

23.08.2012
FORMAL SUBMISSION

IBI GROUP

LANDSCAPE ARCHITECTURE CSW

WALLMAN ARCHITECTS



24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA



Design Response to UDRP Pre-consult Recommendations

Tower Design

- the tower design maintains the simplicity and elegance from the previous udrp presentation

Podium Design

- consideration of above ground car parking and how it is screened has been addressed through the use of vertical panels on the north and south elevations, while directing the facade openings away from public view. east and west elevations are to remain solid.

- the integration of residential suites on the north (ottawa river) elevation provides active habitable space adjacent to the parkway. this residential area replaces what formerly was communal area which now is situated on the podium deck.

- residential townhomes have a direct relationship to the parkway with level 5 residential suites over look the parkway. these features will improve the area along the parkway and create a much greater sense of safety for commuters, pedestrians and cyclists.

- entry pathways and driveways now provide an intuitive pedestrian route to the buildings entry vestibule while seperating both pedestrian and vehicular movement.

- the overall entry to the proposed building improves with the relocation of the podium parking ramps to the west of the entry lobby. this creates a greater focal point from richmon road.

- we continue to work with city of ottawa staff to explore a safe and efficient route for pedestrians. this route could possibly be located along maple-lawn gardens on the wester portion of te site. as such, routes shown on the architectural drawings may change.



24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA



DESIGN RESPONSE TO UDRP
PRE-CONSULT RECOMMENDATIONS

WALLMAN ARCHITECTS



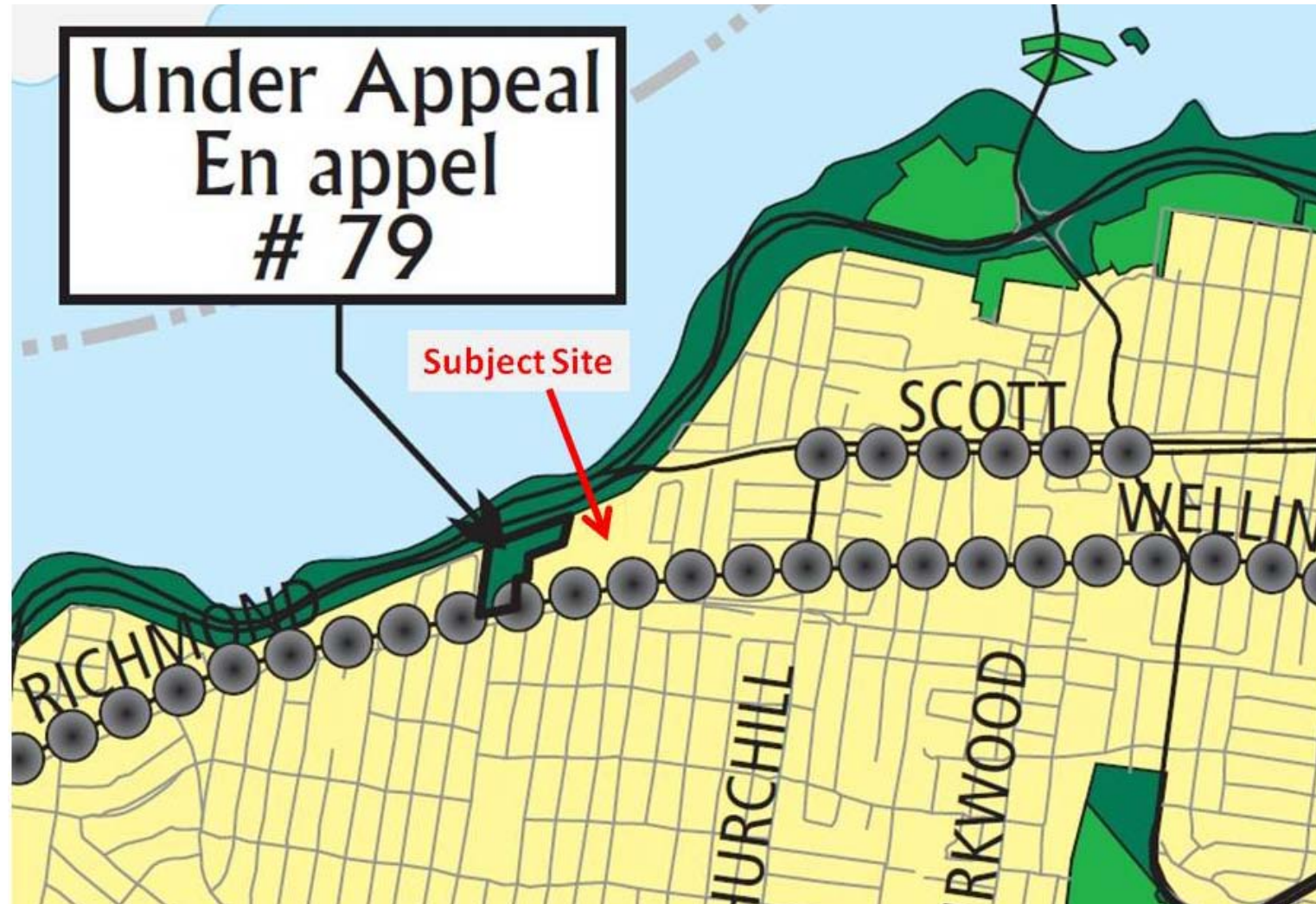
City of Ottawa Official Plan

The subject site is designated 'General Urban Area' in the City of Ottawa Official Plan. This designation, outlined in Section 3.6.1 of the Official Plan, permits a wide variety of uses including a broad mix of housing types, employment, retail, institutional, leisure, cultural, and greenspace. Building forms can range from ground-oriented single-purpose to multistory mixed-use. The subject site is also located on a Traditional Mainstreet (Richmond Road), as defined in Section 3.6.3 of the Official Plan.

The City supports infill development and other intensification within the General Urban Area and along Traditional Mainstreets, provided it enhances and complements the desirable characteristics of the area and ensures the long-term vitality of the many existing communities that make up the city. Policies for infill and intensification on the subject site are as set forth in Sections 2.5.1, 3.6.3, and 4.11 of the Official Plan.

The proposed development meets the general intent and objectives of the Official Plan in the following manner:

- It conforms to the design objectives and principles set out in Section 2.5.1: Compatibility and Community Design;
- It conforms with applicable policies set out in Section 3.6.3: Traditional Mainstreets;
- It responds to the compatibility criteria established in Section 4.11: Compatibility;
- It provides an infill/intensification option for an underused lot; and,
- Existing infrastructure, neighbourhood amenities, and transit are available to service the proposed development.



City of Ottawa Zoning-Bylaw (2008-250)

The subject site is zoned TM (157) F(2.3) S149 – Traditional Mainstreet, Exception 157, FSI 2.3, Schedule 149 (height restrictions), in the City of Ottawa Zoning By-law 2008-250. The purpose of the Traditional Mainstreet Zone is to accommodate a broad range of uses, promote compact, mixed-use pedestrian-oriented development, and impose development standards that ensure street continuity, scale, character, and compatibility with surrounding uses. Mid-high rise apartment dwellings are permitted in the TM Zone.

The proposed development complies with the overall intent of the zone and numerous applicable zoning provisions, including Exception 157, which covers landscaping and non-residential use caps. The maximum height allowed for the subject site, as outlined on Schedule 149, is 77 metres.

Richmond Road-Westboro Community Design Plan

The Richmond Road/Westboro Community Design Plan (2007) was prepared to guide the long-term design and development of the area. The Plan provides policy guidance for the land use, streetscaping, and building design. It should be noted that the subject site had already received approved zoning provisions to allow for the proposed 24-storey residential tower prior to adoption of the CDP.

The Plan locates the subject site in the Maplelawn/495 Richmond Road area. The CDP recommends that new buildings in this sector should be set back from the street and provide a transition in scale (increasing height) from Richmond Road to areas closest to the Ottawa River Parkway open space corridor.

24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA



Urban Design Guidelines for Development Along Traditional Mainstreets

The City of Ottawa's Guidelines for Development along Traditional Mainstreets provide urban design guidance at the planning application stage to assess, promote, and achieve appropriate development for proposed developments on Traditional Mainstreets. The subject site is set back approximately 50 metres from Richmond Road, with other structures between the subject site and the road. Therefore, a direct building frontage on Richmond Road does not exist and the design guidelines along traditional mainstreet are generally not applicable to the subject site.

Urban Design Guidelines for High-Rise Housing

The City of Ottawa's Urban Design Guidelines for High Rise Housing are intended to encourage and achieve appropriate high-rise development. High-rise buildings are defined by the City of Ottawa as any building that is ten storeys or more. The Urban Design Guidelines for High Rise Housing deal with seven elements of design, including: context; built form; pedestrian and public realm; open space; amenities; environmental considerations; site circulation and parking; and services and utilities.

The proposed 24-storey building and development supports several of the High-Rise Housing guidelines. In particular it would:

- Integrate into the context and address compatibility with the planned context through the transitions in building height, and through the design qualities and character (Guideline 1a).
- Provide a direct link to public transit, sidewalks and streets (Guideline 1a).
- Provide direct links to public transit, sidewalks and streets (Guideline 1b).
- Create a landmark building that is distinctive in form, is located at a prominent intersection, and is designed and will be built with richness and quality in materials and detail (Guideline 2a).
- Place tall building on a lower building base which is based on the ground level human scale (Guideline 4).
- Feature innovative design and site treatments on a community gateway (Guideline 7).
- Be oriented to minimize shadowing on adjacent sites through slender floorplate shape and size (Guideline 11).
- Create a building form that responds to function, site characteristics, context, and mix of uses (Guideline 12).
- Support human-scaled streetscapes through the design and uses of the lower portion of the building (Guideline 13).
- Use clear windows and doors to make the pedestrian level façade highly transparent and accessible (Guideline 14).
- Include at-grade pedestrian entrance which is directly accessible, clear, and prominent with a direct link to the sidewalk (Guideline 17).
- Feature an architecturally detailed façade, using various types of materials and treatments, with no blank or featureless sides (Guideline 18).
- Be designed with a compact floor plate to maximize views and light for the interior spaces, creates narrow shadows, and allow opportunities for sky views (Guideline 21).
- Avoid balcony to balcony situations with adjacent buildings (Guideline 22).
- Feature a distinctive and well-designed roofline (Guideline 23).
- Provide podium roof top communal amenity area integrating green roof and rainwater recovery systems (Guideline 24).
- Provide trees 6 to 8m apart on internal street / access road (Guideline 26).
- Use a cantilevered building podium to create a sheltered pedestrian zone and drop-off area (Guideline 28).
- Provide barrier-free and universal access to public streets, transit stops and car parking (Guideline 29).
- Provide barrier-free and universal access to the building by pedestrians (Guideline 30).
- Provide views from the apartments to the streets and open space allowing visual surveillance and neighbourliness (Guideline 31).
- Protect pedestrians from inclement weather by through cantilevered podium on the ground level (Guideline 32).
- Coordinate and integrate existing transit stops into the site (Guideline 34).
- Locate open spaces in coordination with the tower location (south side) (Guideline 36).
- Use a combination of communal spaces on ground and on podium which are directly accessible from interior communal spaces within the building for convenience and security (Guideline 40).
- Provide required outdoor amenity space through use of balconies and private outdoor space (Guideline 41).
- Employ building technologies such as "greenroofs", with vegetation to delay stormwater discharge and reduce the demand on stormwater systems; and/ or reflective roof surface materials with high solar and thermal reflectivity, to reduce the "Heat Island Effect". (Guideline 47).
- Provide amenities at the building entrance, including benches, landscape features, drop-off area and lobby seating (Guideline 51).
- Provide a 2-metre wide entrance from the main doors to the sidewalk (Guideline 52).



Urban Design Guidelines for High-Rise Housing



Cont'd:

- Distinguish pedestrian surfaces from driving surfaces through surface treatment and landscape design (Guideline 54).
- Provide parking garage entry with architectural feature screens so as to soften the appearance of the entrance (Guidelines 56 and 58).
- Provide secure bicycle parking within the building (Guideline 59).
- Integrate the strategic location of building infrastructure away from public areas (Guideline 61 and 62).
- Locate utility, garbage, and other service areas away from public view (Guidelines 63, 64, and 65).



24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA



URBAN DESIGN GUIDELINES FOR HIGH-RISE HOUSING

WALLMAN ARCHITECTS

Transit-Oriented Development (TOD) Guidelines

The subject site is located approximately 300 metres from the existing Dominion Rapid Transit Network station.

If a station is within 600 metres of the proposed development, then the proposed development should be designed and considered in light of the City's as TOD guidelines.

The intent of the TOD Guidelines is to provide an urban design standard for assessing, promoting, and achieving appropriate TOD within the City of Ottawa. TOD is defined as a mix of moderate to high-density transit supportive land uses located within an easy walk of a rapid transit stop or station that is oriented and designed to facilitate transit use. The City of Ottawa TOD guidelines are to be applied for all development within a 600-metre walking distance of a rapid transit stop or station.

The proposed development supports several of the TOD guidelines. In particular it would:

- Potentially providing transit-supportive land uses (high-density residential) within 600m walking distance of a rapid transit station or stop (Guideline 1).
- Create pedestrian and cyclist short cuts to public transit stops (Guideline 6).
- Locate high density uses as close as possible to transit (Guideline 8).
- Create highly visible landmarks through distinctive design features that can be easily identified and located. For example, taller buildings can create a landmark location because they stand out on the skyline (Guideline 12).
- Include architectural variety at grade to provide visual interest to pedestrians and highlight the building entrance (Guideline 14).
- Provide pedestrian connections that are convenient, comfortable, safe, easily navigable, continuous and barrier-free and that lead directly to transit and public streets (Guideline 16)
- Use different materials such as concrete for crosswalks or treatments such as painted patterns to provide visual identification of pedestrian routes for motorists. (Guideline 17).
- Feature a ground floor designed to be appealing to pedestrians, particularly through its architectural treatment (Guideline 28).
- Design infrastructure to enhance the cycling environment and to help increase access to transit for cyclists. (Guideline 31).
- Provide no more than the required number of vehicle parking spaces, as per the Zoning By-law (Guideline 32).
- Design access driveways to be shared between facilities (Guideline 36).
- Locate loading areas off the street, behind or underneath buildings. Avoid routing deliveries through parking areas and across primary pedestrian, transit and cyclist routes (Guideline 43).
- Enclose garbage and recycling containers and other similar equipment within the building or screen them from public view. (Guideline 54 & 55).



24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA



TRANSIT-ORIENTED DEVELOPMENT (TOD) GUIDELINES

WALLMAN ARCHITECTS



The Site

The subject site is located at the eastern rear corner of a parcel on Richmond Road, between Berkley and Fraser Avenues, in the Westboro neighbourhood of Ottawa. The total site area is approximately 3,381 m² (41,775 ft²). The existing seven-storey Coulican office building is located on the subject site property parcel and the six-storey Westboro Manor seniors residence is located to the south of the subject site, between the proposed building and Richmond Road.

Community Context

An array of uses and building types are located in the vicinity of the subject site including:

- Mid-rise and high-rise buildings to the east along Richmond Road;
- The Ottawa River and Parkway immediately to the north;
- A range of shops, restaurants, and personal services in small traditional mainstreet buildings or on the ground floor of mid-high rise residential and office buildings along Richmond Road;
- Single-detached dwellings reflecting a range of ages and architectural styles primarily to south and west.
- Heritage building (the Keg restaurant) located west of the overall site.

The area also offers a number of parks, churches of differing denominations, and the Ottawa River Parkway which provides multipurpose pathways along the Ottawa River. A multi-use pathway also runs along the Byron Avenue linear park directly across Richmond Road from the subject site providing east-west connectivity through the surrounding neighbourhoods.

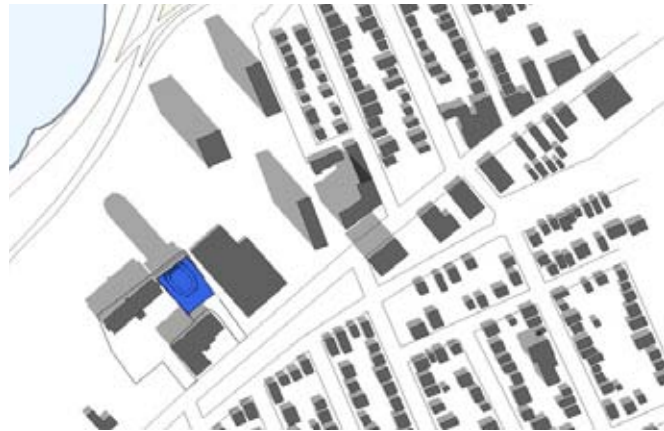


24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA

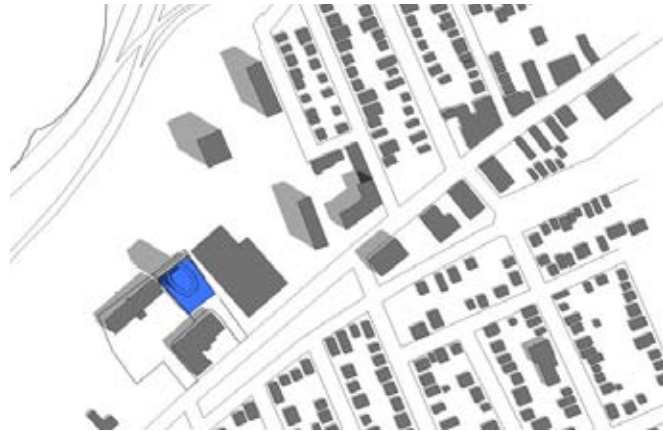


SITE LOCATION

SITE CONTEXT



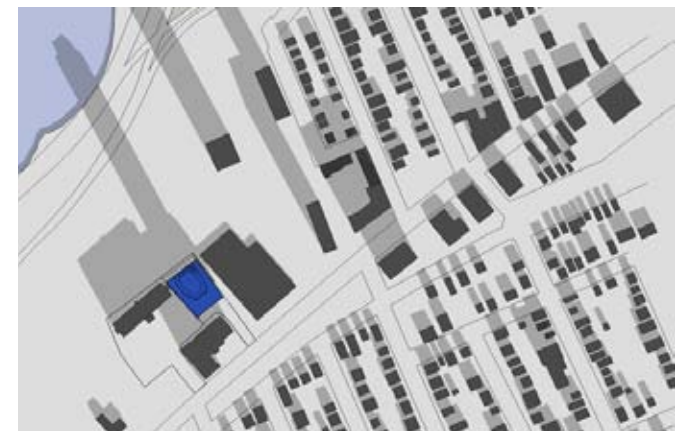
MARCH 21ST 1000



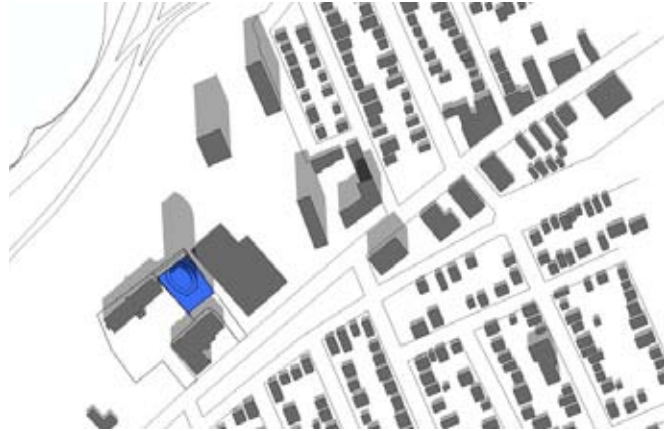
JUNE 21ST 1000



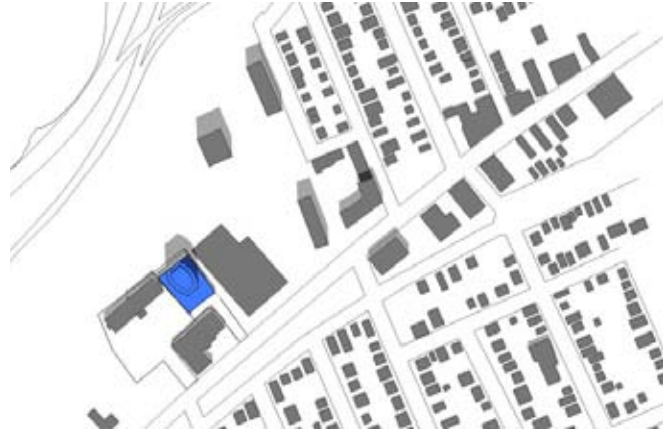
SEPTEMBER 21ST 1000



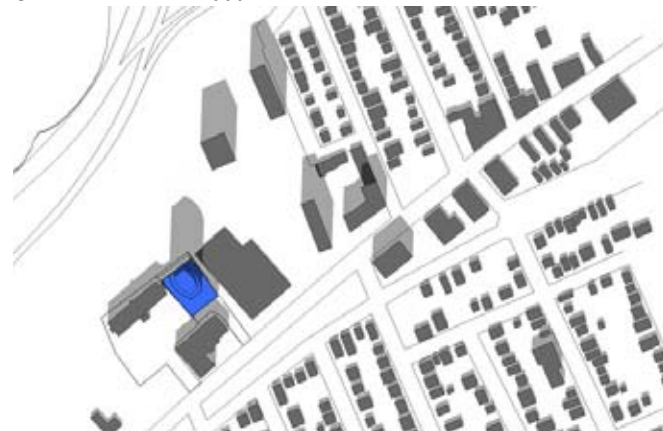
DECEMBER 21ST 1000



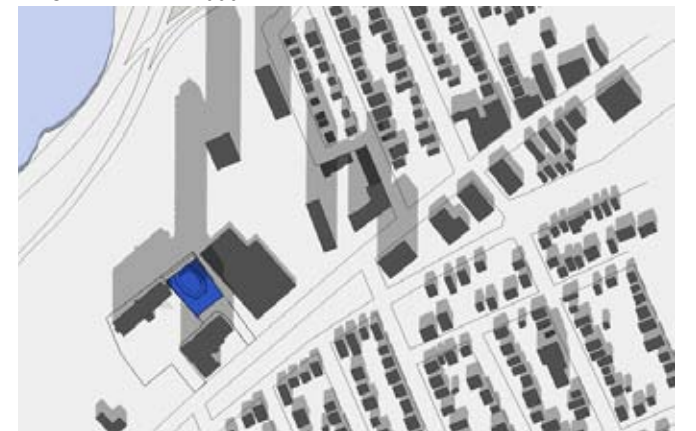
MARCH 21ST 1200



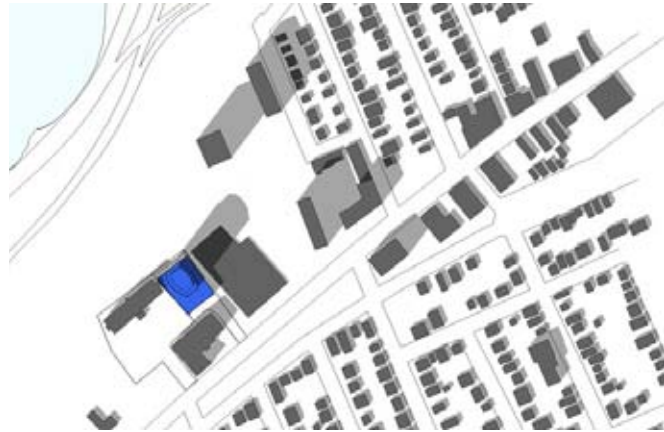
JUNE 21ST 1200



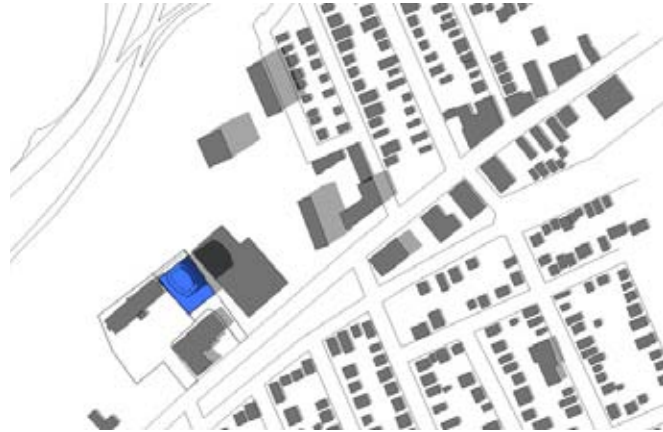
SEPTEMBER 21ST 1200



DECEMBER 21ST 1200



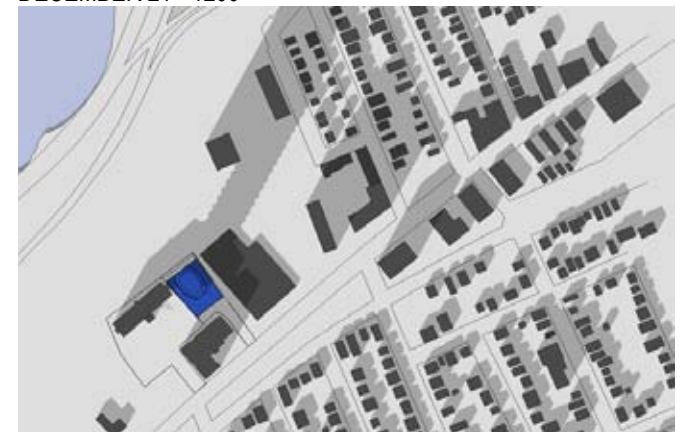
MARCH 21ST 1400



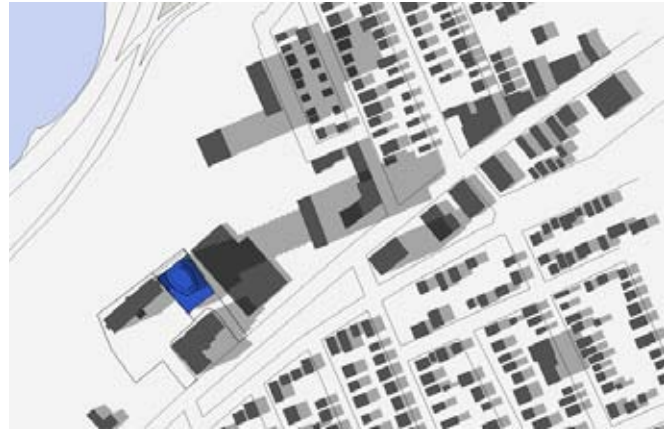
JUNE 21ST 1400



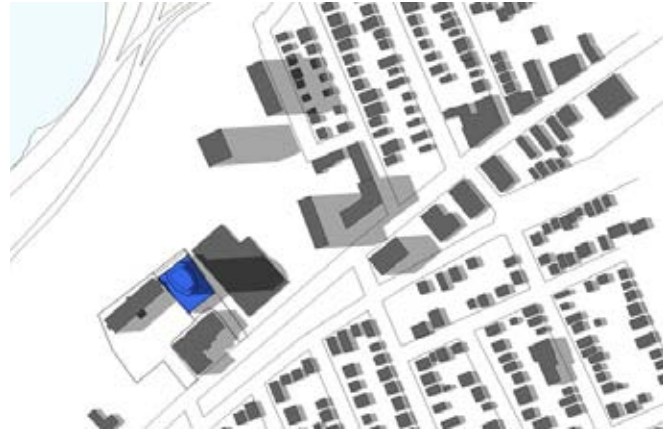
SEPTEMBER 21ST 1400



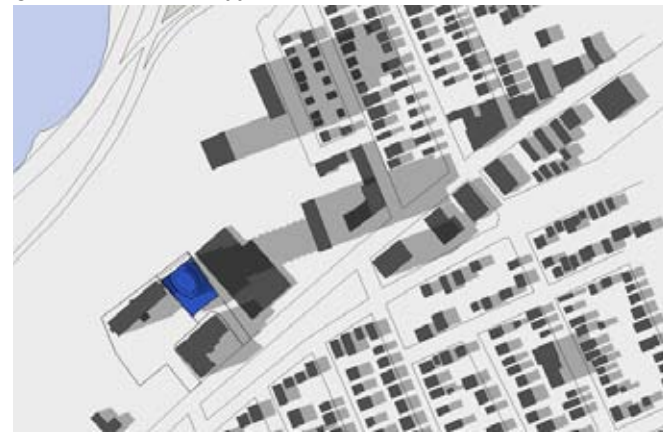
DECEMBER 21ST 1400



MARCH 21ST 1600



JUNE 21ST 1600



SEPTEMBER 21ST 1600



DECEMBER 21ST 1600

SHADOW STUDIES



WALLMAN ARCHITECTS



UNIVERSITY OF TORONTO, MISSISSAUGA



UNIVERSITY OF TORONTO, MISSISSAUGA



LE FALAISE APPRIVOISEE, QUEBEC CITY



METALLIC LOUVER / FINS
UNIVERSITY OF TORONTO, MISSISSAUGA



LE FALAISE APPRIVOISEE, QUEBEC CITY
PODIUM LOUVER AND MATERIAL PRECEDENTS



24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA



WALLMAN ARCHITECTS

NOTES:

- ALL WORKS TO BE COMPLETED AS PER CITY OF OTTAWA STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
- SEWER LATERALS TO BE PVC DR 35.
- WATER SERVICES TO BE PVC DR 18 CL150. MINIMUM COVER OF 2.4m FOR WATER SERVICE AS REQUIRED. USE THERMAL INSULATION AS PER CITY STANDARDS WHEN COVER IS LESS THAN 2.4m.
- ALL SERVICE LATERAL AND SURFACE RESTORATION WORK IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
- FULL PORT BACKWATER VALVE IS REQUIRED ON THE SANITARY SERVICE AND A CHECK VALVE IS REQUIRED ON THE STORM SERVICE.
- WATER SERVICE CHLORINATION AND TESTING TO BE COMPLETED BY CITY FORCES.
- PROPOSED BUILDING INFORMATION TAKEN FROM WALLMAN ARCHITECTS DRAWINGS.
- AN EROSION AND SEDIMENTATION CONTROL PLAN WILL BE IMPLEMENTED ON THIS SITE. AS A MINIMUM THAT PLAN WILL INCLUDE A LIGHT DUTY SILT FENCE BARRIER TO OPSD STANDARD 219.110 SURROUNDING THE SITE WHERE PRACTICAL AND FILTER CLOTHS FITTED UNDER EXISTING STREET CATCH BASINS.
- ALL SHOWN UTILITIES ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO IBI GROUP PRIOR TO CONTRACTOR MOBILIZING TO SITE.

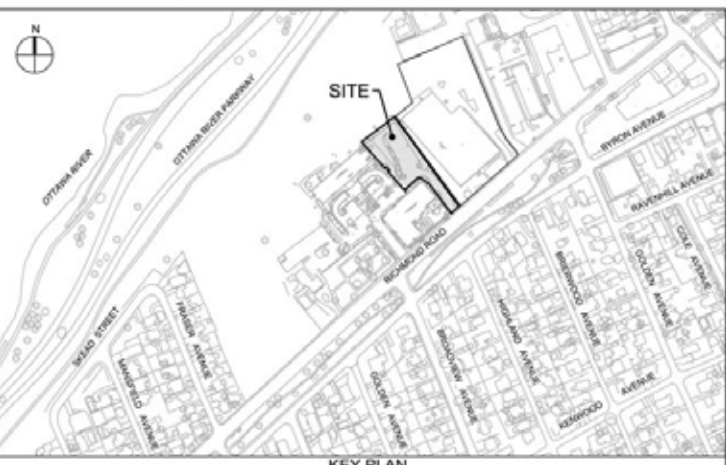
- CONTRACTOR RESPONSIBLE TO SUPPORT EXISTING UTILITIES THAT MAY BE AFFECTED DURING CONSTRUCTION.
- A) MOST EXISTING CURBS ARE TO BE REPLACED. ALL NEW CURBS TO BE AS PER CITY STANDARD SC1.1 TIEING INTO TOP/BOTTOM OF CURB ELEVATIONS.
- CONCRETE SIDEWALK TO BE IN ACCORDANCE WITH CITY STD. DRAWING SC4 AND SC5.
- SURFACE RESTORATION OVER NEW WATERMAIN TO BE IN ACCORDANCE WITH CITY STD. DRAWING R-10.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATER COURSE, DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL, USING FILTER CLOTH UNDER THE GRATES OF CATCHBASINS AND MANHOLES AND INSTALLING SILT FENCES AND OTHER EFFECTIVE SEDIMENT TRAPS. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY APPLICABLE REGULATORY AGENCIES.
- BOUNDARY INFORMATION COMPILED FROM PLAN 4R-19996. ELEVATIONS HEREON ARE REFERRED TO GEODETIC DATUM. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION ON THIS DRAWING.
- FOR GEOTECHNICAL INFORMATION SEE "GEOTECHNICAL INVESTIGATION PROPOSED"

- RESIDENTIAL BUILDING 485 RICHMOND ROAD OTTAWA ONTARIO BY HOULE CHEVRIER ENGINEER DATED JULY 2012
- FOR STORMWATER MANAGEMENT INFORMATION SEE STORMWATER MANAGEMENT REPORT BY IBI GROUP TITLED STORMWATER MANAGEMENT
 - CLAY SEAL TO BE INSTALLED IN SERVICE TRENCHES BETWEEN CONNECTION POINT AND CAP.
 - CONTRACTOR TO REFER TO LANDSCAPE PLANS AND SPECIFICATIONS FOR SOME FINISHES, TEXTURES, COLORS AND REMAINING LANDSCAPE FEATURES.
 - NEW PAVEMENT/CONCRETE STRUCTURES ARE INCLUDED ON THIS DRAWING. THE HEAVY DUTY PAVEMENT/CONCRETE AREA IS SHADED. ALL OTHER AREAS TO BE PAVED/CONCRETE WITH LIGHT DUTY.
 - 1200mm# MANHOLES TO BE AS PER OPSD-701.010 WITH COVER AND FRAME AS PER CITY STANDARD S24 AND S25.

SEWER SCHEDULE							
LOCATION	INVERT ELEVATIONS (m)				TOP COVER	OPSD	FRAME COVER
	NORTH	SOUTH	EAST	WEST			
CB-1	60.02				60.70	705.010	S19
CBM-1			59.93	59.96	60.60	701.010*	S25/S28.1
MH1	59.80	59.83		59.86	60.90	701.012	S24.1/S25
MH2	59.26		59.32		60.63	701.012	S24.1/S25
EX STM MH		59.75			61.29		
EX SAN MH	59.18	59.12EY	59.12EY		61.02		

WATERMAIN SCHEDULE--BOTH PIPES					
LOCATION	DESCRIPTION	FINISHED GRADE(m)	TOP OF WATERMAIN(m)		
			PROPOSED	AS-BUILT	
A 0+000	200x200TEE	62.45	60.05		
0+003	45° BEND	62.50	60.10		
0+015	-	62.70	60.30		
0+030	-	62.91	60.51		
0+045	VALVE & BOX	63.05	60.65		
0+057.5	200x200TEE	63.95	61.55		
0+061	45° BEND	64.20	61.80		
0+063	45° BEND	64.30	61.90		
B 0+075.5	CAP	64.70	62.30		

PIPE CROSSING CONFLICT TABLE	
1	PROPOSED 200# STORM SEWER 0.67m CLEARANCE OVER PROPOSED 150# SAN SEWER
2	PROPOSED 200# STORM SEWER 0.53m CLEARANCE OVER EX. 150# SAN SEWER



LEGEND

--- PROPERTY LINE	--- EXISTING TRAFFIC SIGN
(FF 70.50) FINISHED FLOOR ELEVATION	□ CB EXISTING CATCH BASIN
DC DEPRESSED CURB	○ STM EXISTING STORM MANHOLE
--- CURB TAPER	○ SMH EXISTING COMBINED MANHOLE
W WATER METER (SEE MECH. DRWG. FOR EXACT LOCATION)	--- 200# STORM PROPOSED STORM SEWER
WM REMOTE WATER METER (SEE MECH. DRWG. FOR EXACT LOCATION)	--- 200# SANITARY PROPOSED SANITARY SEWER
△ SIAMASE CONNECTIONS (SEE MECH. DRWG. FOR EXACT LOCATION)	--- 127# WATERMAIN EXISTING WATERMAIN
--- PROPOSED CURB	--- 200# WATERMAIN PROPOSED WATERMAIN
--- EXISTING CURB	○ 200#V&B PROPOSED VALVE AND VALVE BOX
--- DEPRESSED CURB	--- 200#R PROPOSED REDUCER
UNIT PAVERS	○ HYD EXISTING FIRE HYDRANT
PEA GRAVEL	--- S EXISTING SIGN
LIGHT DUTY CONCRETE DRIVEWAY	○ WV EXISTING WATER VALVE
HEAVY DUTY CONCRETE DRIVEWAY	○ WS EXISTING WATER SERVICE STANDPOST
	○ BH EXISTING BOREHOLE
	--- LIGHT DUTY PAVEMENT
	--- HEAVY DUTY PAVEMENT

ROAD STRUCTURES ASPHALT:

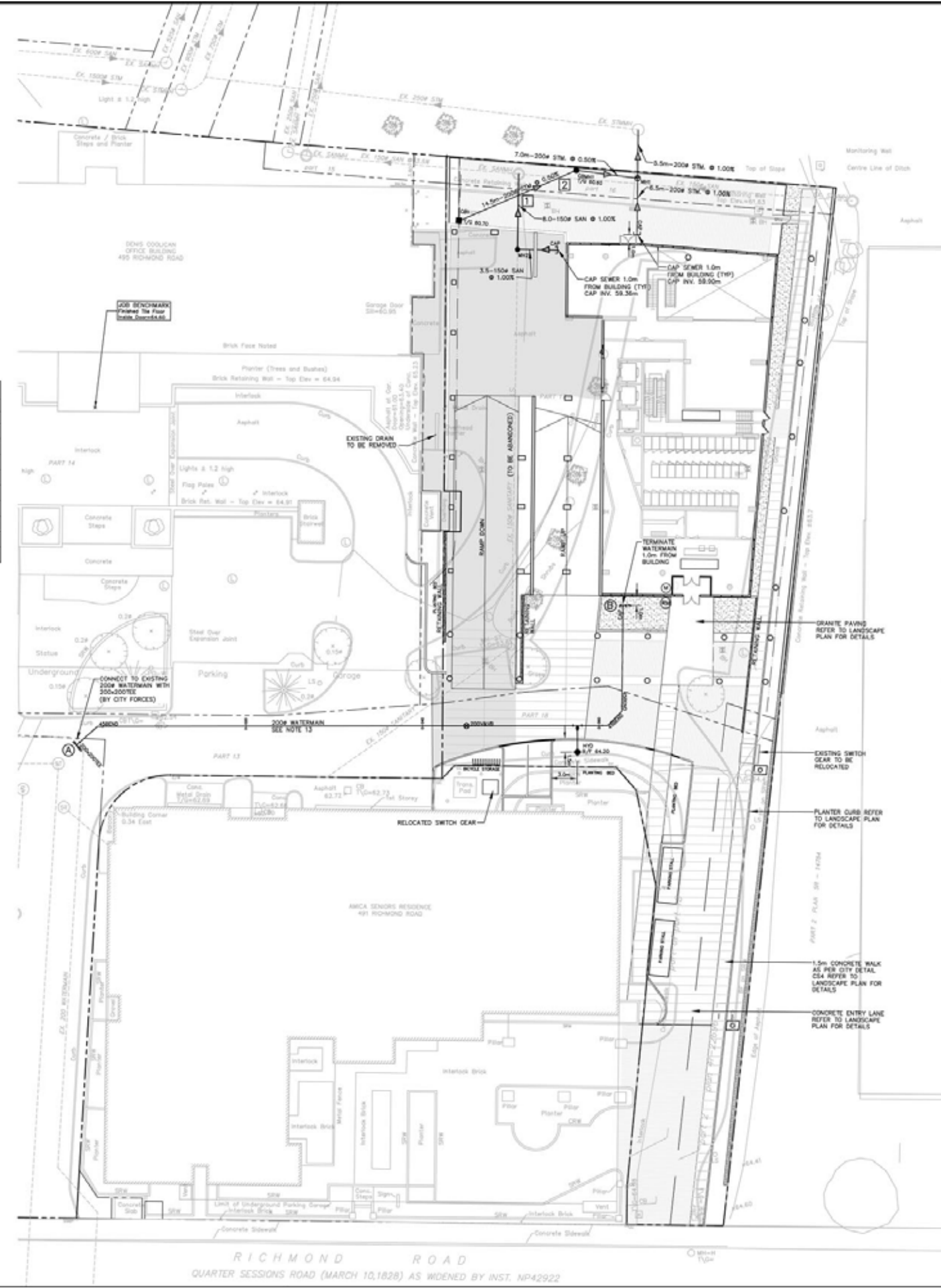
LIGHT DUTY PAVEMENT
 50mm SUPER PAVE 12.5mm
 150mm GRANULAR 'A'
 300mm GRANULAR 'B'

HEAVY DUTY PAVEMENT
 40mm SUPER PAVE 12.5mm
 40mm SUPER PAVE 19mm
 150mm GRANULAR 'A'
 450mm GRANULAR 'B' TYPE II
 SEE NOTE 18.

ROAD STRUCTURES CONCRETE:

LIGHT DUTY CONCRETE
 120mm CONCRETE
 150mm GRANULAR 'A'
 300mm GRANULAR 'B'

HEAVY DUTY CONCRETE
 160mm CONCRETE
 150mm GRANULAR 'A'
 450mm GRANULAR 'B' TYPE II
 SEE NOTE 18.

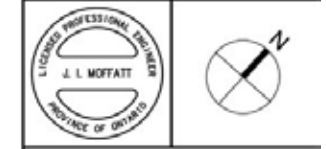


14		
13		
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2		
1	ISSUED FOR SPA	JM 12:01:27
No.	REVISIONS	By Date

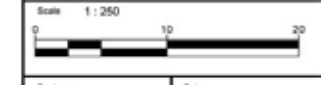


IBI GROUP
 333 Preston Street
 Tower 1, Suite 400
 Ottawa, Ontario
 Canada K1S 5N4
 Tel: (613) 925-1311
 FAX: (613) 925-9868

Project Title
485 RICHMOND ROAD



Drawing Title
SITE SERVICING PLAN



Design	J.I.M.	Date	MAY 2012
Drawn	D.P.S.	Checked	J.I.M.
Project No.	32385	Drawing No.	C-100

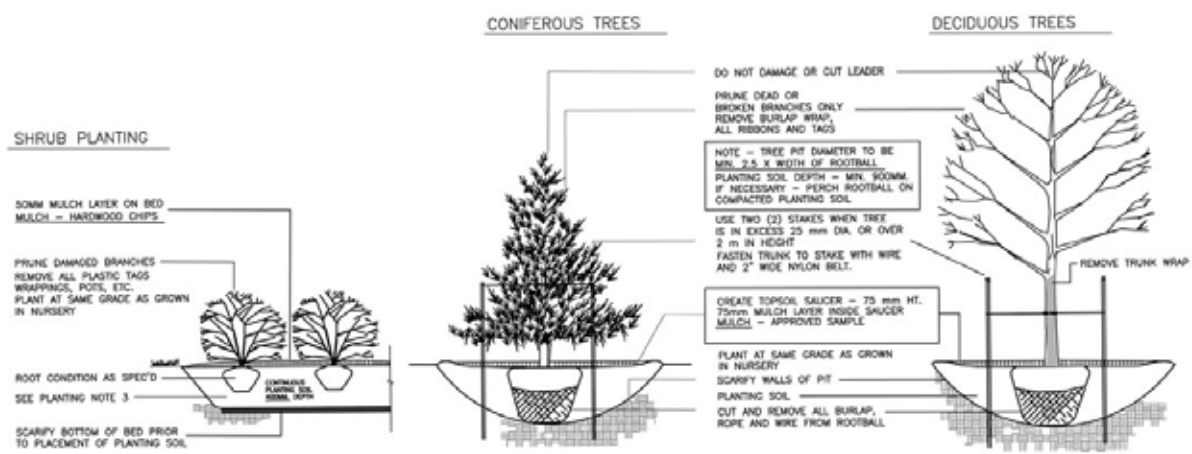
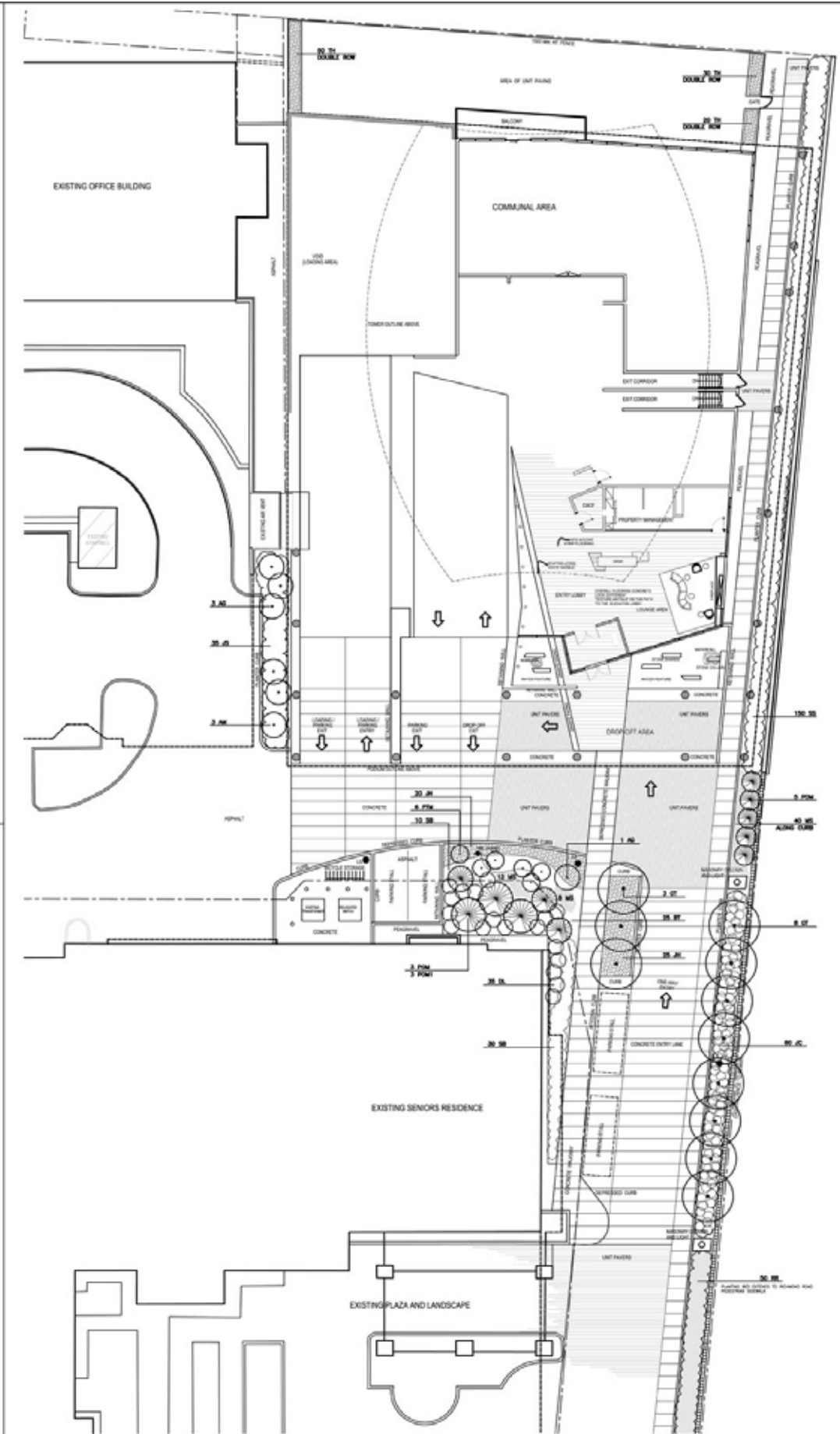


PLANT LIST

SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
GT	GLEDITSIA TRIACANTHOS 'ORAVES'	STREET KEEPER LOCUST	11	60MM. CAL.	WB / BB
PCM	PICEA OMORIKA	SERBIAN SPRUCE	8	250 CM HT.	WB
POM1	PICEA OMORIKA	SERBIAN SPRUCE	3	150 CM HT.	WB
AM	AMELANCHIER CANADENSIS	SERRACEBERRY	3	125 CM HT.	WB / MULTISTEM
TH	THUJA OCCIDENTALIS	WHITE CEDAR	100	1800 CM. HT.	FIELD GROWN
AG	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	4	150 CM HT.	WB / MULTISTEM
PTM	PRUNUS TRILOBA 'MULTIPLIX'	FLOWERING ALMOND	6	100 CM HT.	POT / MULTISTEM
SHRUBS					
RR	ROSA RUGOSA - white flowers	WHITE RUGOSA ROSE	50	50 CM HT.	POTS
JC	JUNIPERUS CHINENSIS 'GOLD STAR'	GOLD STAR JUNIPER	60	50 CM SPR.	POTS
JH	JUNIPERUS HORIZONTALIS 'PLUMOSA'	ANDORRA JUNIPER	45	40 CM SPR.	POTS
JS	JUNIPERUS SABINA	SAVIN JUNIPER	35	60 CM SPR.	POTS
DL	DIERVILLA LONICERA	BUSH HONEYSUCKLE	35	60 CM. HT.	POTS
SS	SORBARIA SORBIFOLIA	FALSE SPIREA	150	50 CM. HT.	POTS
SB	SPIREA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	40	40 CM. HT.	POTS
BT	BERBERIS THUNBERGII 'CONCORDE'	CONCORDE BARBERRY	25	40 CM. HT.	POTS
MS	MISCANTHUS SIN. 'GRAZIELLA'	MAIDEN GRASS	60	1 GAL. POTS	

PLANTING NOTES

- LOCATE ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION OF TREE PITS. IF NECESSARY - RELOCATE PLANT MATERIAL TO ACCOMMODATE SHALLOW UTILITIES
- LAYOUT OF PLANT MATERIAL IS TO BE REVIEWED AND APPROVED PRIOR TO INSTALLATION
- REMOVE CONSTRUCTION DEBRIS, WASTE MATERIAL ETC. DURING BED EXCAVATION AND PRIOR TO INSTALLATION OF PLANTING SOIL.
- OVERHANGING BRANCHES FROM TREES ON ADJACENT SITES TO BE PROTECTED IF POSSIBLE. IF PRUNING IS REQUIRED, CONSULT WITH PROJECT LANDSCAPE ARCHITECT.



1 PLANTING DETAILS

NOT TO SCALE

CORUSH Landscape Architecture
SUNDERLAND Urban Design
WRIGHT Site Planning
 Remediation and Park Planning

190 Surf. Blvd. Suite 205, Mississauga, Ontario L4V 1R3
 Tel: (416) 729-4536

No.	REVISION	DATE
1	ISSUED FOR SITE PLAN APPROVAL	2012.07.27
2	REVISED FRONT ENTRY LOBBY	2012.08.27

WALLMAN ARCHITECTS
 30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 T 416 340 1870
 F 416 340 1871
 info@wallmanarchitects.com



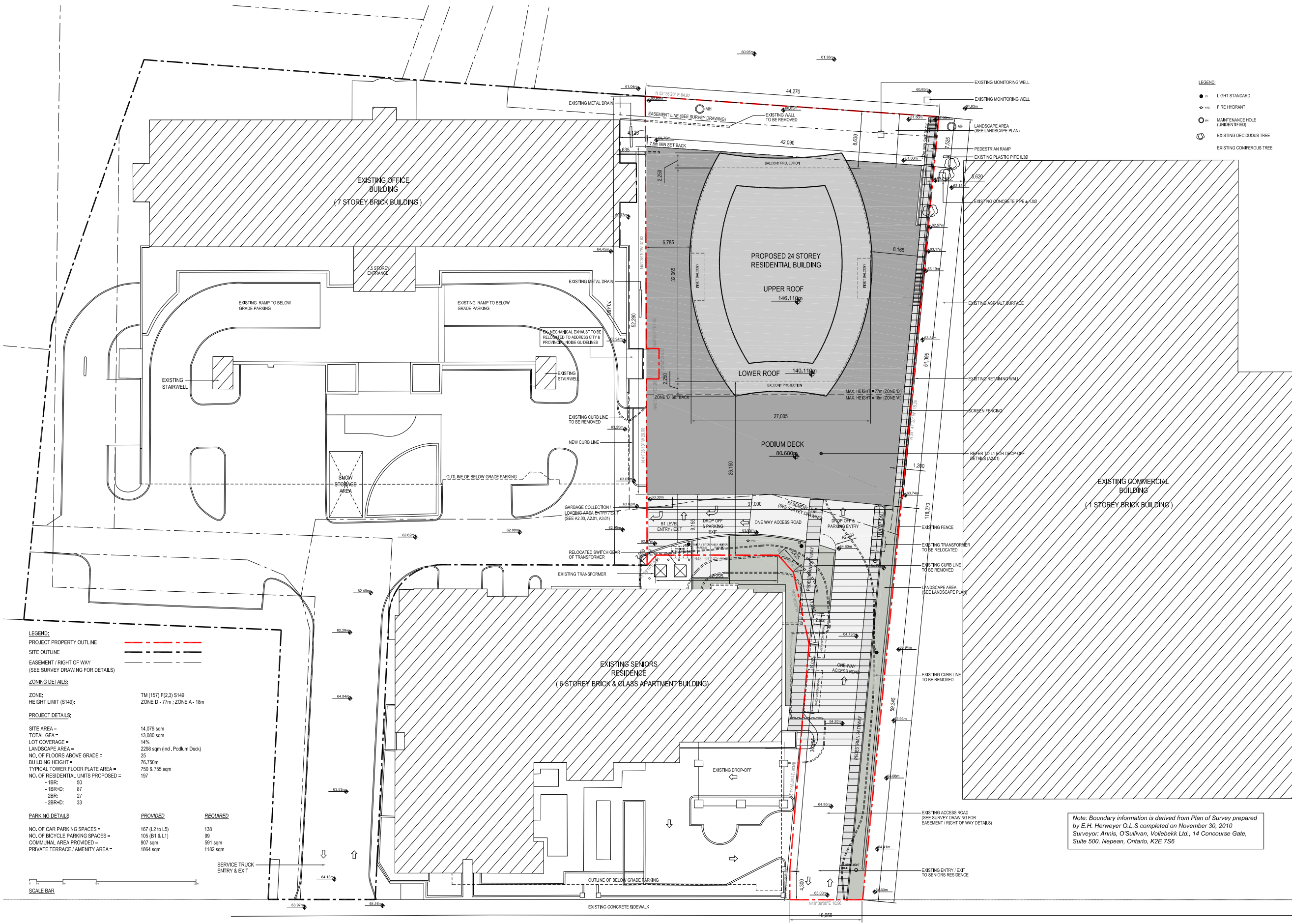
485 RICHMOND ROAD
 OTTAWA, ONTARIO

MINTO COMMUNITIES INC.

GROUND LEVEL LANDSCAPE PLAN

PROJECT NUMBER	DATE	SCALE	DRAWN BY	CHECKED BY
1577-6A	2012-07-24	1:200		

L-1



- LEGEND:**
- LIGHT STANDARD
 - FIRE HYDRANT
 - MAINTENANCE HOLE (UNIDENTIFIED)
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE

1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Stop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devices, fittings and fixtures are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23

LEGEND:

PROJECT PROPERTY OUTLINE: ---

SITE OUTLINE: ---

EASEMENT / RIGHT OF WAY (SEE SURVEY DRAWING FOR DETAILS): ---

ZONING DETAILS:

ZONE: TM (157) F(2.3) S149

HEIGHT LIMIT (S149): ZONE D - 7m ; ZONE A - 18m

PROJECT DETAILS:

SITE AREA =	14,079 sqm
TOTAL GFA =	13,080 sqm
LOT COVERAGE =	14%
LANDSCAPE AREA =	2298 sqm (incl. Podium Deck)
NO. OF FLOORS ABOVE GRADE =	25
BUILDING HEIGHT =	78.750m
TYPICAL TOWER FLOOR PLATE AREA =	750 & 755 sqm
NO. OF RESIDENTIAL UNITS PROPOSED =	197
-1BR:	50
-1BR+D:	87
-2BR:	27
-2BR+D:	33

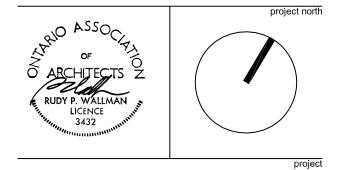
PARKING DETAILS:

	PROVIDED	REQUIRED
NO. OF CAR PARKING SPACES =	167 (L2 to L5)	138
NO. OF BICYCLE PARKING SPACES =	105 (B1 & L1)	99
COMMUNAL AREA PROVIDED =	907 sqm	591 sqm
PRIVATE TERRACE / AMENITY AREA =	1864 sqm	1182 sqm

Note: Boundary information is derived from Plan of Survey prepared by E.H. Herweyer O.L.S. completed on November 30, 2010
 Surveyor: Annis, O'Sullivan, Vollebek Ltd., 14 Concourse Gate, Suite 500, Nepean, Ontario, K2E 7S6



30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com



485 RICHMOND ROAD
 OTTAWA, ONTARIO

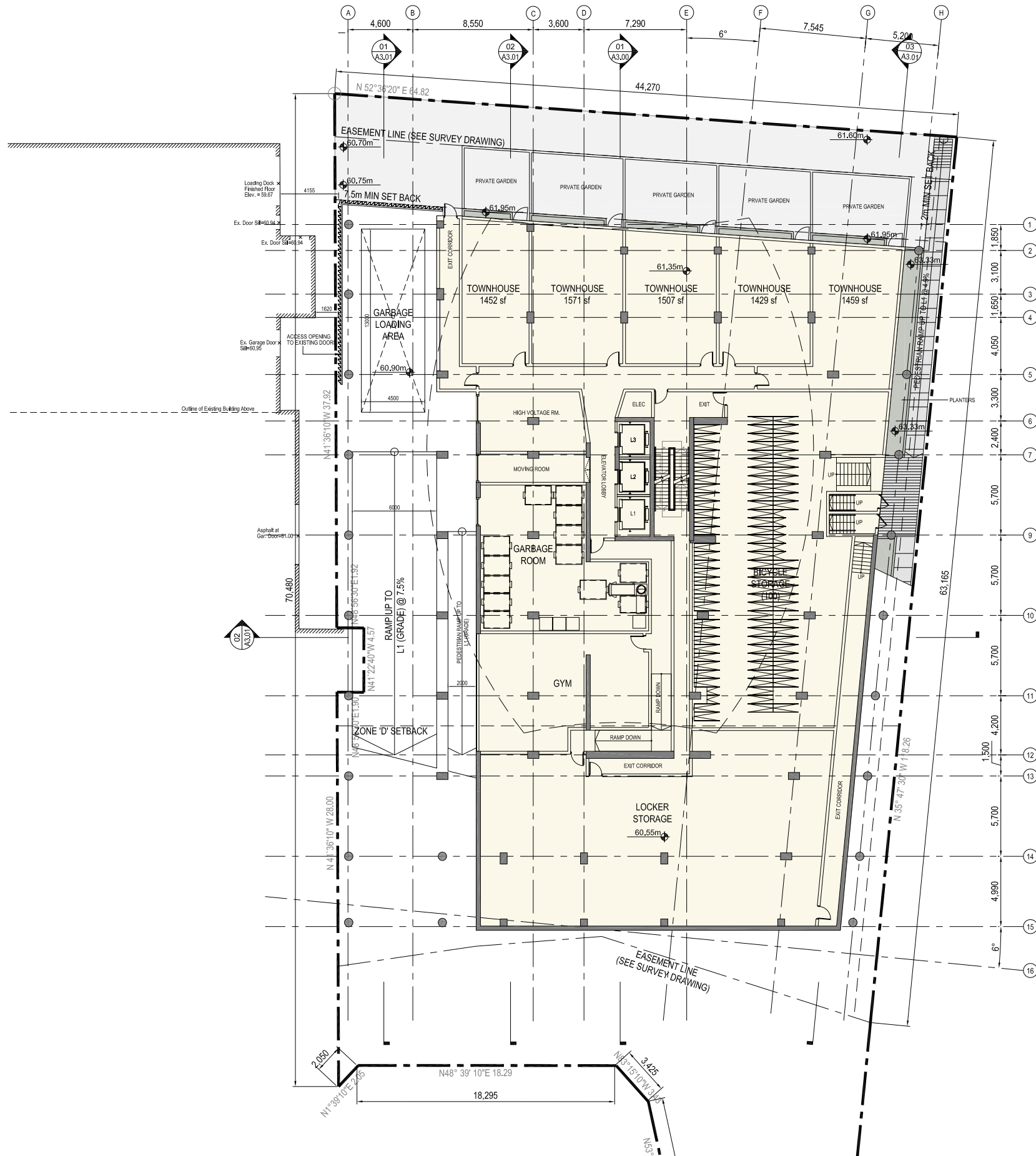
MINTO COMMUNITIES INC.

200-160 KENT ST. OTTAWA, ON, K1P 0B6

SITE PLAN

XX-SS	project number
2012.08.23	date
1:250 @ ARCH D	scale
	drawn by
	sheet

A1.01



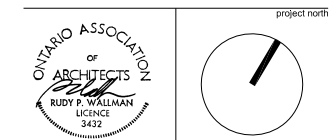
1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Stop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com



485 RICHMOND ROAD
 OTTAWA, ONTARIO

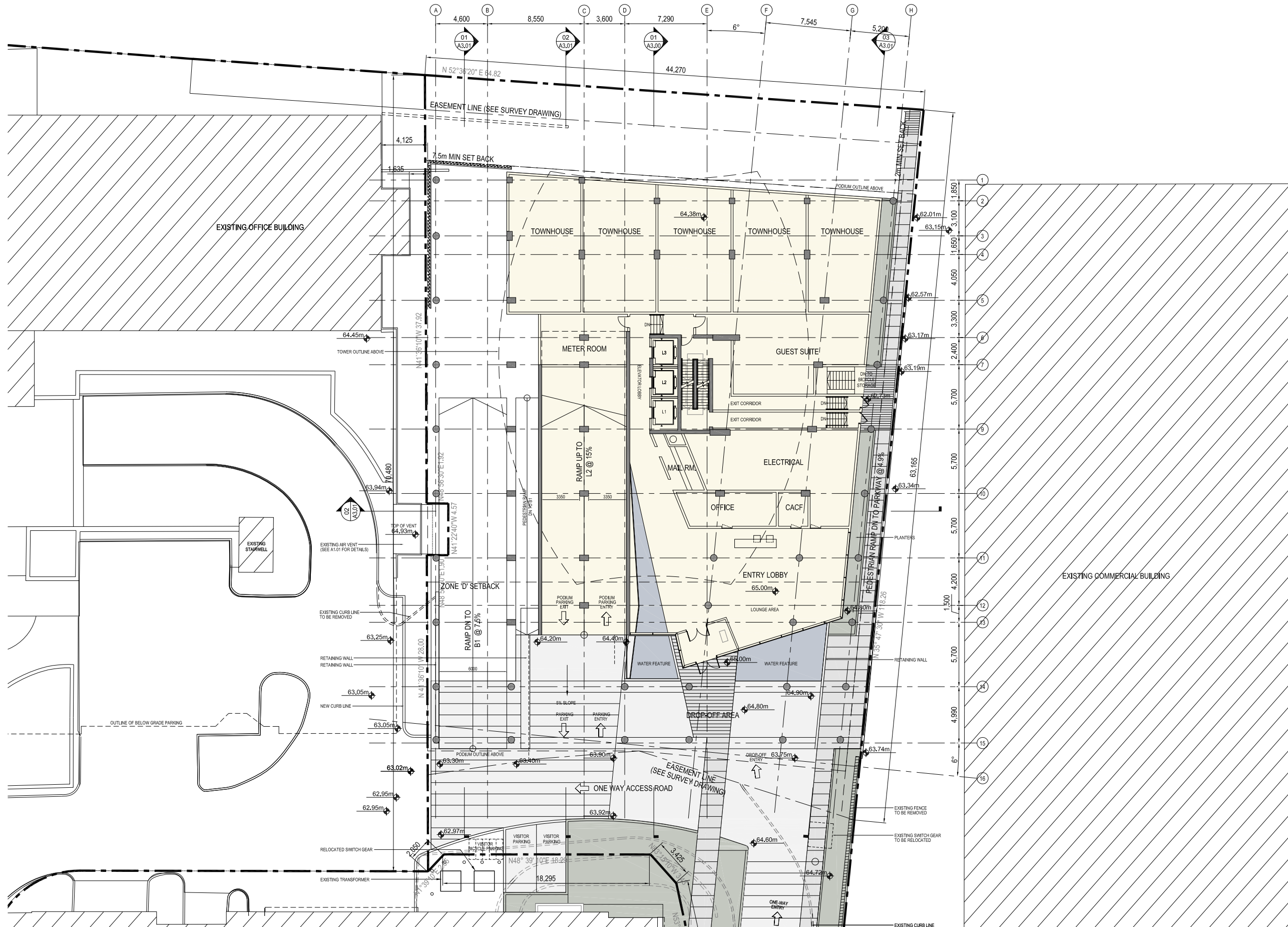
MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

BASEMENT LEVEL (B1)
 FLOOR PLAN

XX-SS	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A2.00



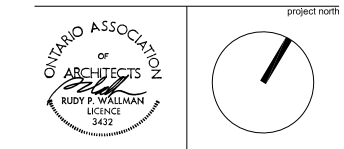
1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



CANDEREL
WALLMANARCHITECTS

30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com



485 RICHMOND ROAD
 OTTAWA, ONTARIO

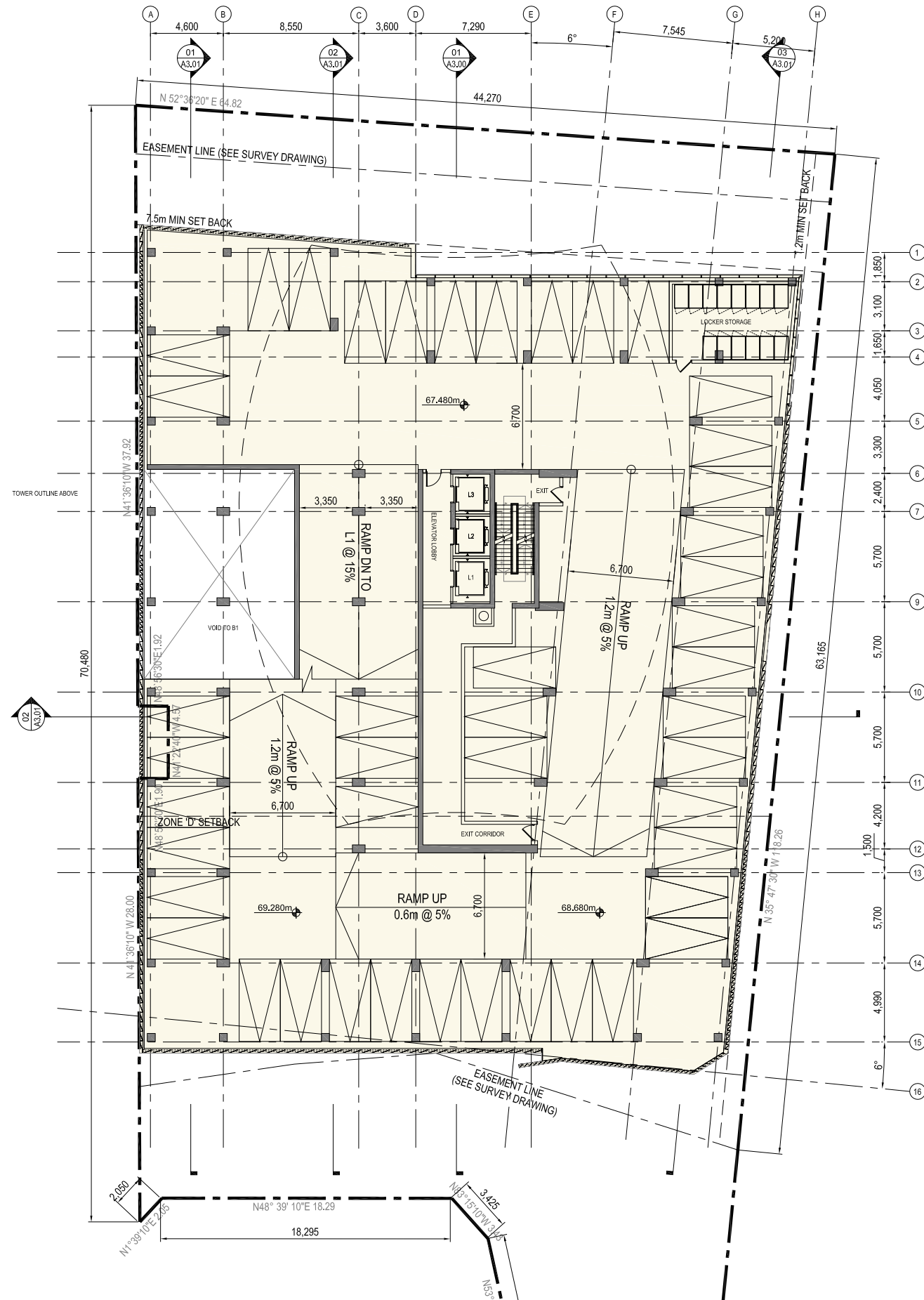
MINTO COMMUNITIES INC.,
 client

200-180 KENT ST. OTTAWA, ON, K1P 0B6

GROUND FLOOR PLAN (L1)
 FLOOR PLAN

XX-SS	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A2.01



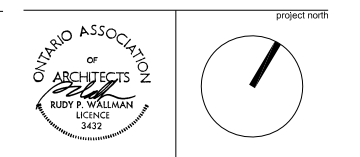
1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com



485 RICHMOND ROAD
 OTTAWA, ONTARIO

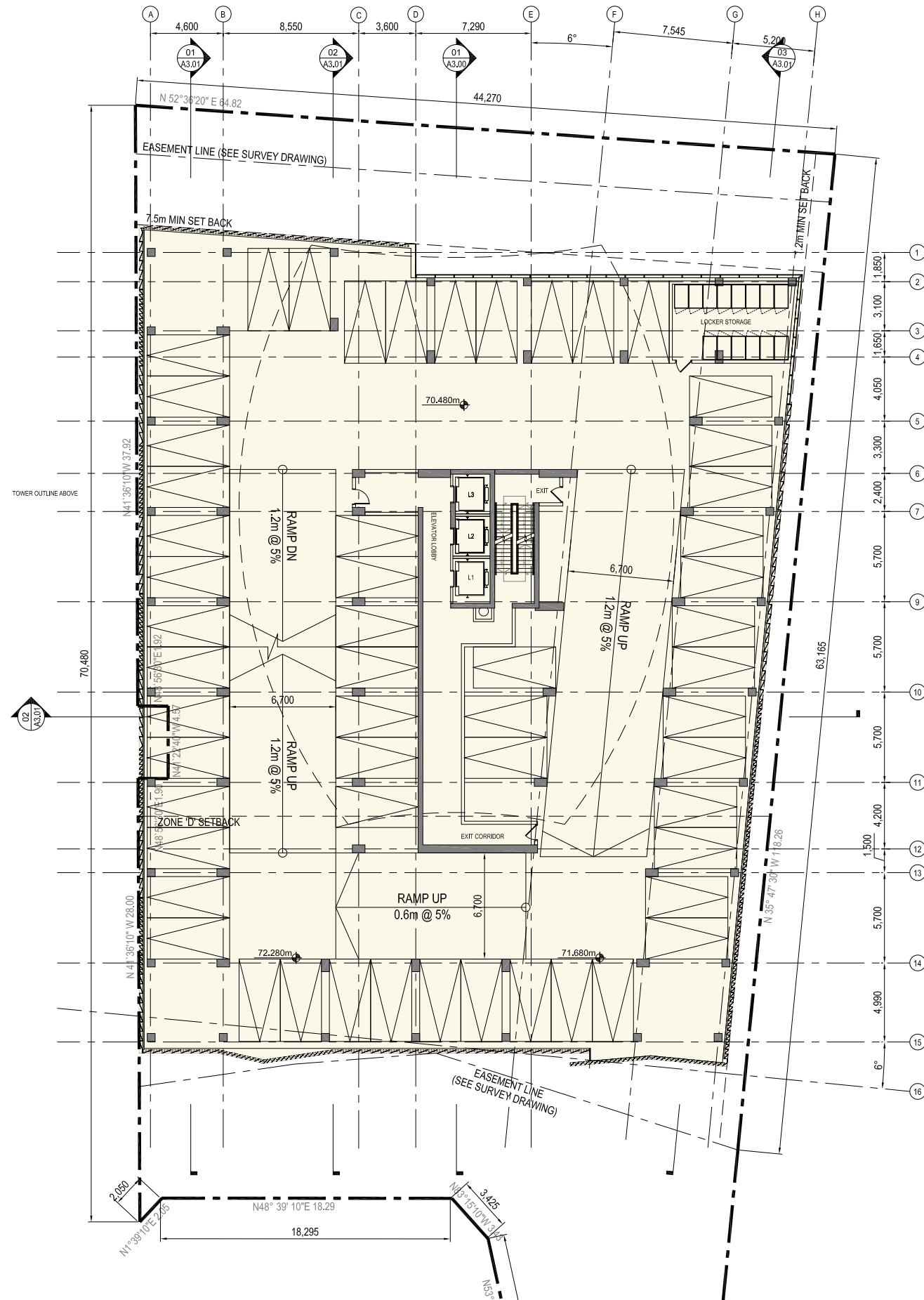
MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

PODIUM LEVEL 2 (L2)
 FLOOR PLAN

XX-SS	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A2.02

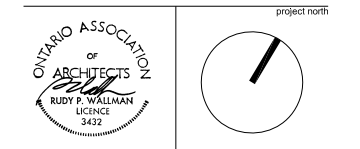


1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS
 30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com

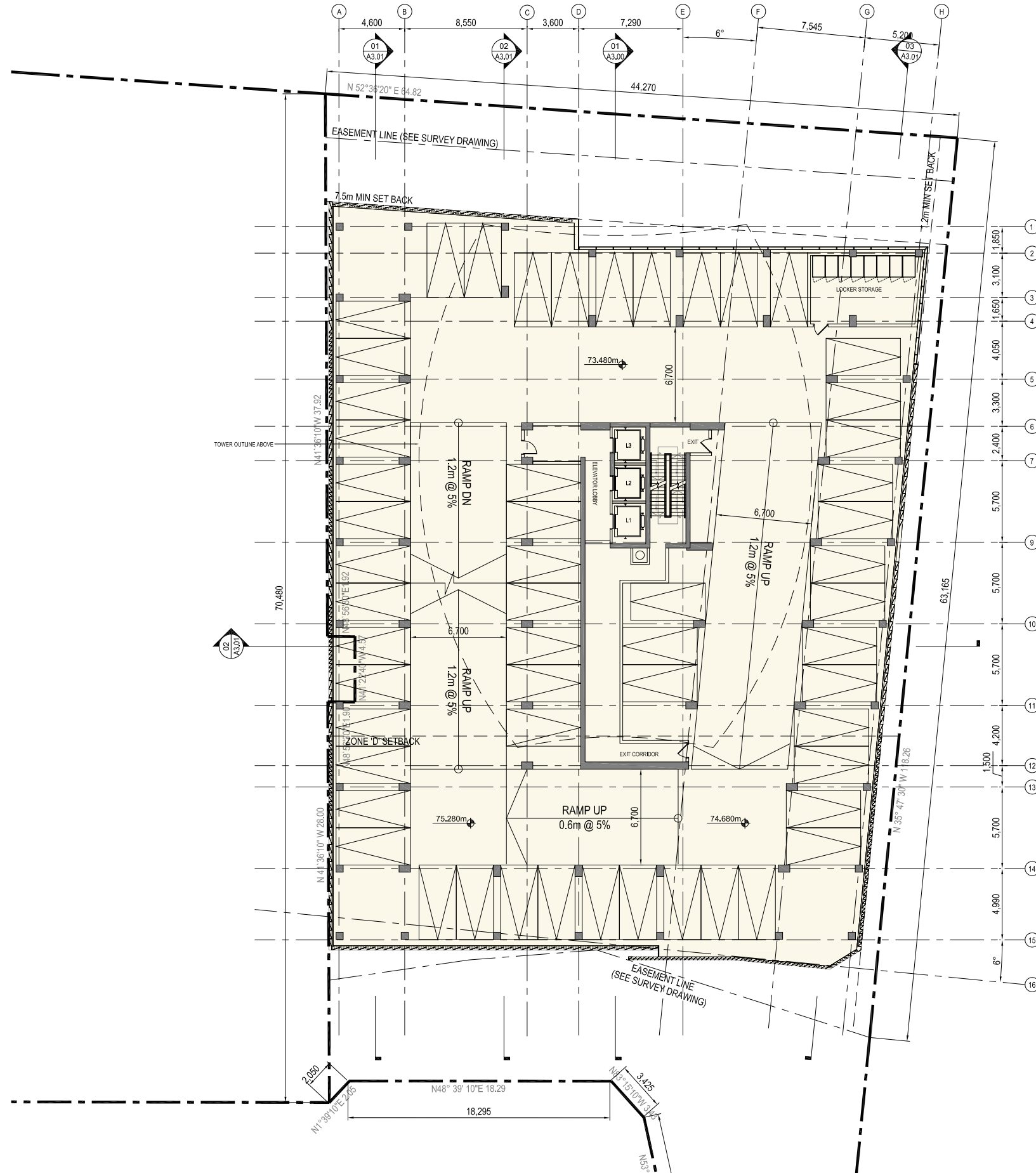


485 RICHMOND ROAD
 OTTAWA, ONTARIO
 MINTO COMMUNITIES INC., client

200-180 KENT ST. OTTAWA, ON, K1P 0B6

project number	project number
XX-SS	2012.08.23
date	scale
1:150 @ ARCH D	drawn by
	sheet

A2.03



1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Stop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS
 30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com

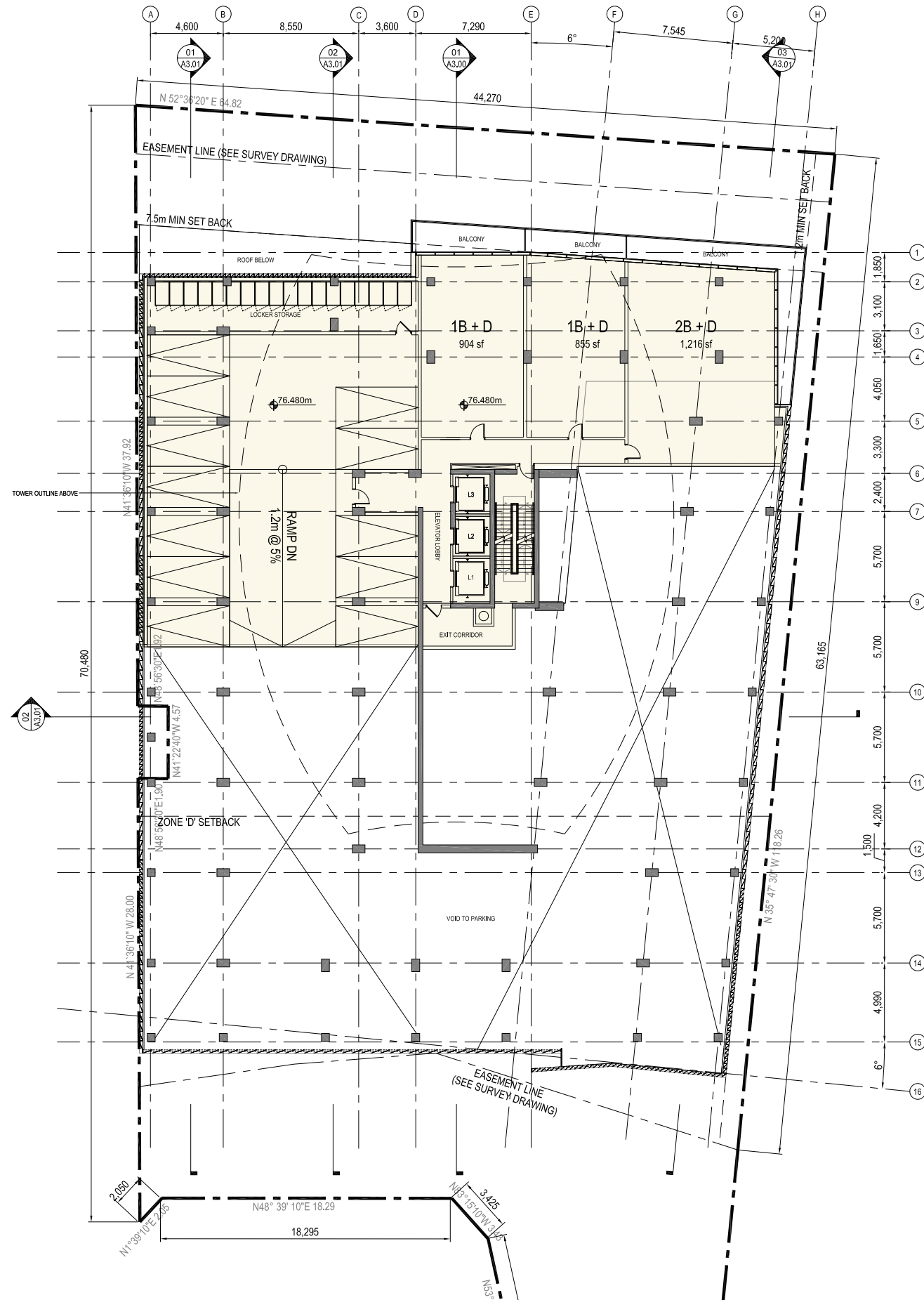
485 RICHMOND ROAD
 OTTAWA, ONTARIO

MINTO COMMUNITIES INC.,

200-180 KENT ST. OTTAWA, ON, K1P 0B6

project number	project number
XX-SS	2012.08.23
date	scale
1:150 @ ARCH D	drawn by
	sheet

A2.04



1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com

ONTARIO ASSOCIATION
 OF ARCHITECTS
 RUDY P. WALLMAN
 LICENCE
 3432

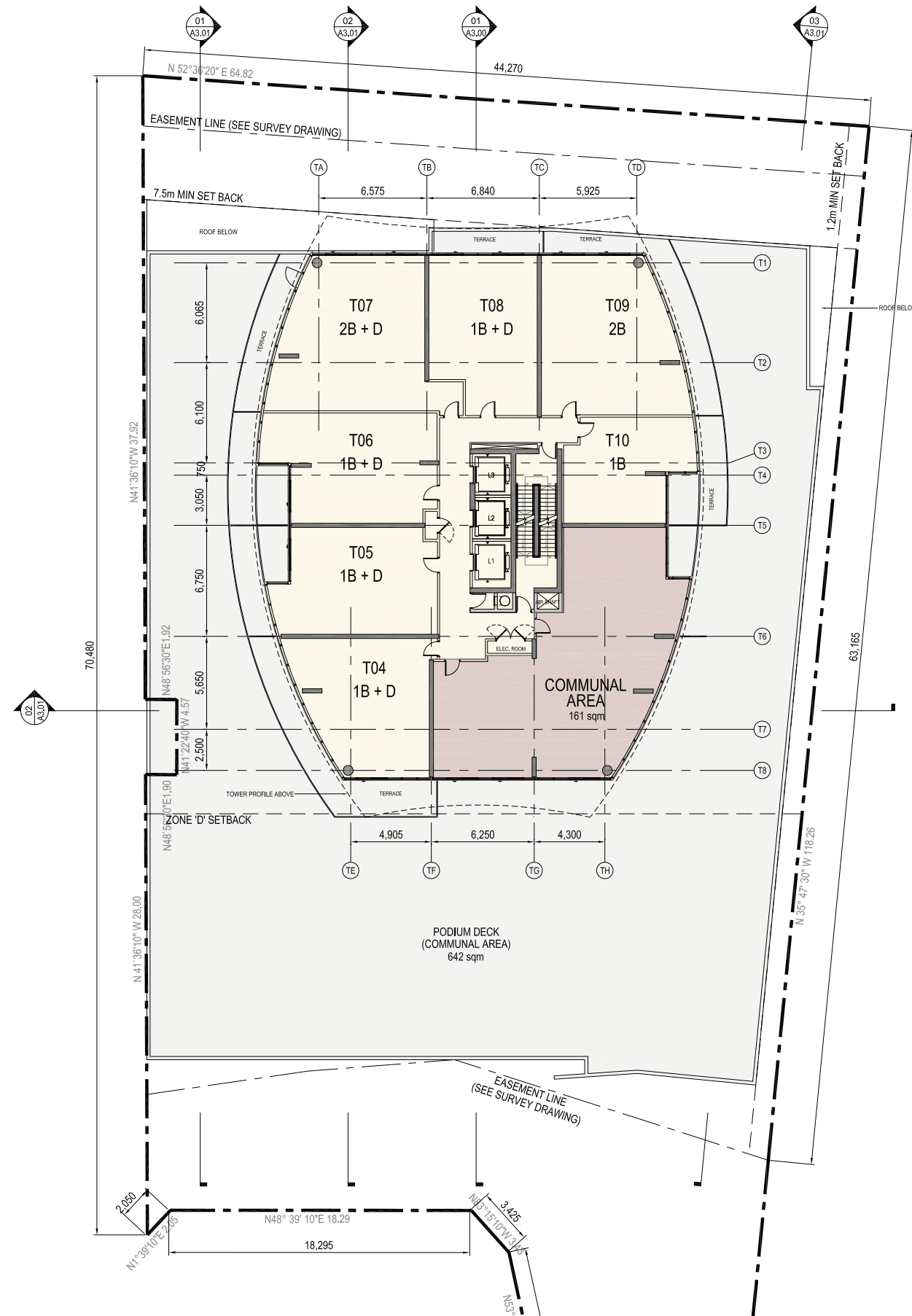
project north

485 RICHMOND ROAD
 OTTAWA, ONTARIO

MINTO COMMUNITIES INC., client

200-180 KENT ST. OTTAWA, ON, K1P 0B6

LOCKER STORAGE (L5) FLOOR PLAN	
XX-S5	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet



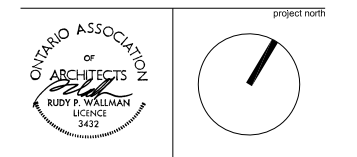
1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com



485 RICHMOND ROAD
 OTTAWA, ONTARIO

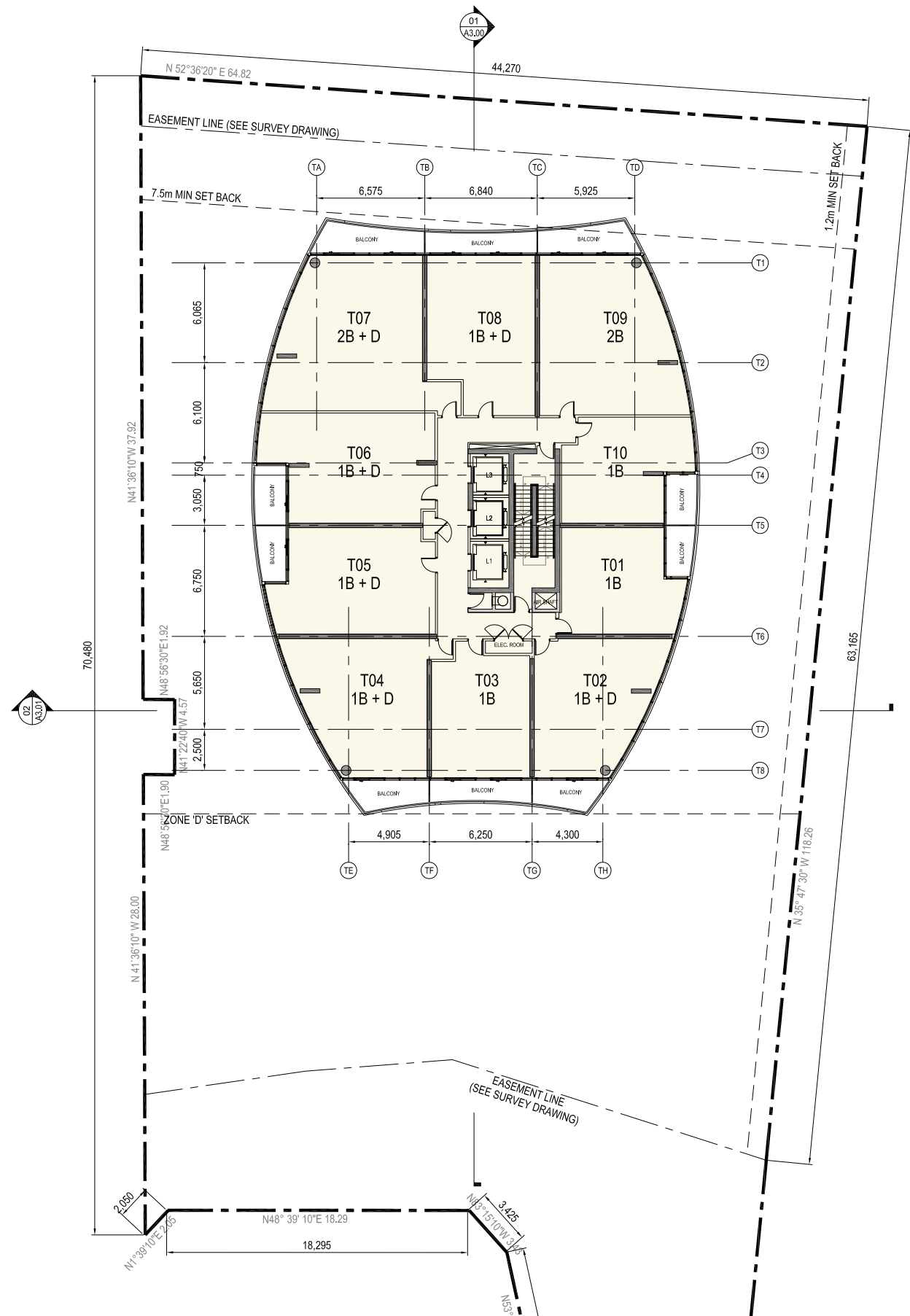
MINTO COMMUNITIES INC.,
 client

200-180 KENT ST. OTTAWA, ON, K1P 0B6

PODIUM DECK LEVEL (L6)
 FLOOR PLAN

XX-SS	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A2.06



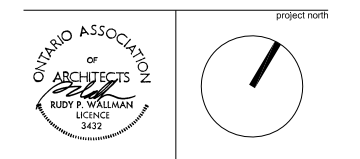
1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com



485 RICHMOND ROAD
 OTTAWA, ONTARIO

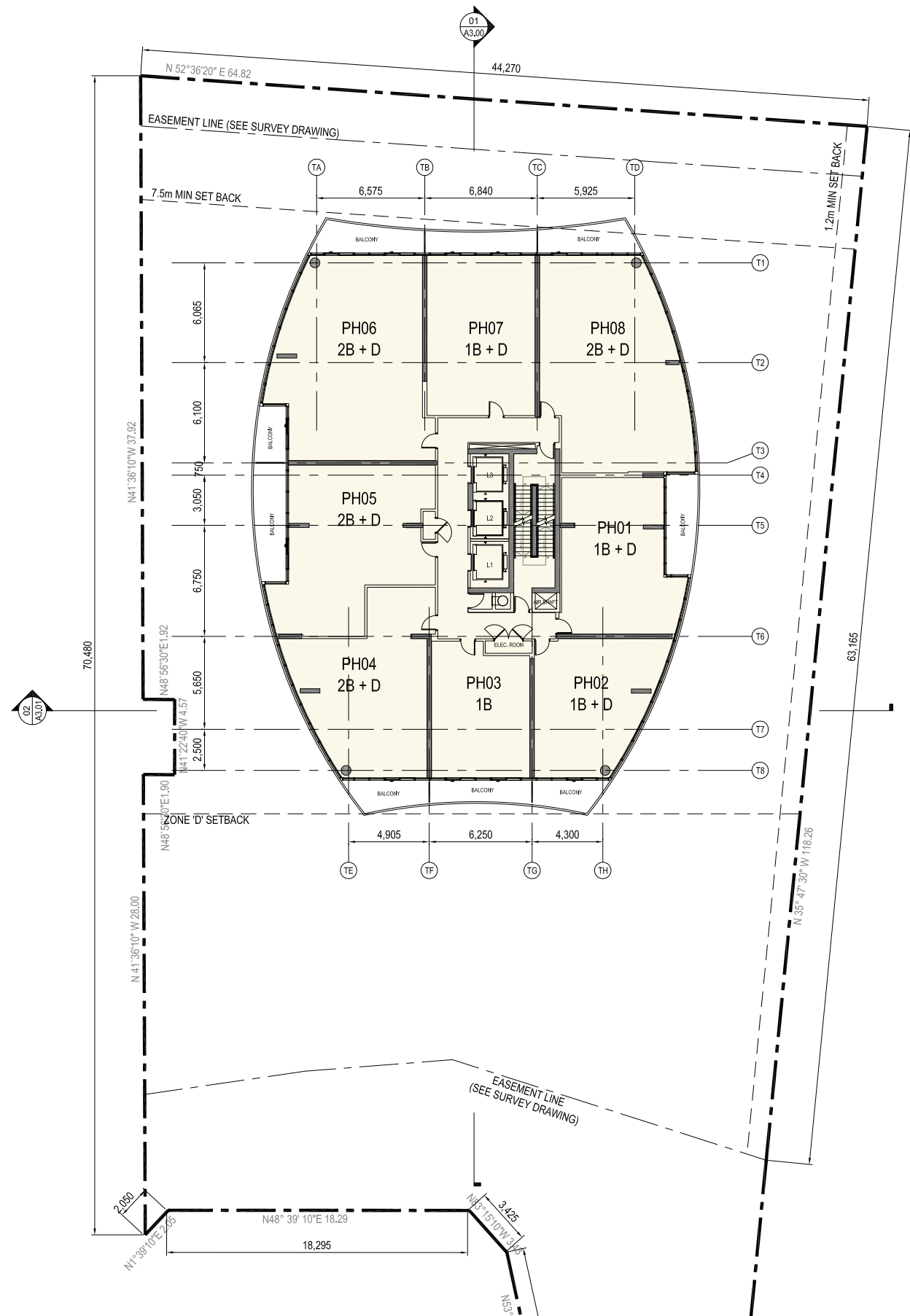
MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

TYP. TOWER LEVEL (L7 - 21)
 FLOOR PLAN

XX-SS	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A2.07



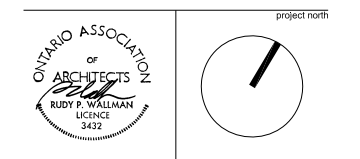
- Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
- Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
- Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
- These drawings are not to be used for construction unless noted below as "Issued for Construction".
- All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
- The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com



485 RICHMOND ROAD
 OTTAWA, ONTARIO

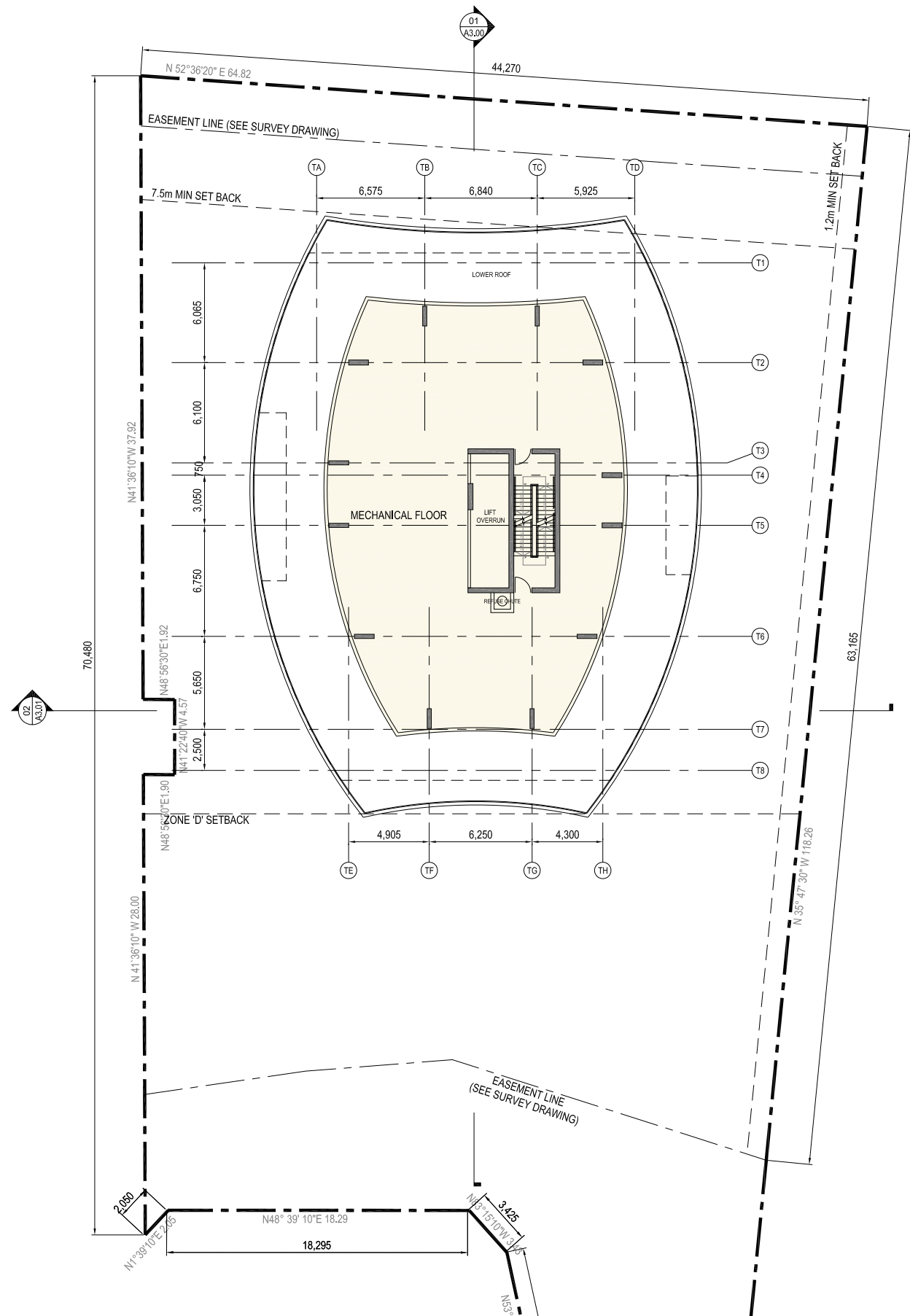
MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

TYP. UPPER TOWER LEVEL (L22-25)
 FLOORPLAN

XX-S5	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A2.08



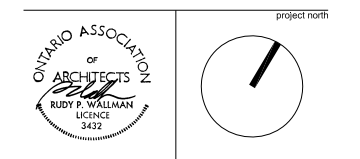
1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Stop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
 Toronto, Ontario M5V 2C3
 t 416 340 1870
 f 416 340 1871
 info@wallmanarchitects.com



485 RICHMOND ROAD
 OTTAWA, ONTARIO

MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

**MECHANICAL FLOOR (L26)
 FLOOR PLAN**

XX-SS	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A2.09

1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

4. Positions of exposed finishes for mechanical or electrical devices, fittings and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.

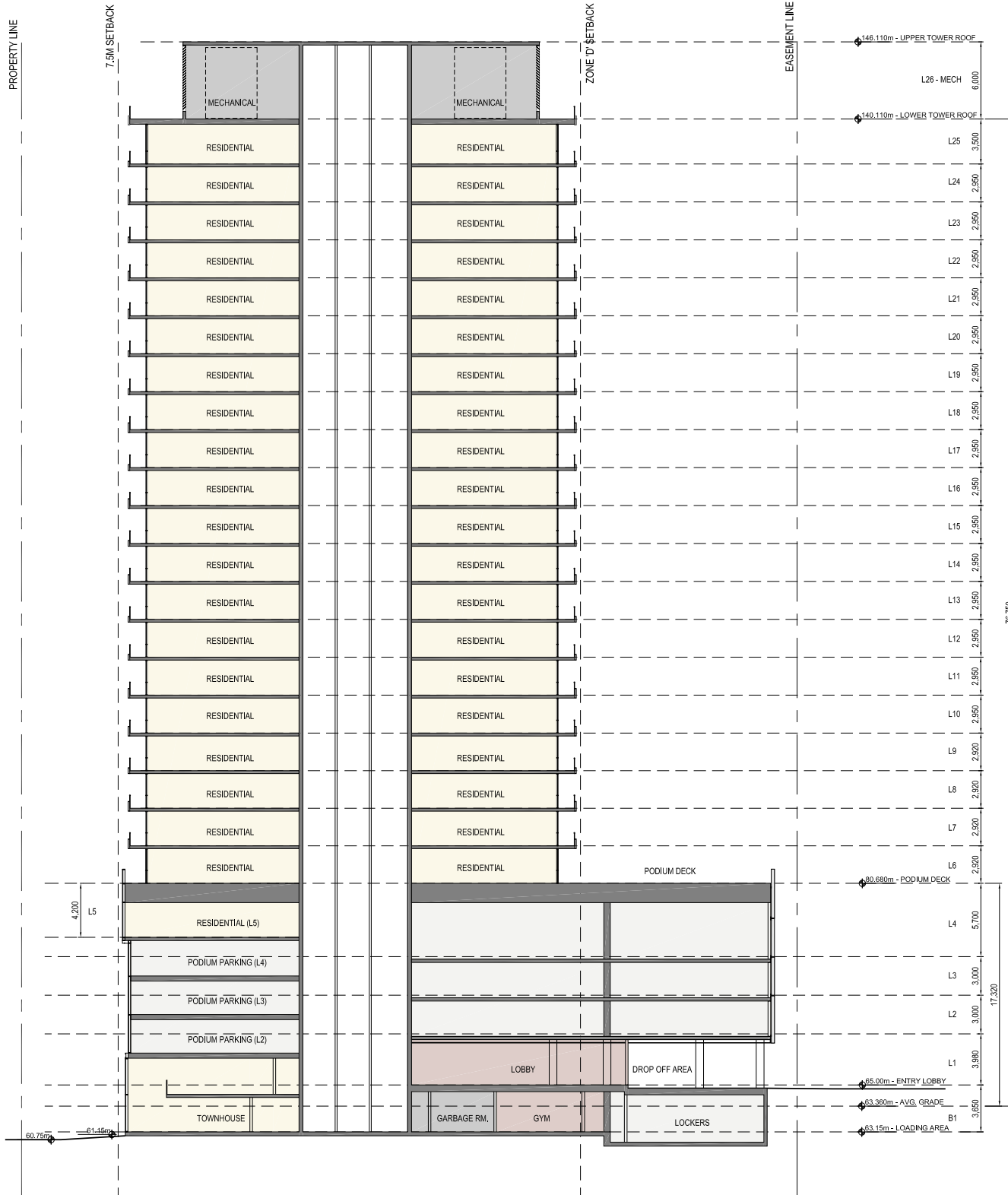
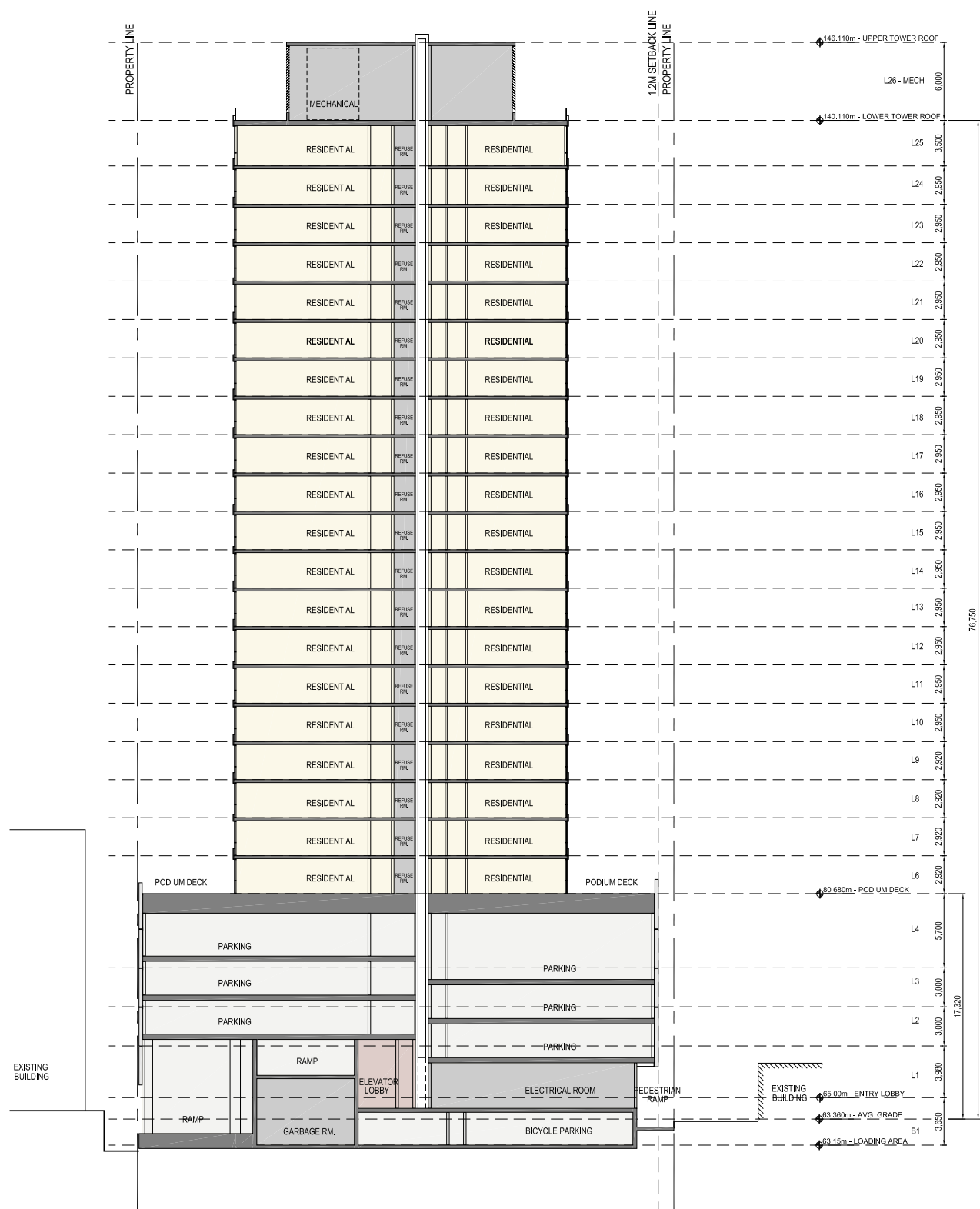
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructibility of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23

No.	Issuance	Date (YYYY MM DD)



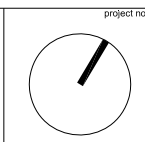
02 SECTION 02
SCALE: 1/200

01 SECTION 01
SCALE: 1/200



WALLMANARCHITECTS

30 Duncan Street, Suite 202
Toronto, Ontario M5V 2C3
t 416 340 1870
f 416 340 1871
info@wallmanarchitects.com



485 RICHMOND ROAD
OTTAWA, ONTARIO

MINTO COMMUNITIES INC. client

200-180 KENT ST. OTTAWA, ON, K1P 0B6

TOWER SECTIONS

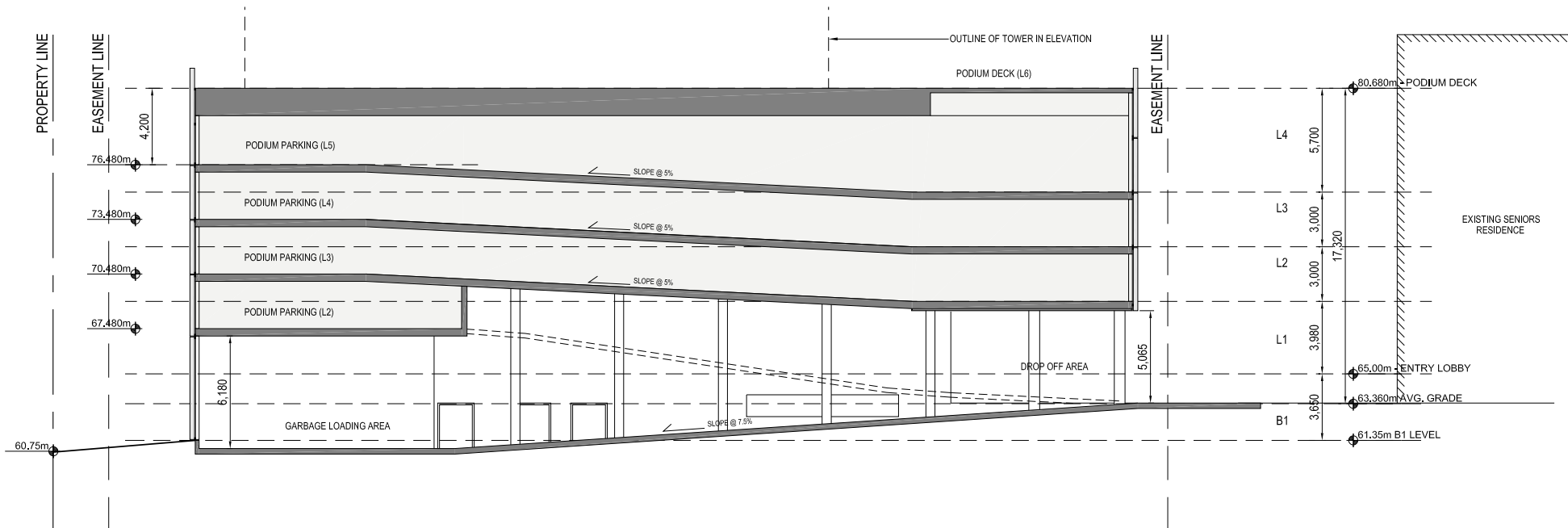
XX-SS	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A3.00

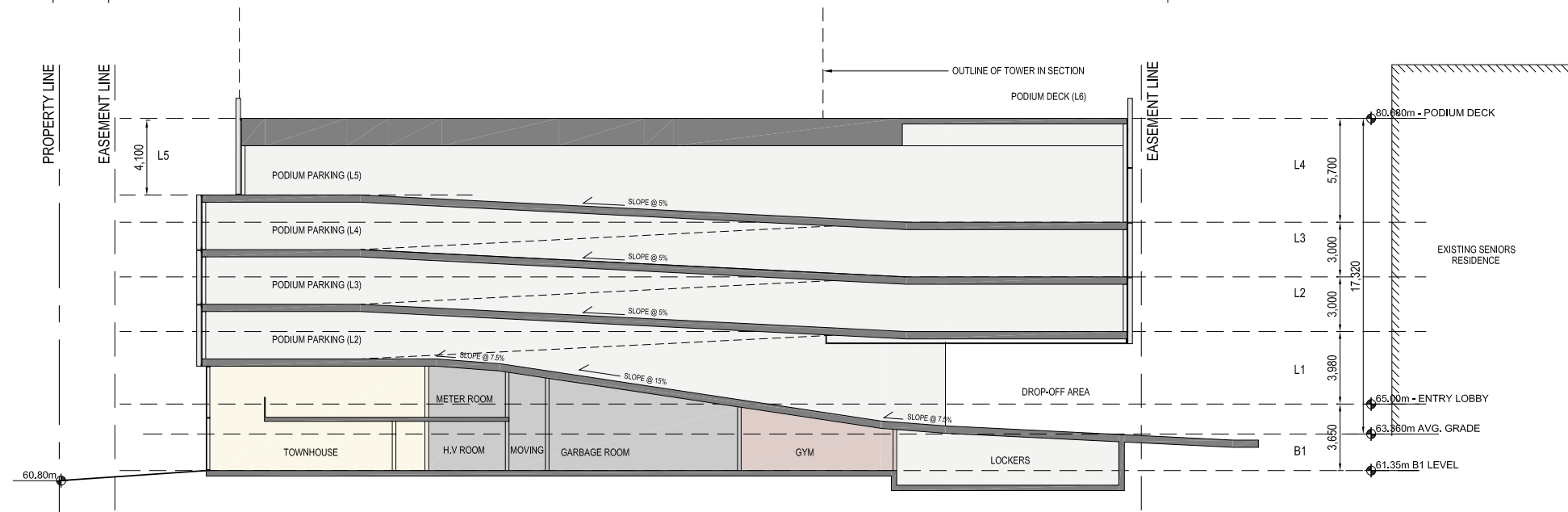
1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devices, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23

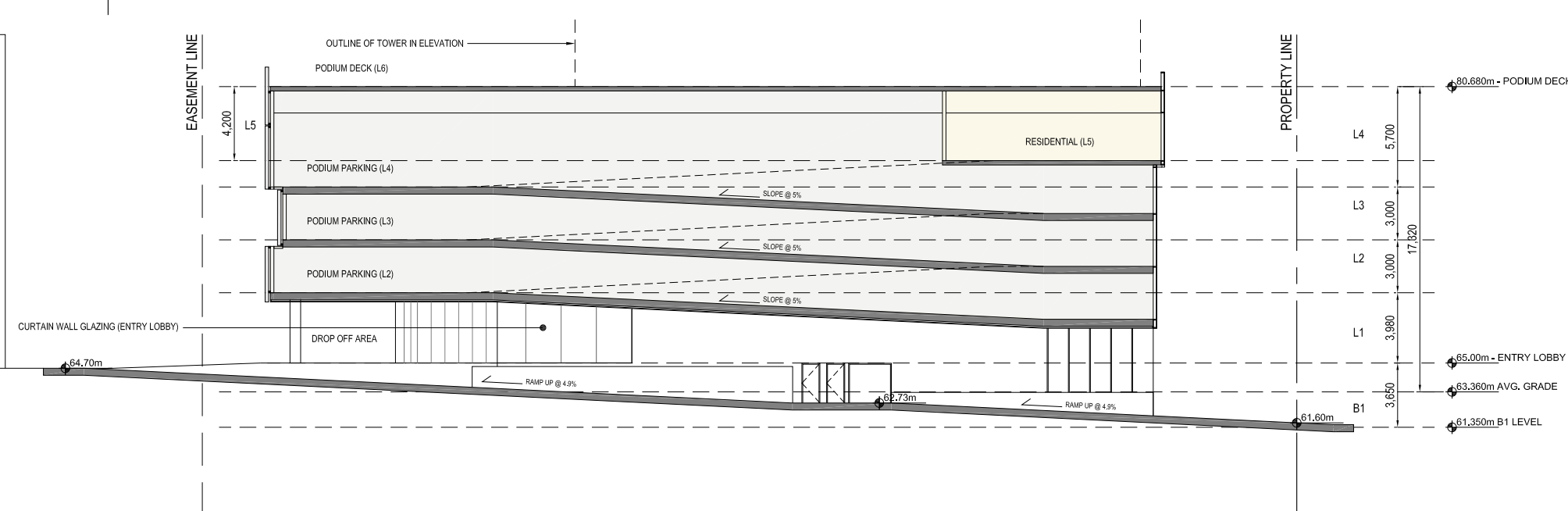
01 SECTION 03
SCALE: 1/150



02 SECTION 04
SCALE: 1/150

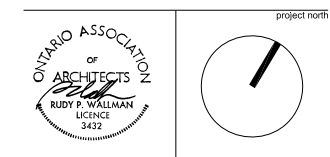


03 SECTION 05
SCALE: 1/150



WALLMANARCHITECTS

30 Duncan Street, Suite 202
Toronto, Ontario M5V 2C3
t 416 340 1870
f 416 340 1871
info@wallmanarchitects.com



485 RICHMOND ROAD
OTTAWA, ONTARIO

MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

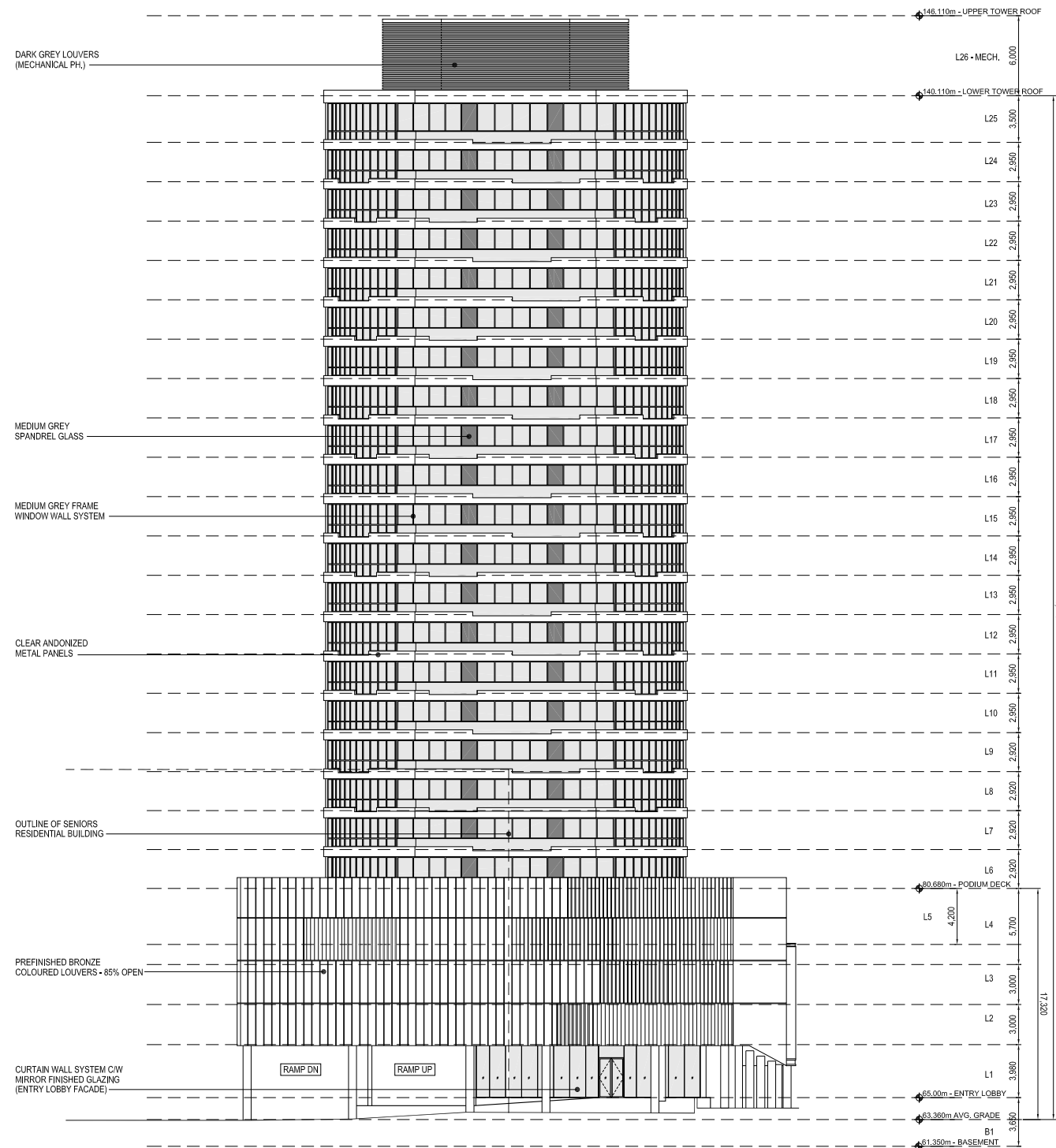
PODIUM SECTIONS

XX-SS	project number
2012.08.23	date
1:150 @ ARCH D	scale
	drawn by
	sheet

A3.01

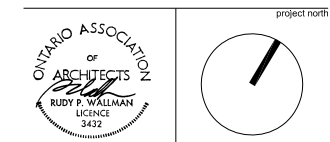
1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Stop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
Toronto, Ontario M5V 2C3
t 416 340 1870
f 416 340 1871
info@wallmanarchitects.com



485 RICHMOND ROAD
OTTAWA, ONTARIO

MINTO COMMUNITIES INC.

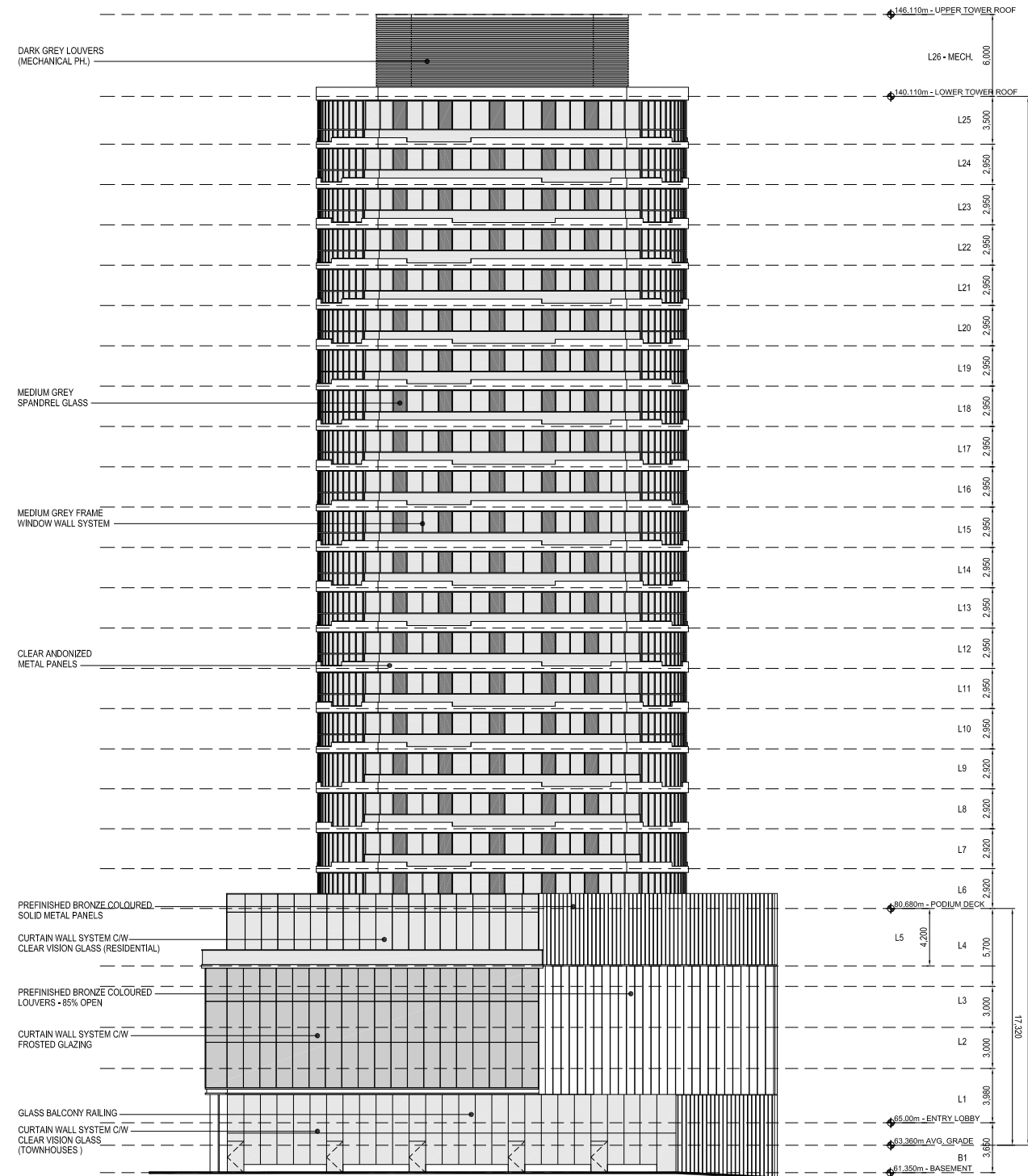
200-180 KENT ST. OTTAWA, ON, K1P 0B6

SOUTH ELEVATION

project number	date	scale	drawn by	sheet
XX-SS	2012.08.23	1:200 @ ARCH D		

1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Stop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devices, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23

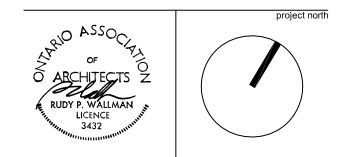


01 PARKWAY (NORTH) ELEVATION
SCALE: 1/200



WALLMANARCHITECTS

30 Duncan Street, Suite 202
Toronto, Ontario M5V 2C3
t 416 340 1870
f 416 340 1871
info@wallmanarchitects.com



485 RICHMOND ROAD
OTTAWA, ONTARIO

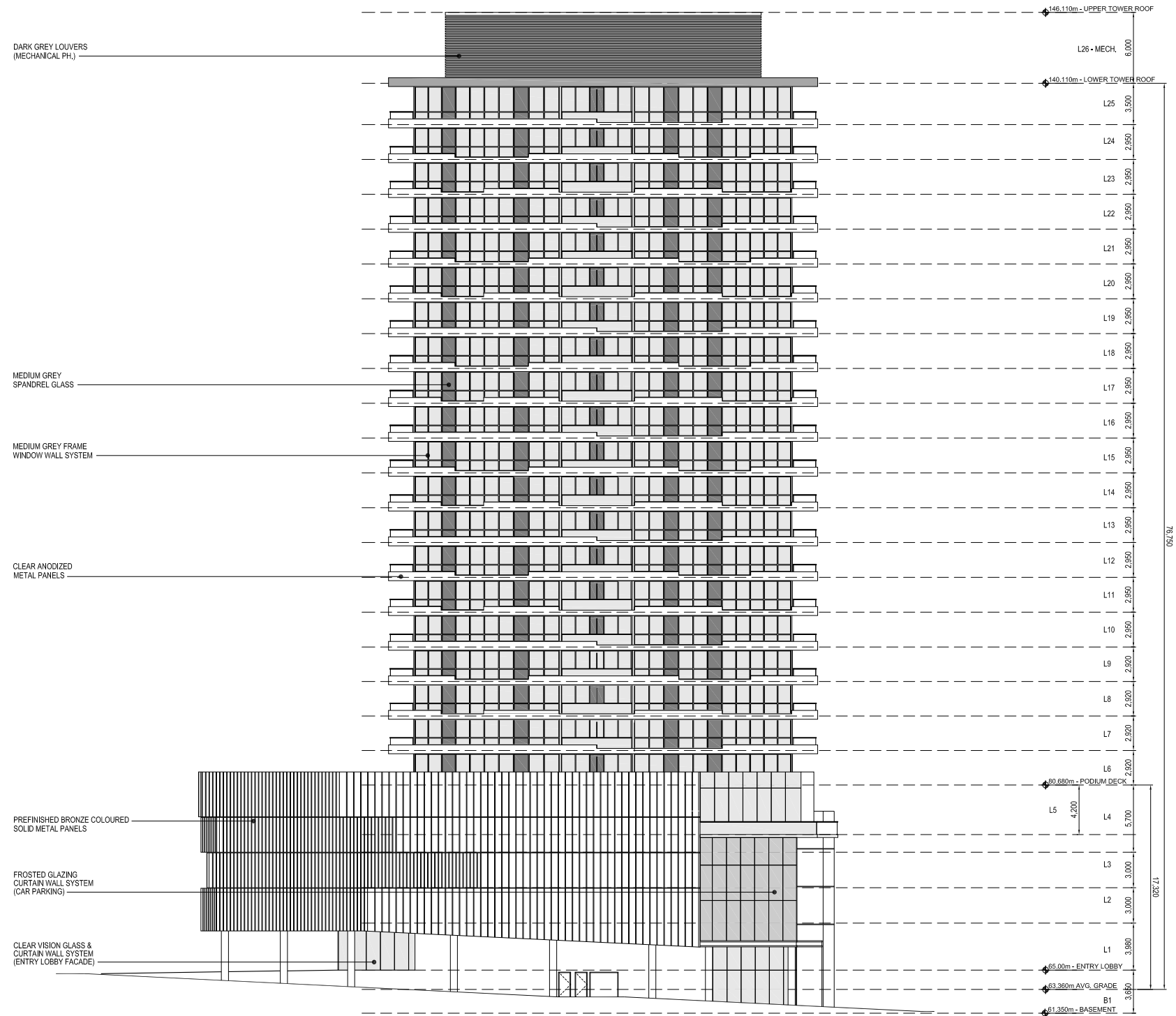
MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

NORTH ELEVATION

XX-SS	project number
2012.08.23	date
1:200 @ ARCH D	scale
	drawn by
	sheet

A4.01



01 EAST ELEVATION
SCALE: 1/200

1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Stop Drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.

4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as "Issued for Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.

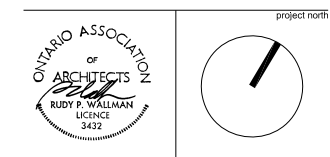
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23



WALLMANARCHITECTS

30 Duncan Street, Suite 202
Toronto, Ontario M5V 2C3
t 416 340 1870
f 416 340 1871
info@wallmanarchitects.com



485 RICHMOND ROAD
OTTAWA, ONTARIO

MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

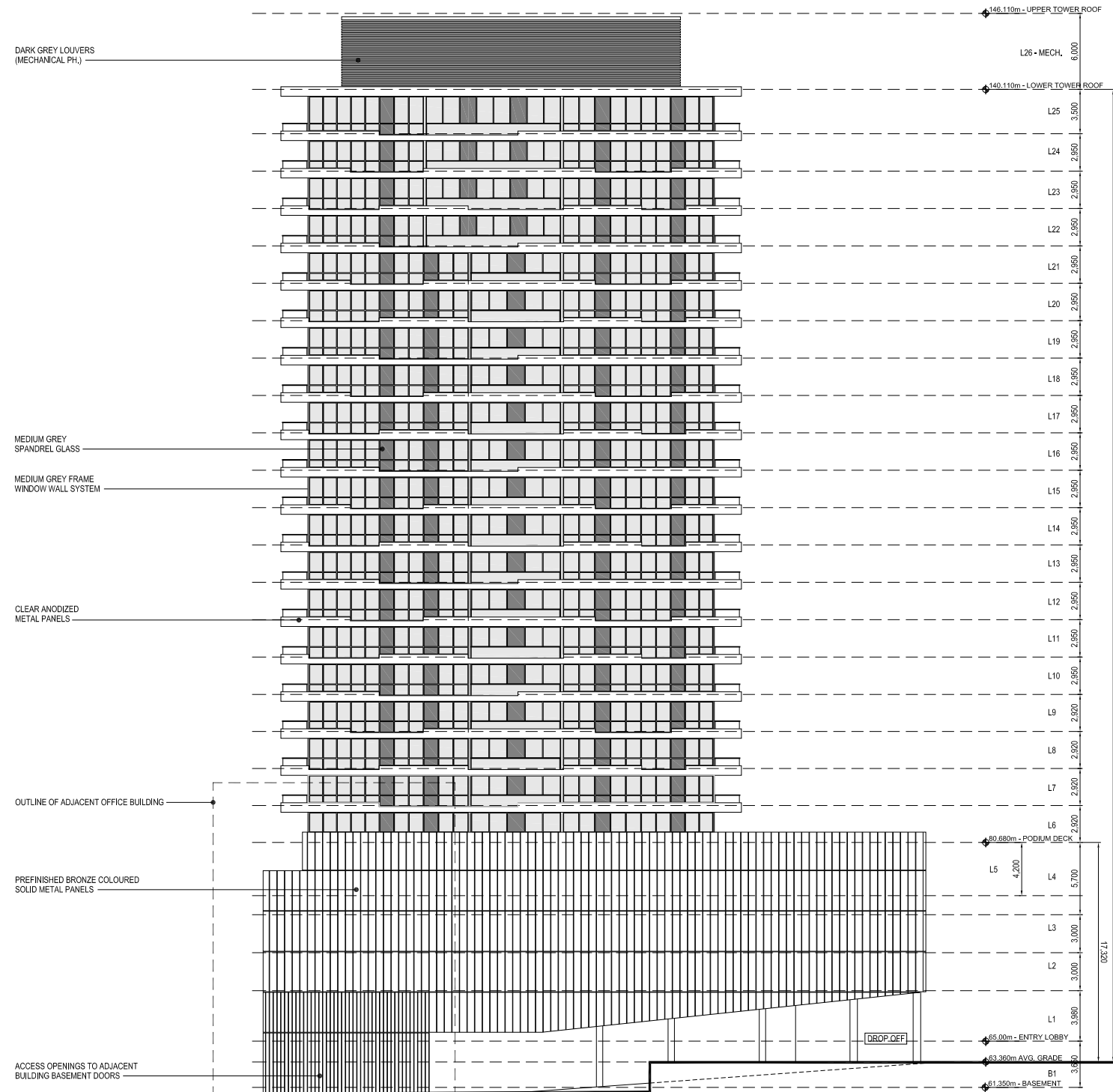
EAST ELEVATION

XX-SS	project number
2012.08.23	date
1:200 @ ARCH D	scale
	drawn by
	sheet

A4.02

1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Stop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date (YYYY MM DD)
01	SITE PLAN APPLICATION	2012.07.27
02	COORDINATION SET	2012.08.10
03	UDRP SUBMISSION	2012.08.23

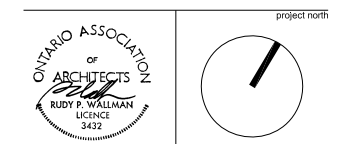


01 WEST ELEVATION
SCALE: 1/200



WALLMANARCHITECTS

30 Duncan Street, Suite 202
Toronto, Ontario M5V 2C3
t 416 340 1870
f 416 340 1871
info@wallmanarchitects.com



485 RICHMOND ROAD
OTTAWA, ONTARIO

MINTO COMMUNITIES INC.

200-180 KENT ST. OTTAWA, ON, K1P 0B6

WEST ELEVATION

project number	date	scale	drawn by	sheet
XX-SS	2012.08.23	1:200 @ ARCH D		

A4.03



24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA



PARKWAY VIEW

WALLMAN ARCHITECTS



24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA

PARKWAY ROAD VIEW



WALLMAN ARCHITECTS



RICHMOND ROAD VIEW



24 STOREY RESIDENTIAL DEVELOPMENT
485 RICHMOND ROAD, OTTAWA



WALLMAN ARCHITECTS