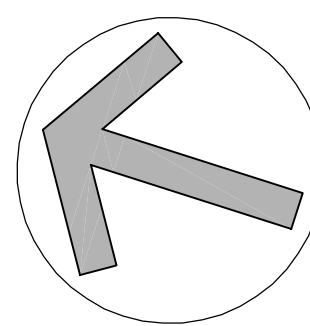
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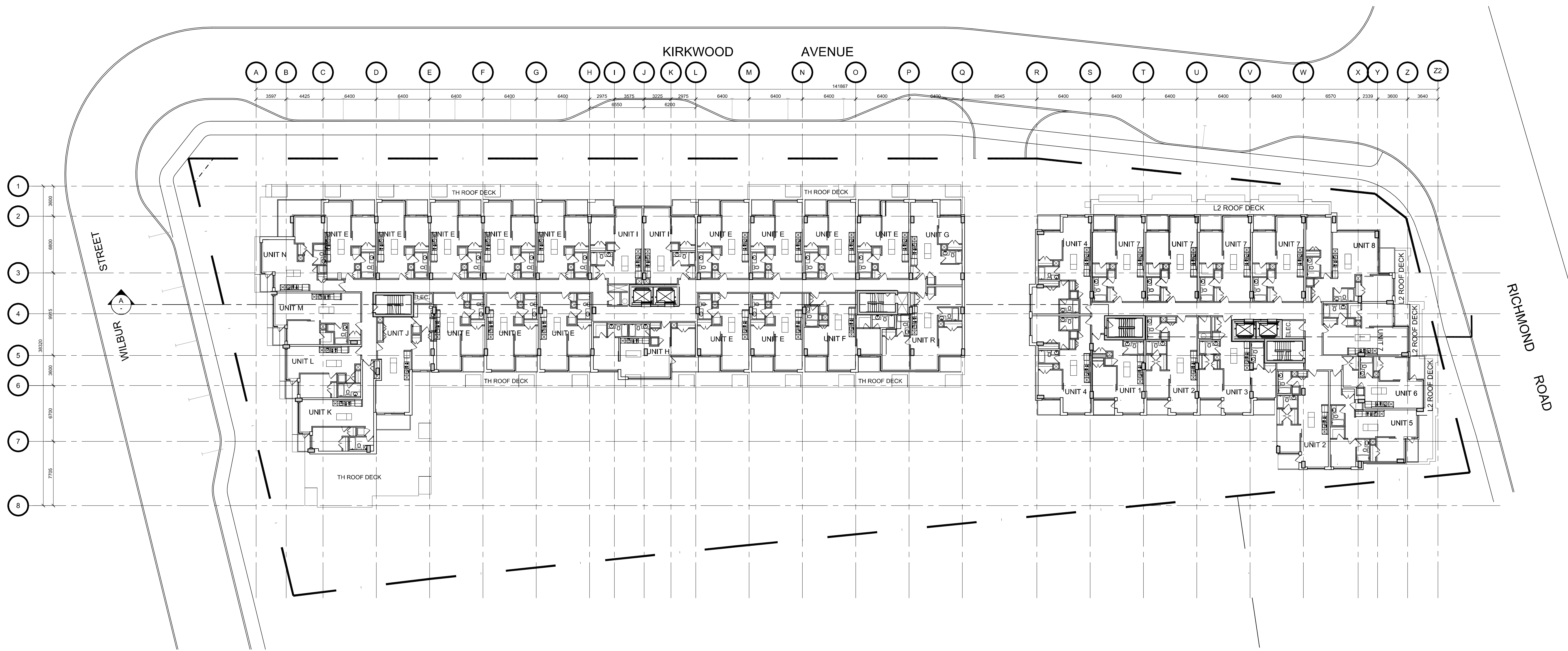




LEVEL 2 FLOOR PLAN

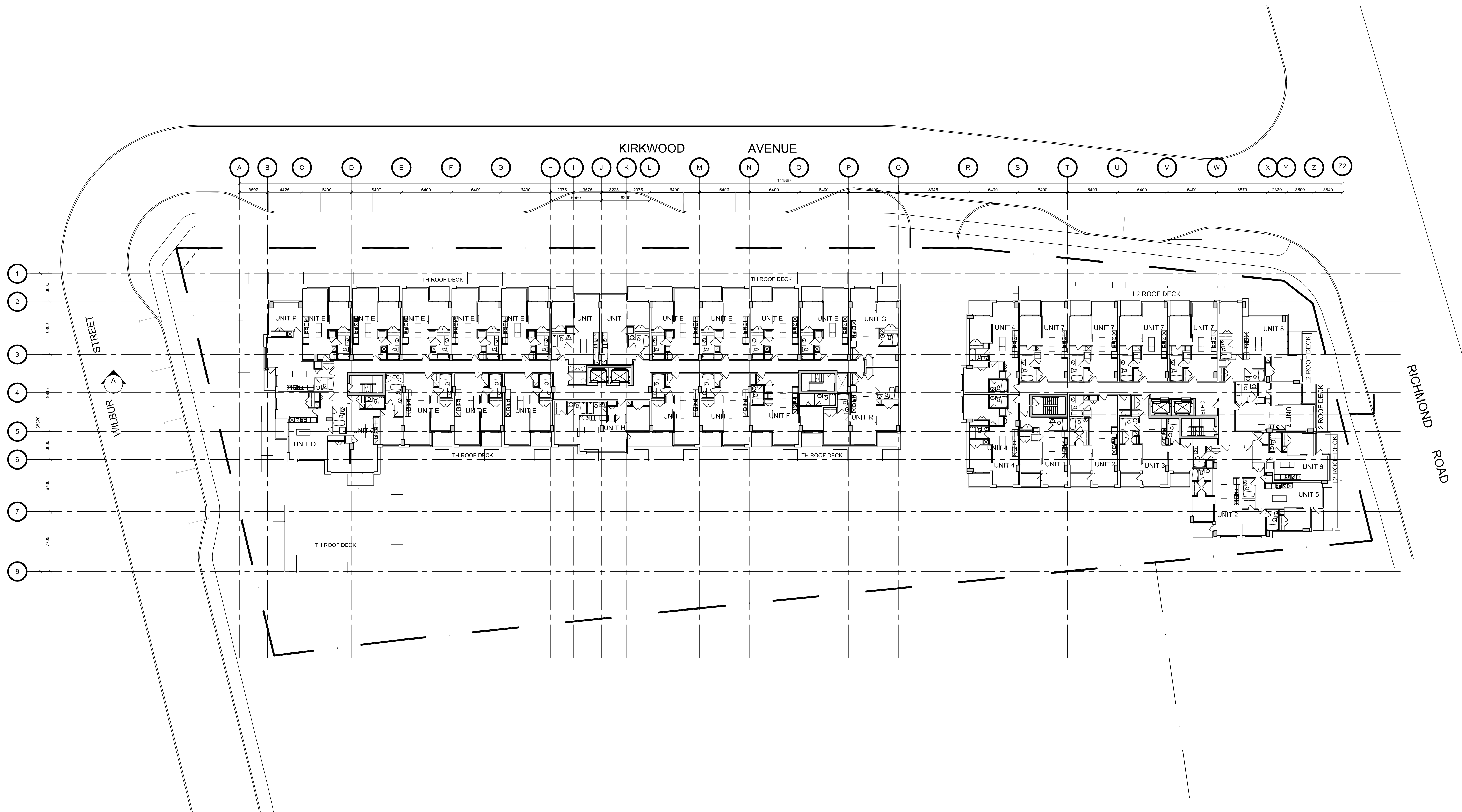
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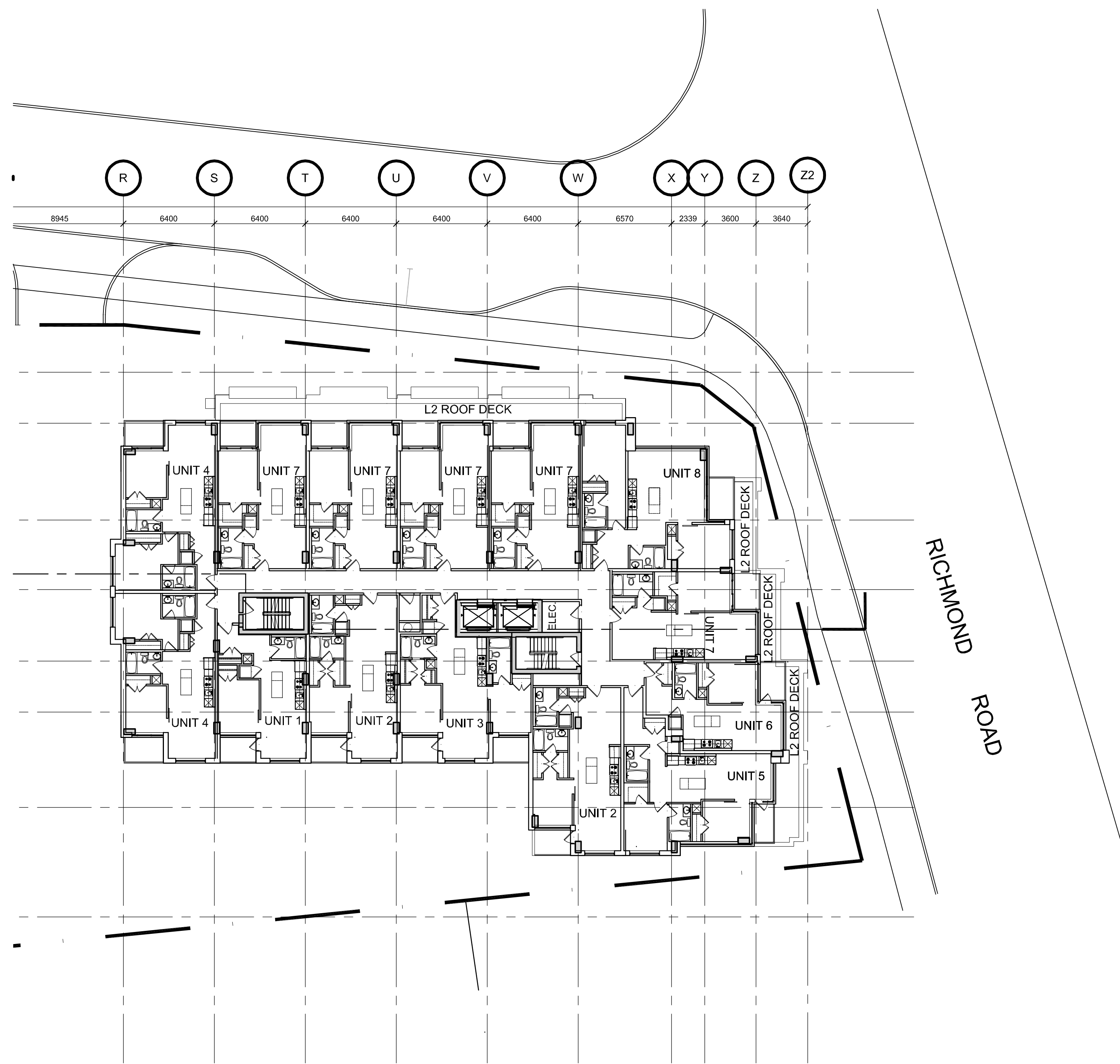
LEVEL 3 FLOOR PLAN

SCALE 1:200



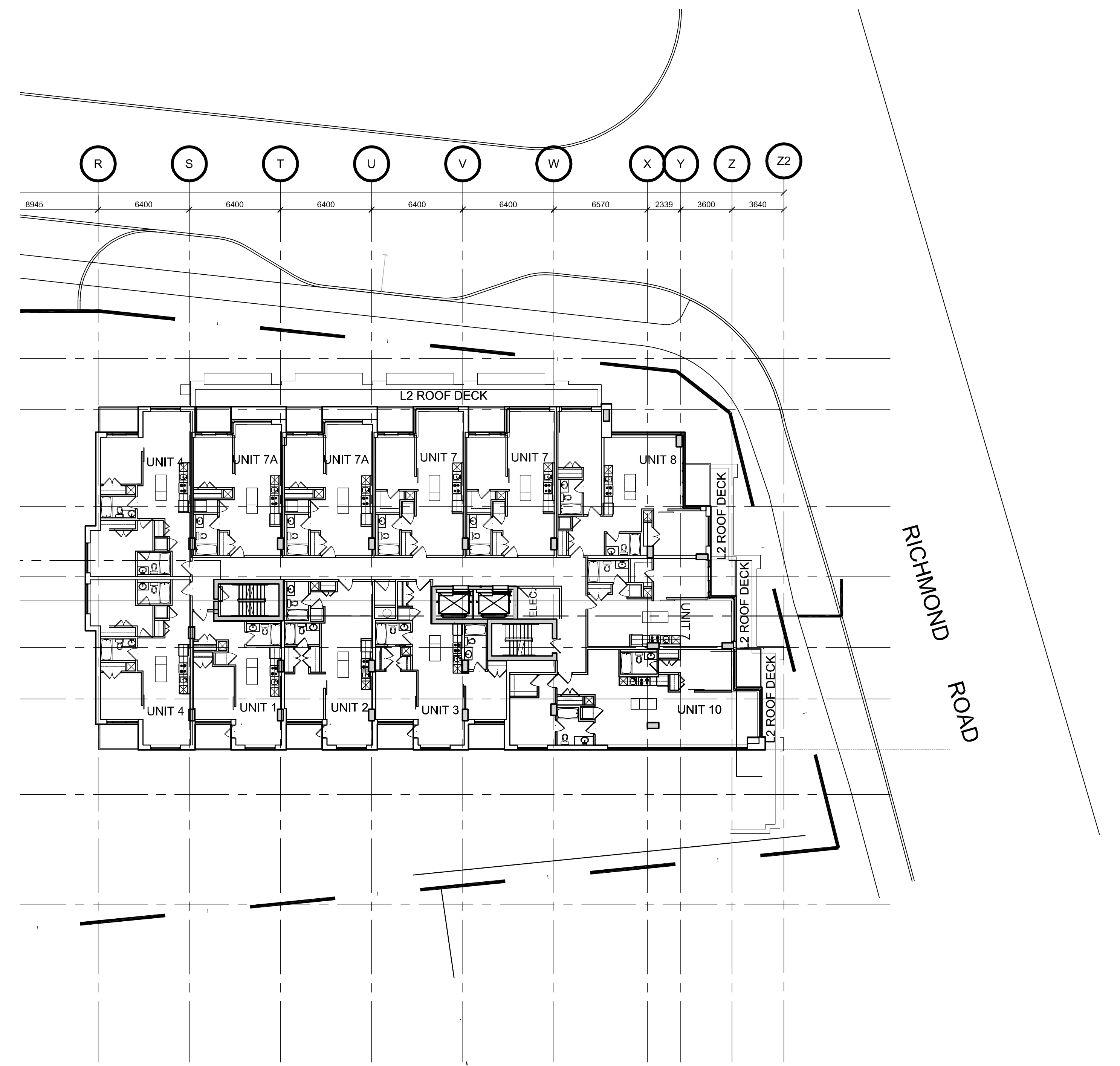
LEVEL 4 FLOOR PLAN

SCALE 1:200



LEVEL 6 FLOOR PLAN

SCALE 1:200



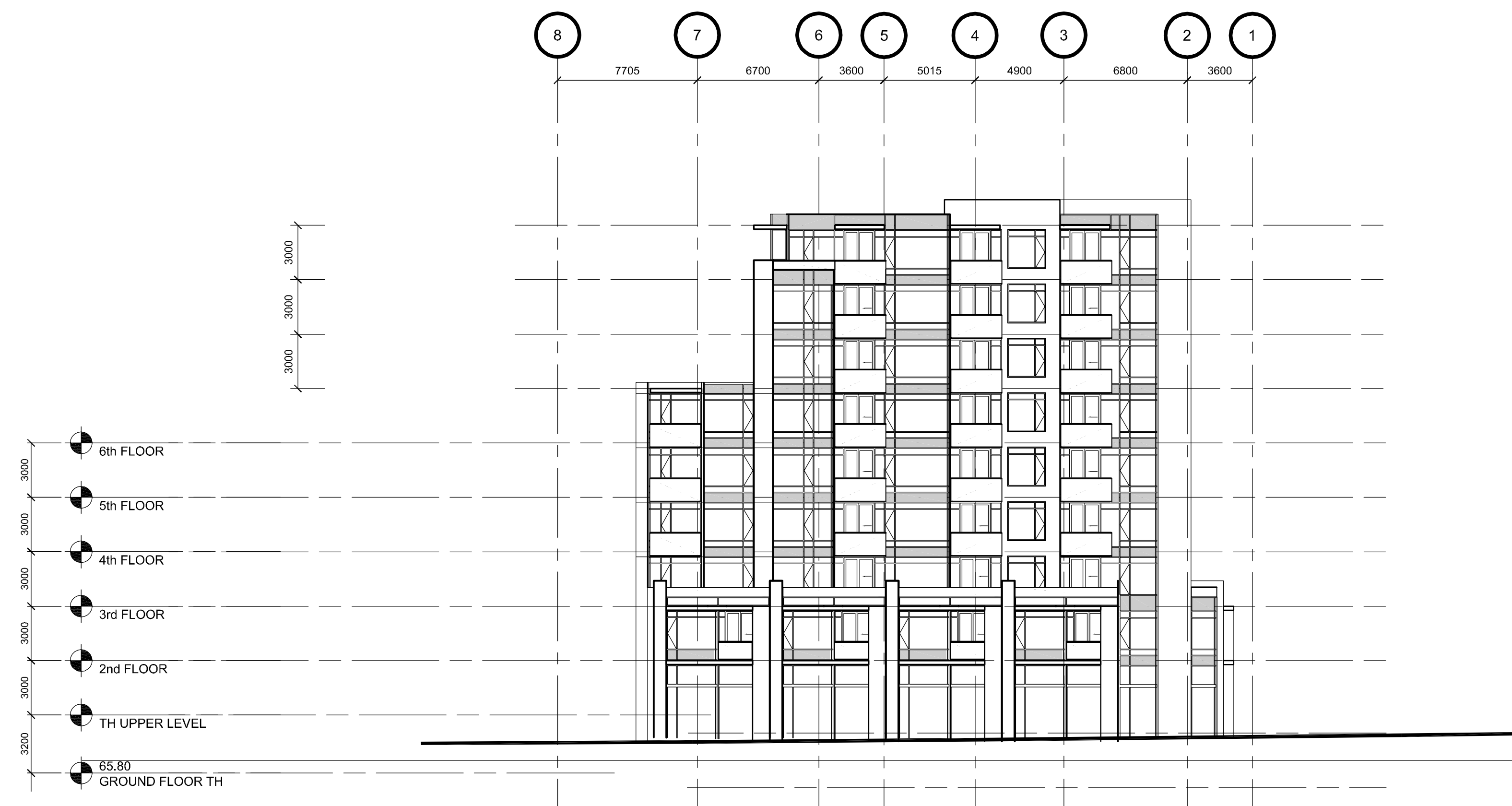
LEVEL 7 FLOOR PLAN

SCALE 1:200



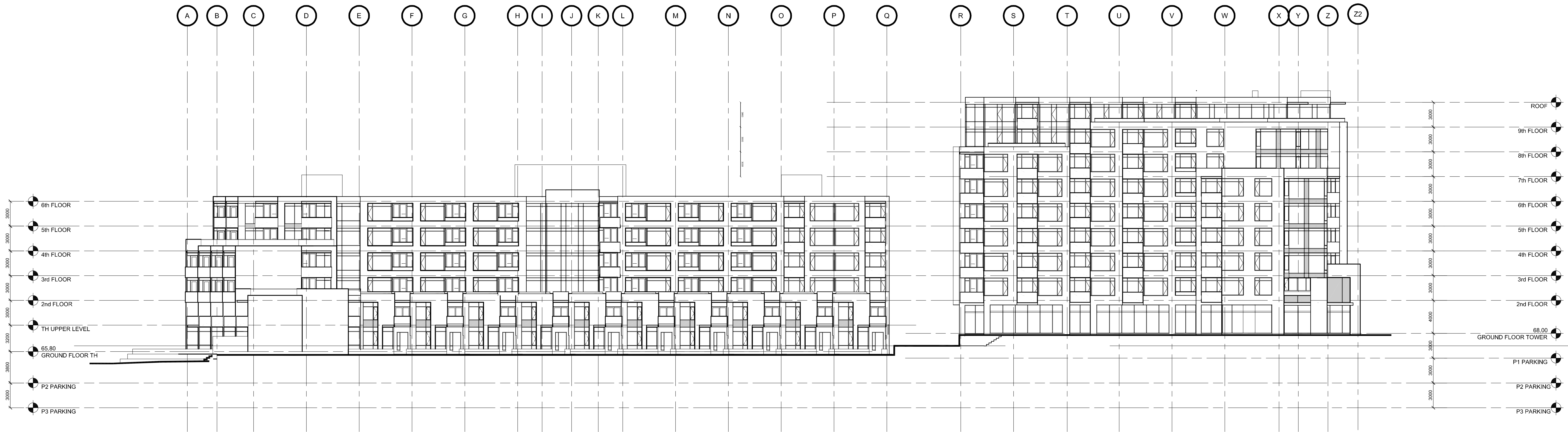
EAST ELEVATION - KIRKWOOD AVENUE

SCALE 1:200

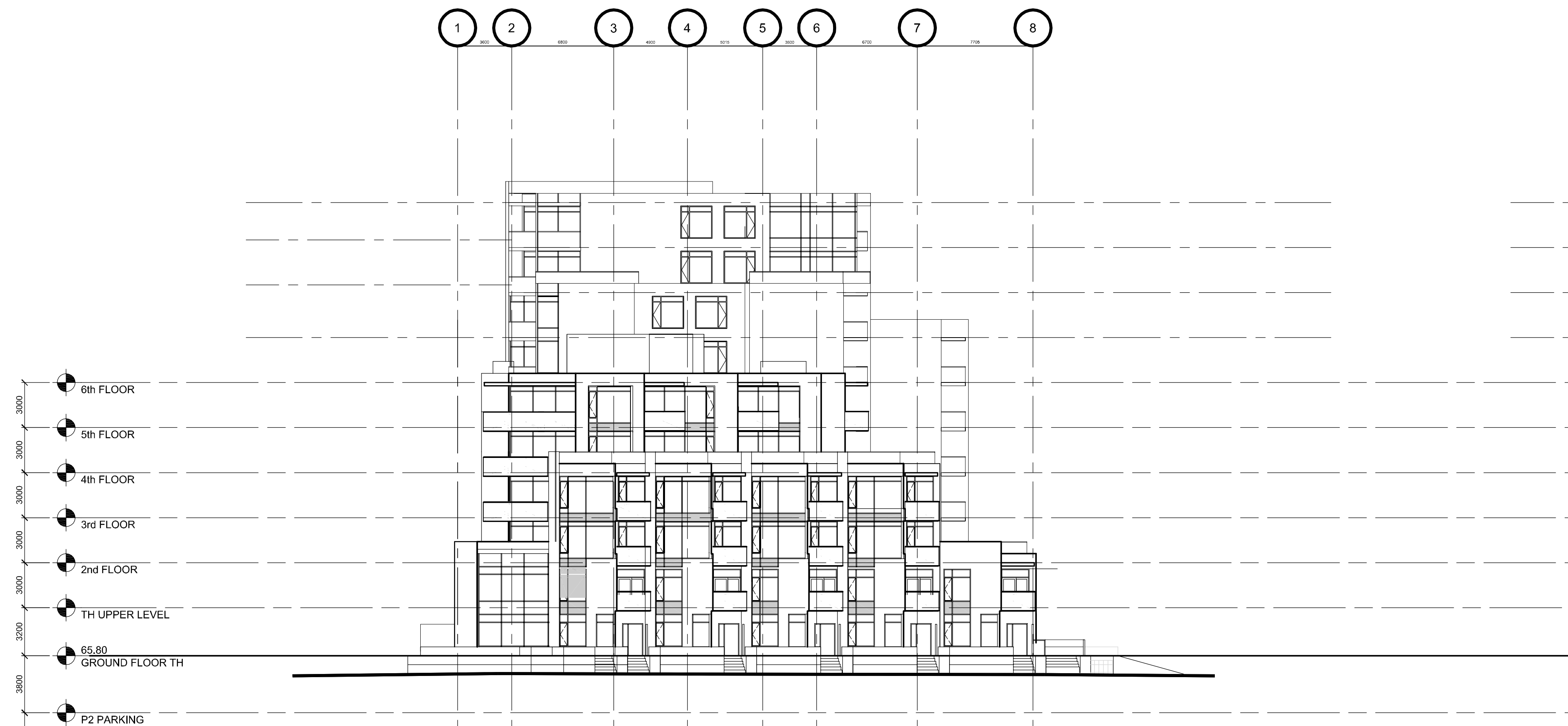


SOUTH ELEVATION - RICHMOND ROAD

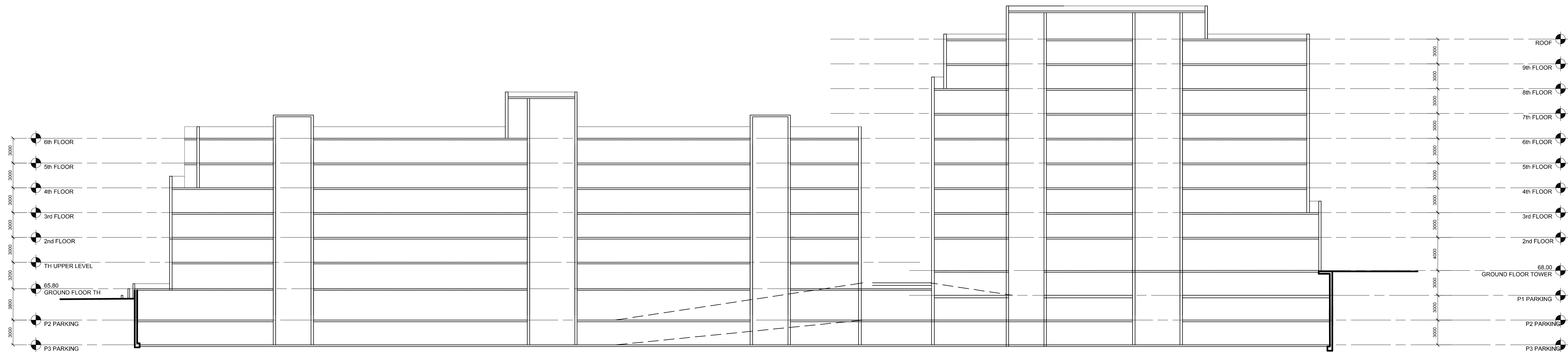
SCALE 1:200



WEST ELEVATION
SCALE 1:200



NORTH ELEVATION-- WILBER STREET
SCALE 1:200



SECTION A-A

SCALE 1:200