



93 Norman Street UDRP Formal Review May 7th, 2021



# Context





# Views of Site





# Views of Site





# Views from Site





# Views of Site - Interface with Pedestrian Realm





# Nearby Amenities



McCann Park



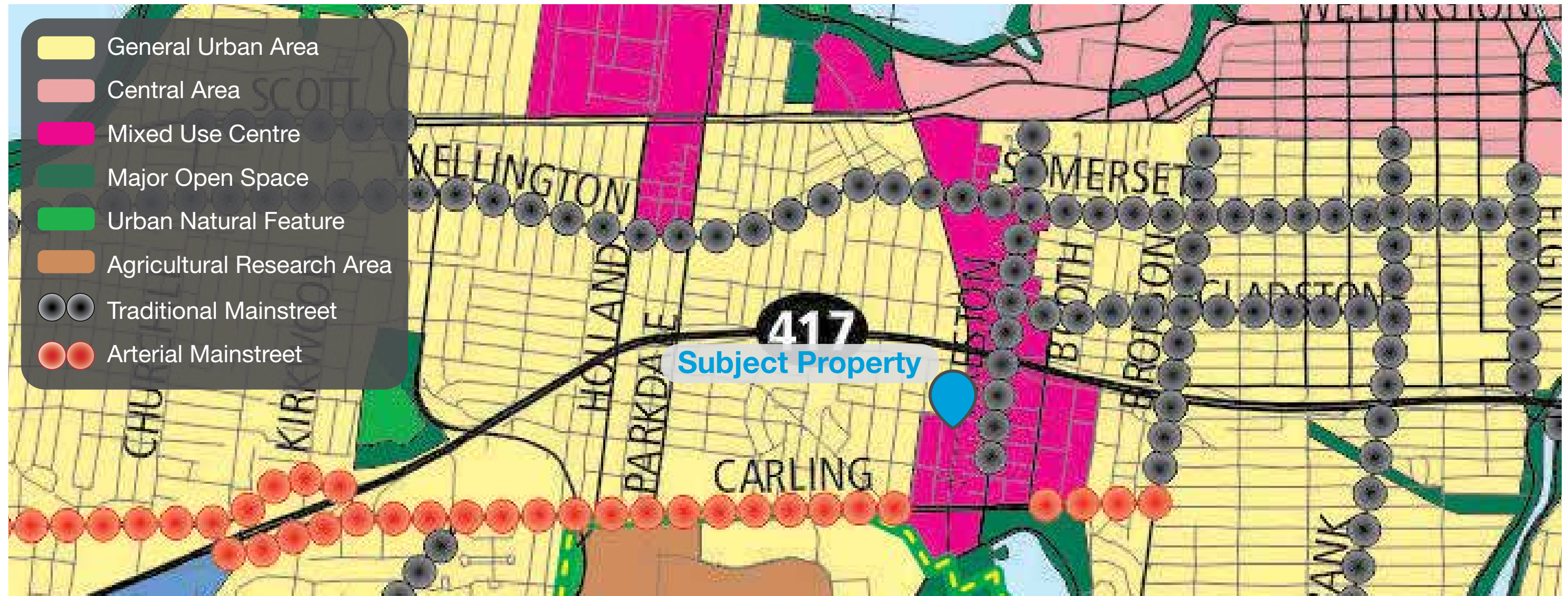
Preston Traditional Mainstreet



Trillium Multi-use Pathway



# Policy Framework



## Official Plan

- / Designated Mixed Use Centre in Schedule B of the Official Plan.
- / Mixed-use, transit supportive intensification encouraged, and a wide range of uses are permitted.
- / Development that increases range of housing options encouraged.



# Policy Framework



## Preston-Carling District Secondary Plan

- / Secondary Plan to guide development of area into downtown district
- / Subject property within “Mixed Use Neighbourhood” Land Use Character Area.
- / Building heights up to nine (9) storeys permitted.
- / Site specific policies set built-form transition - half of the building to be maximum 5 storeys with step-backs.



# Urban Design Guidelines for Transit-Oriented Development



The following select guidelines shaped the proposed development:

- / Redevelops the site with housing at transit-supportive densities (Guideline 1);
- / Provides a transition in scale between the transit line and adjacent lower-intensity community (Guideline 9);
- / Steps back building above the fourth storey to maintain a more human scale along the sidewalk (Guideline 11);
- / Ground floor incorporates front yard living space (in the form of patios), transparent glazing and active resident entrances to create a streetscape that is appealing to pedestrians (Guideline 28); and
- / Provides vehicular parking underground only (Guideline 39).



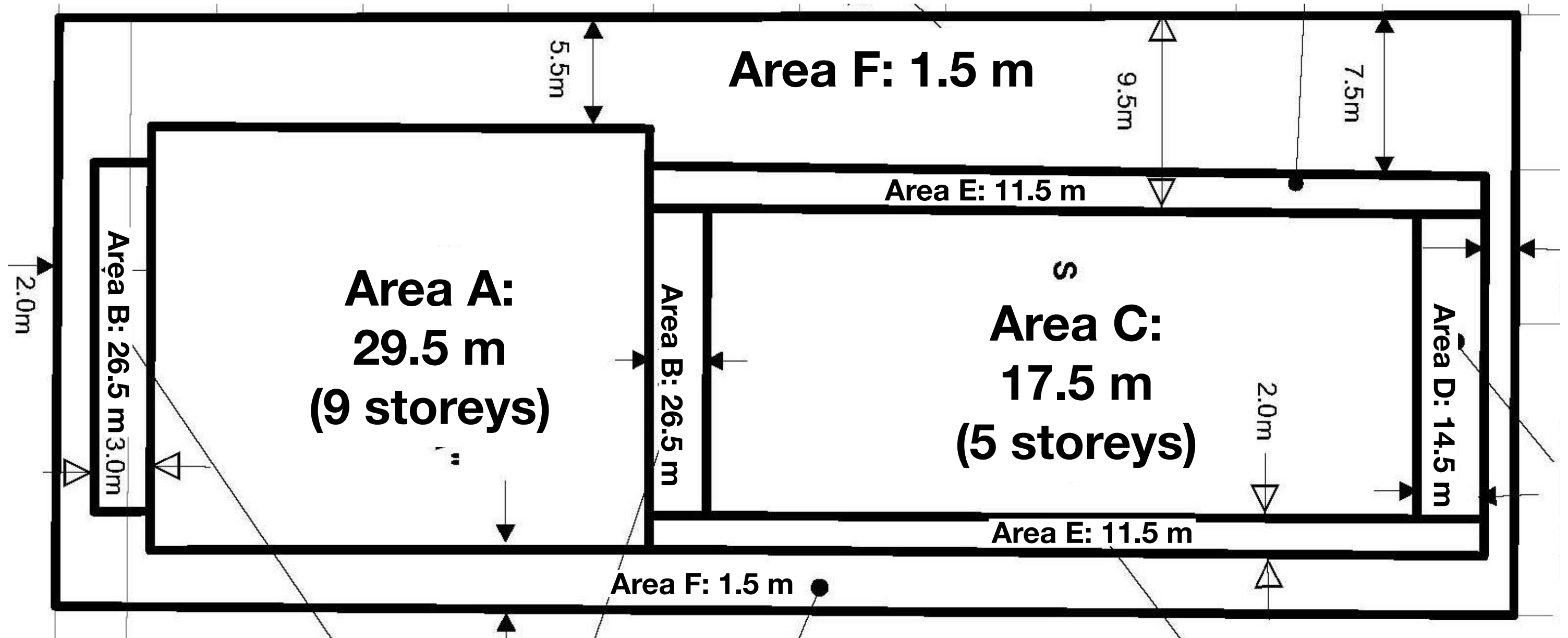
# Zoning By-law



- / Subject property is zoned **Residential Fifth Density** Subzone B, Exception 2147, with a site-specific height schedule 329 (R5B [2147] S329).
- / Intent of zone is to permit wide mix of residential building forms.
- / Built form set out by site-specific schedule.
- / Exception 2147 allows for zero vehicular parking for residents and sets an increased bicycle parking rate of 1 per unit.
- / Exception 2147 also requires direct entrances from ground-floor units.
- / Proposal complies with the zoning.



# Zoning By-law - Site-Specific Schedule







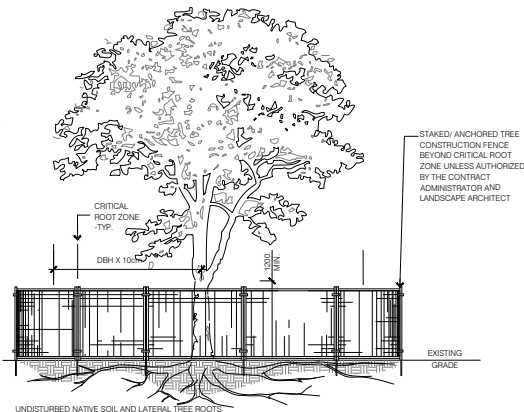
1 EXISTING VEGETATION

1:125

93 NORMAN STREET TREE INVENTORY				
NO.	TREE SPECIES	DBH (cm)	CONDITION	COMMENTS
1	Burr Oak/ Quercus macrocarpa	7	Good	
2	Burr Oak/ Quercus macrocarpa	6	Good	
3	Common Buckthorn/ Rhamnus cathartica	22	Good	
4	Eastern White Cedar/ Thuja occidentalis	11	Good	

NOTES:  
THE FOLLOWING PROTECTION MEASURES MUST BE IMPLEMENTED FOR RETAINED TREES, BOTH WITHIN THE WORK AREA AND ON ADJACENT PARCELS.

- UNDER THE GUIDANCE OF AN ARBORIST, ERECT A MODULAR FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES WHERE THE CRZ IS ESTABLISHED AS BEING 10 CENTIMETERS FROM THE TRUNK FOR EVERY CENTIMETER OF TRUNK DIAMETER AT BREAST HEIGHT.
- TREE PROTECTION SHALL BE ERECTED TO PROVIDE A CONTINUOUS BARRICADE BETWEEN DESIGNATED TREES AND THE WORK AREA PRIOR TO CONSTRUCTION.
- TUNNEL OR SORE WHEN DIGGING WITHIN THE CRZ OF A TREE. ENSURE ALL EQUIPMENT AND CONSTRUCTION RELATED MATERIAL ARE NOT PLACED OR TEMPORARILY STORED WITHIN THE CRZ.
- ENSURE EXHAUST FLAMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREES CANOPY.
- FLOODING OR DEPOSITION OF SEDIMENT SHALL BE PREVENTED WHERE TREES ARE LOCATED.
- ALL DISTURBED ROOT SYSTEMS SHALL BE EXPOSED AND BACKFILLED IN ONE CONTINUOUS OPERATION TO MINIMIZE DESICCATION.
- EXPOSED ROOTS SHALL BE KEPT CONTINUOUSLY MOIST DURING EXCAVATION.
- REMOVE BROKEN AND DAMAGED ROOTS WITH SHARP PRUNING SHEARS.
- THE TREE PROTECTION MODULAR FENCE IS TEMPORARY. SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OPERATIONS, AND SHALL BE REMOVED UPON COMPLETION OF WORK WHEN AGREED TO BY THE CONTRACT ADMINISTRATOR AND LANDSCAPE ARCHITECT.



2 TREE PROTECTION FENCE

1:50



- L-TP1 GENERAL NOTES**
- All general site information and conditions compiled from architect's and engineer's plans and surveys.
  - Do not scale this drawing.
  - Report any discrepancies prior to commencing work. No responsibility is born by the Landscape Architect for unknown subsurface conditions.
  - Reinstate all areas and items damaged as a result of construction activities to the satisfaction of the Landscape Architect.
  - Drawing may not be used for construction until signed by Landscape Architect as issued for construction.
  - The accuracy of the position of utilities is not guaranteed.
  - Individual utility co. must be contacted for confirmation of utility existence and location prior to digging.
  - This drawing is an instrument of service and requires the permission of the Landscape Architect for use. Copyright is reserved by the Landscape Architect, David M. Lashley.

- LEGEND:**
- PROPERTY LINE
  - EXISTING FENCE
  - TREE PROTECTION FENCE
  - EXISTING CONIFEROUS TREES TO BE REMAIN
  - EXISTING DECIDUOUS TREES TO BE REMAIN

NO.	DATE	DESCRIPTION
1	2021/03/03	ISSUED FOR SPA

**NO. DATE DESCRIPTION**

**SEAL:** OMA (Ontario Municipal Association)

**NORTH:** [North arrow symbol]

**LASHLEY ASSOCIATES**

LANDSCAPE ARCHITECTS

**CONSULTANT:**

**TAMARACK**  
TAMARACKHOMES.COM

**PROJECT:**

**RESIDENTIAL APARTMENTS**  
93 NORMAN STREET  
OTTAWA, ONTARIO

**DRAWING TITLE:**

**EXISTING CONDITIONS AND REMOVALS PLAN**

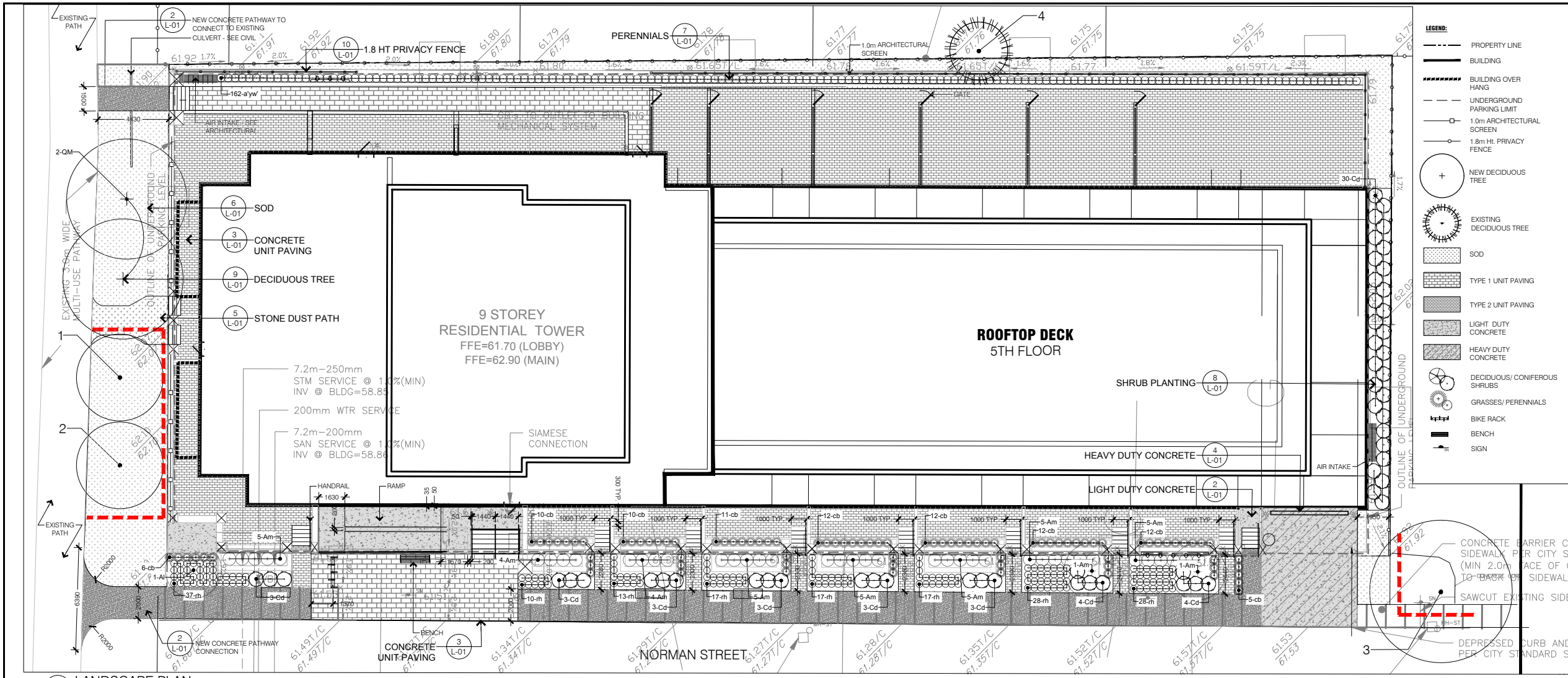
**DATE:** 2021/03/03 **DRAWING NO.:**

**SCALE:** AS NOTED

**DRAWN BY:** RP/EL **L-TP1**

**LA PROJECT NO.:** 21790-1





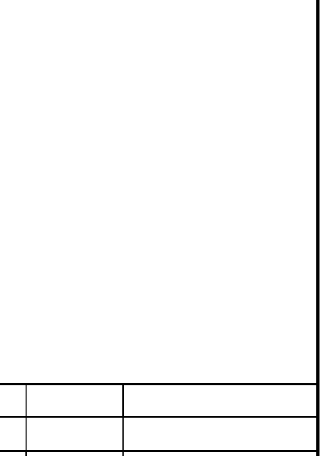
**L-01 GENERAL NOTES**

- All general site information and conditions compiled from architect's and engineer's plans and surveys.
- Do not scale this drawing.
- Report any discrepancies prior to commencing work. No responsibility is born by the Landscape Architect for unknown subsurface conditions.
- Reinstate all areas and items damaged as a result of construction activities to the satisfaction of the Landscape Architect.
- Drawing may not be used for construction until signed by Landscape Architect as issued for construction.
- The accuracy of the position of utilities is not guaranteed.
- Individual utility co. must be contacted for confirmation of utility existence and location prior to digging.
- This drawing is an instrument of service and requires the permission of the Landscape Architect for use. Copyright is reserved by the Landscape Architect, David M. Lashley.

**L-01 LANDSCAPE NOTES**

- Plant material shall be No. 1 Grade and shall comply with the Metric Guide Specifications for Nursery stock (latest edition), published by Canadian Nursery Trades Association.
- Plant substitutions shall not be permitted unless approved by the Landscape Architect.
- Obtain approval of planting prior to digging.
- Topsoil shall be garden soil mixture sandy loam with min. 5% organic matter and peat moss added at ratio of 1:10, topsoil to be approved by Landscape Architect.

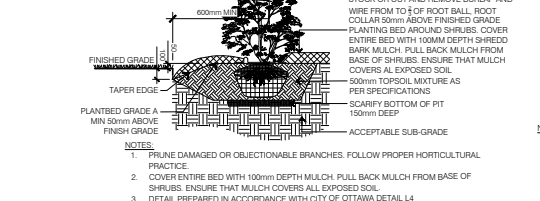
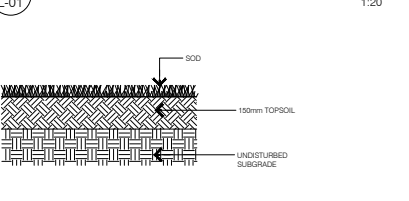
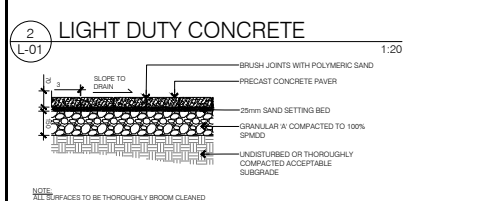
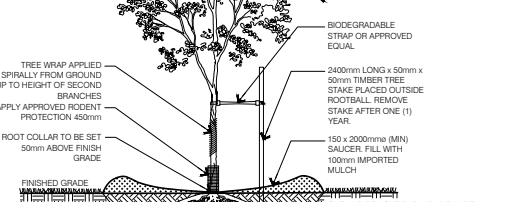
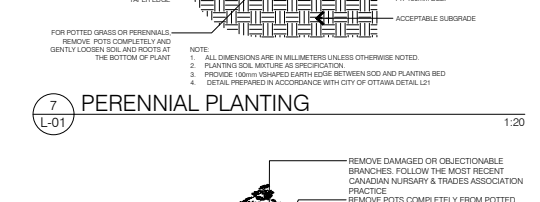
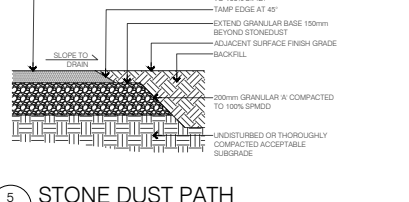
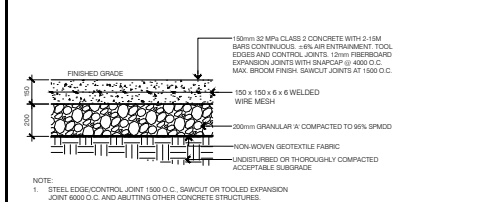
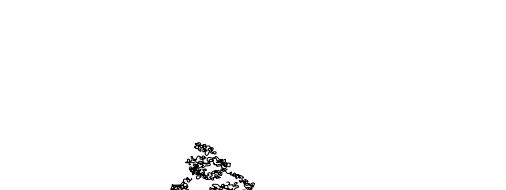
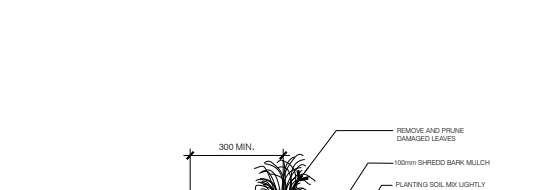
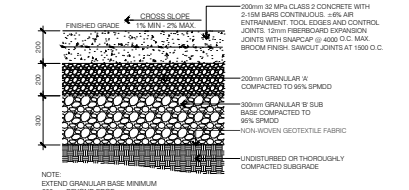
- LEGEND:**
- PROPERTY LINE
  - BUILDING
  - BUILDING OVER HANG
  - UNDERGROUND PARKING LIMIT
  - 1.0m ARCHITECTURAL SCREEN
  - 1.8m HT. PRIVACY FENCE
  - NEW DECIDUOUS TREE
  - EXISTING DECIDUOUS TREE
  - SOD
  - TYPE 1 UNIT PAVING
  - TYPE 2 UNIT PAVING
  - LIGHT DUTY CONCRETE
  - HEAVY DUTY CONCRETE
  - DECIDUOUS/ CONIFEROUS SHRUBS
  - GRASSES/ PERENNIALS
  - BIKE RACK
  - BENCH
  - SIGN



1 LANDSCAPE PLAN

**GENERAL PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
<b>DECIDUOUS TREES</b>					
Qm	2	Quercus macrocarpa	Burr Oak	50mm CAL.	W.B.
<b>SHRUBS</b>					
Al	3	Amelanchier laevis	Allegheny Sevensy	7 GAL.	CLUMP
Am	40	Aronia melanocarpa	Black Chokeberry	1 GAL.	POTTED
Cd	55	Cotoneaster dammeri	Bearberry Cotoneaster	1 GAL.	POTTED
<b>GRASSES</b>					
cb	130	Calamagrostis brachylocha	Autum Feather Reed Grass	1 GAL.	POTTED
<b>PERENNIALS</b>					
swy	142	Astilbe x Youtique White	Youtique White Astilbe	1 GAL.	POTTED
rh	167	Rubackia hata	Black-Eyed Susan	1 GAL.	POTTED



2 LIGHT DUTY CONCRETE

3 UNIT PAVING

4 HEAVY DUTY CONCRETE

5 STONE DUST PATH

6 SOD

NO.	DATE	DESCRIPTION
2	2021/03/03	ISSUED FOR SPA
1	2021/02/11	ISSUED FOR COORDINATION

**CONSULTANT:**

**LASHLEY ASSOCIATES**

**TAMARACK TAMARACKHOMES.COM**

**PROJECT:**

**RESIDENTIAL APARTMENTS**  
93 NORMAN STREET  
OTTAWA, ONTARIO

**DRAWING TITLE:**

**LANDSCAPE PLAN**

**DATE:** 2021/03/03 **DRAWING NO.:**

**SCALE:** AS NOTED **DRAWN BY:** RPEL

**LA PROJECT NO.:** 21790-1 **L-01**



CLIENT  
**TAMARACK HOMES**

3187 ALBION ROAD SOUTH

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ISSUES	No.	DESCRIPTION	DATE
	1	ISSUED FOR CITY REVIEW	2021-03-05

**NOT FOR CONSTRUCTION**



**CONSULTANTS**

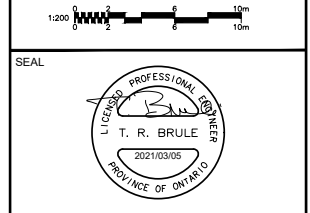
Project Coordinator  
Tamarack Homes

Architect  
RLA Architecture

Landscaper  
Lashley + Associates

Surveyor  
Stantec Geomatics Ltd.

Geotech  
Paterson Group



**IBI GROUP**  
Suite 400 - 333 Preston Street  
Ottawa ON K1S 5N4 Canada  
Tel 613 225 1311 / 613 241 3300 Fax 613 225 9888  
ibigroup.com

**PROJECT**  
93 NORMAN STREET

PROJECT NO:  
132469

DRAWN BY:  
D.D.

CHECKED BY:  
J.B.

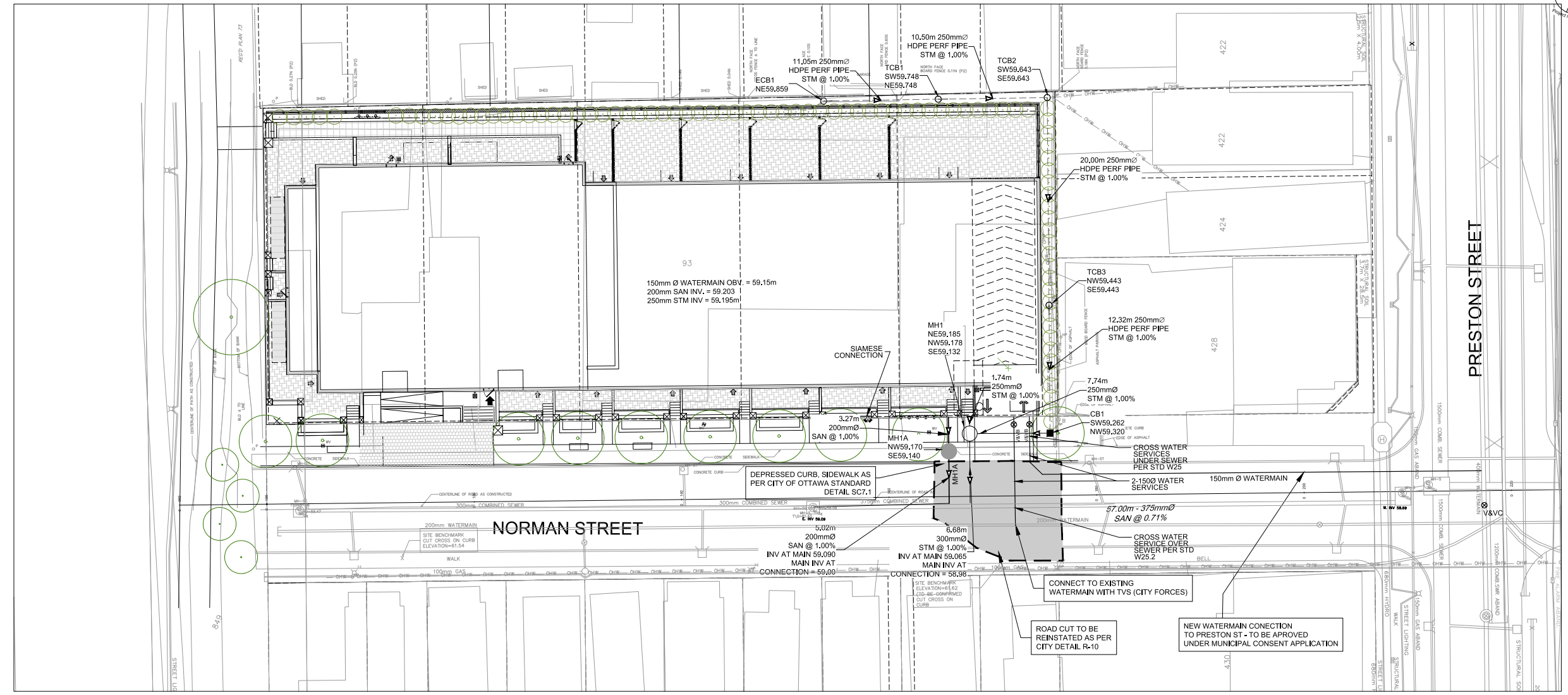
PROJECT MGR:  
T.R.B.

APPROVED BY:  
T.R.B.

SHEET TITLE  
**GENERAL PLAN OF SERVICES**

SHEET NUMBER  
**C-001**

ISSUE  
**1**



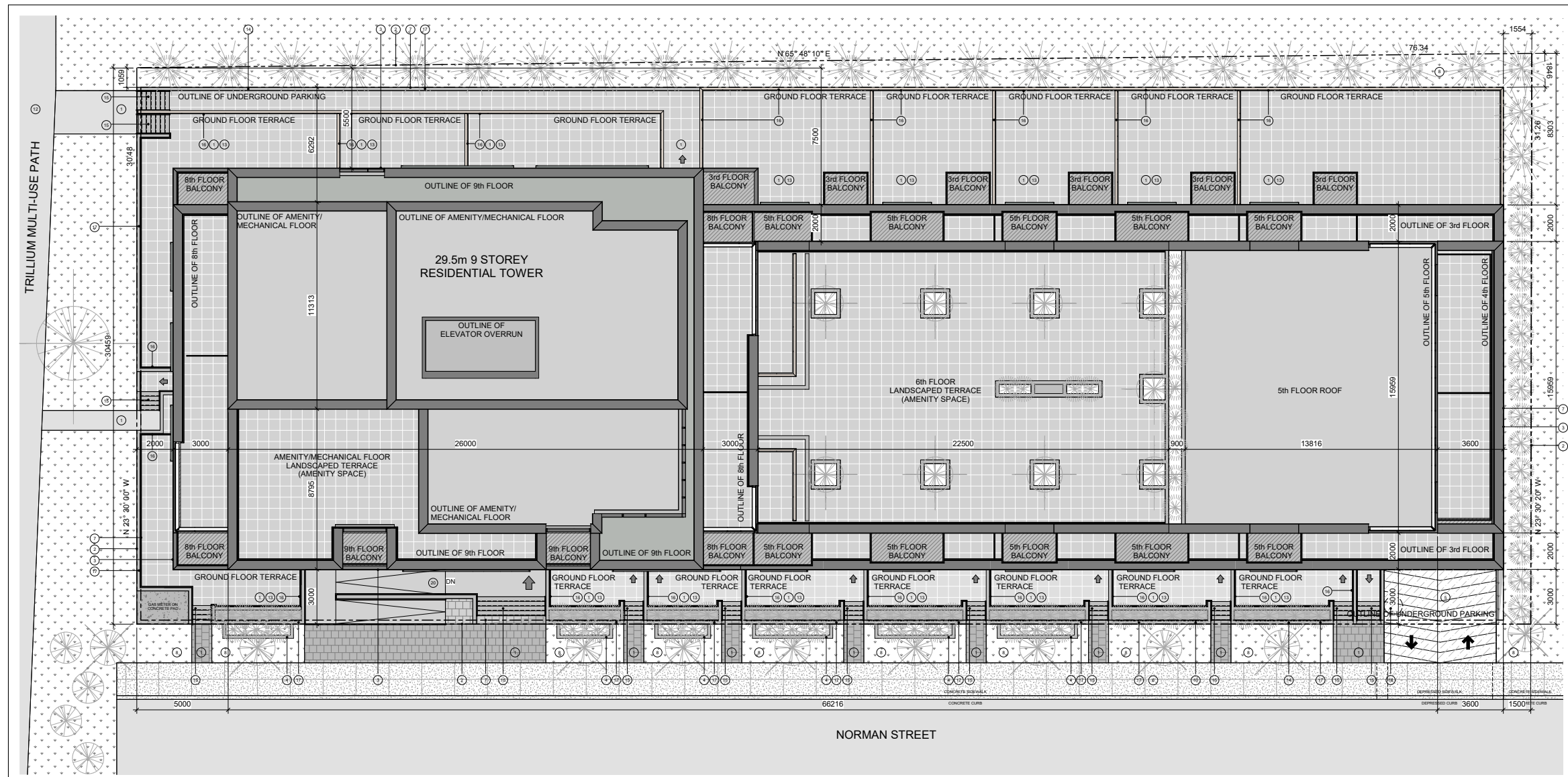
LEGEND	
---	PROPERTY LINE
---	FUTURE WIDENING
F.F. = 80.50	FINISHED FLOOR ELEVATION
DC	PROPOSED DEPRESSED CURB
M	WATER METER (SEE MECH. DRWG. FOR EXACT LOCATION)
RM	REMOTE WATER METER (SEE MECH. DRWG. FOR EXACT LOCATION)
△	SIAMSE CONNECTIONS (SEE MECH. DRWG. FOR EXACT LOCATION)
□	PROPOSED GAS SERVICE
---	EXISTING UNDERGROUND HYDRO
○/H	EXISTING OVERHEAD HYDRO
○ HMH	EXISTING HYDRO MANHOLE
○ HP	EXISTING HYDRO AND LIGHT POLE
---	EXISTING GAS MAIN
---	EXISTING BELL
○ BMH	EXISTING BELL MANHOLE
○ TMH	EXISTING TRAFFIC MANHOLE
○ HP	EXISTING TRAFFIC LIGHT
---	PROPOSED RETAINING WALL
---	EXISTING TRAFFIC SIGN
□ CB	EXISTING CATCH BASIN
● AD1	PROPOSED AREA DRAIN
○ MH	EXISTING COMBINED MANHOLE
300Ø COMBINED	EXISTING COMBINED SEWER
200Ø STORM	PROPOSED STORM SEWER
400Ø WATERMAIN	EXISTING WATERMAIN
200Ø SANITARY	PROPOSED SANITARY SEWER
150Ø WATERMAIN	PROPOSED WATERMAIN
150V&VB	PROPOSED VALVE AND VALVE BOX
400V&VC	PROPOSED VALVE AND VALVE CHAMBER
○ HYD	EXISTING FIRE HYDRANT
--- SN	EXISTING SIGN
○	EXISTING WATER VALVE
○ LS	EXISTING WATER SERVICE STANDPOST
○ LS	EXISTING VALVE BOX
---	PROPOSED LIMITS OF UNDERGROUND PARKING

**NOTES:**

- ALL WORKS TO BE COMPLETED AS PER CURRENT CITY OF OTTAWA STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
- SEWER LATERALS TO BE PVC DR 35.
- WATER SERVICES TO BE PVC, DR 18 CL150. MINIMUM COVER OF 2.4m FOR WATER SERVICE IS REQUIRED, USE THERMAL INSULATION AS PER CITY STANDARDS WHEN COVER IS LESS THAN 2.4m.
- ALL SERVICE LATERAL AND SURFACE RESTORATION WORK IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
- FULL PORT BACKWATER VALVE IS REQUIRED ON BOTH THE SANITARY AND STORM WATER CONNECTIONS.
- WATER SERVICE CHLORINATION AND TESTING TO BE COMPLETED BY CITY FORCES.
- PROPOSED BUILDING INFORMATION TAKEN FROM RLA ARCHITECTS DRAWINGS.
- AN EROSION AND SEDIMENTATION CONTROL PLAN WILL BE IMPLEMENTED ON THIS SITE. AS A MINIMUM THAT PLAN WILL INCLUDE A LIGHT DUTY SILT FENCE BARRIER TO OPD STANDARD 219.110 SURROUNDING THE SITE WHERE PRACTICAL AND SILT SACKS FITTED UNDER EXISTING STREET CATCH BASINS.
- ALL SHOWN UTILITIES ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY CONTRACTOR, ANY DISCREPANCIES ARE TO BE REPORTED TO IBI GROUP PRIOR TO CONTRACTOR MOBILIZING TO SITE.
- CONTRACTOR RESPONSIBLE TO SUPPORT EXISTING UTILITIES THAT MAY BE AFFECTED DURING CONSTRUCTION
- EXISTING CURBS AND SIDEWALKS ARE TO BE REMOVED AND REPLACED AS NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATER COURSE, DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL, USING FILTER CLOTH UNDER THE GRATES OF CATCHBASINS AND MANHOLES AND INSTALLING SILT FENCES AND EFFECTIVE SEDIMENT TRAPS. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCIES.
- FOR GEOTECHNICAL INFORMATION SEE REPORT PG2760-1 BY PATERSON GROUP
- CLAY SEAL TO BE INSTALLED IN SERVICE TRENCHES BETWEEN CONNECTION POINT AND CAP.

CITY FILE NO. D07-XX-XX-XXXX





2 SITE PLAN  
A001 1:100

PERFORMANCE STANDARDS		REQUIRED	PROPOSED
BEYONDING HEIGHT	23.0m MIN.	23.0m	23.0m
FRONT YARD SETBACK	3.0m MIN.	3.0m	3.0m
WEST SIDE YARD SETBACK	2.0m MIN.	2.0m	2.0m
REAR YARD SETBACK (TOWER)	3.0m MIN.	3.0m	3.0m
REAR YARD SETBACK (PARKING)	0.9m MIN.	1.0m	1.0m
EAST SIDE YARD SETBACK	1.5m MIN.	1.5m	1.5m
LANDSCAPED AREA (30%)	224.7m <sup>2</sup> MIN.	336.2m <sup>2</sup>	336.2m <sup>2</sup>
AMENITY SPACE	8 m <sup>2</sup> x 122 UNITS	172m <sup>2</sup>	172m <sup>2</sup>
50% FOR COMMUNAL SPACE BREAKDOWN	513 m <sup>2</sup> MIN.	717 m <sup>2</sup>	717 m <sup>2</sup>
AMENITY	173 m <sup>2</sup>		
EXTERIOR TERRACE	447 m <sup>2</sup>		
LOBBY	77 m <sup>2</sup>		
PRIVATE BALCONY	488 m <sup>2</sup>		
PRIVATE TERRACE	514 m <sup>2</sup>		
VEHICULAR PARKING SPACES			
10 VISITOR	10		
XX RESI.	78		
XX NON RESI.			
ACCESSIBLE VEHICULAR PARKING SPACES (BY-LAW NO. 2017-301 CJ)	XX MIN.	1	
BIKE PARKING SPACES (0.5 x 122 UNITS (RESIDENTIAL))	61 MIN.	140	
DRIVE AISLE WIDTH	0.9m MIN.	0.9m	
LOADING SPACES	0 MIN.	0	
STORAGE LOCKERS	XX MIN.	80	

GROSS FLOOR AREAS (CITY OF OTTAWA ZONING BY-LAW DEFINITION)	
PARKING LEVELS	0 m <sup>2</sup> [0 FT]
GROUND FLOOR	1056 m <sup>2</sup> [11365 SF]
2ND FLOOR	1238 m <sup>2</sup> [13388 SF]
3RD FLOOR	1286 m <sup>2</sup> [13842 SF]
4TH FLOOR	1143 m <sup>2</sup> [12303 SF]
5TH FLOOR	1056 m <sup>2</sup> [11365 SF]
6TH FLOOR	958 m <sup>2</sup> [10305 SF]
7TH - 8TH FLOOR	1143 m <sup>2</sup> [12303 SF]
9TH FLOOR	663 m <sup>2</sup> [7138 SF]
MECHANICAL/AMENITY PH	0 m <sup>2</sup> [0 FT]
TOTAL	8639 m <sup>2</sup> [92632 SF]

CONSTRUCTION AREA	
P2 PARKING	2177 m <sup>2</sup> [23430 SF]
PT PARKING	2177 m <sup>2</sup> [23430 SF]
T1 GROUND FLOOR	1426 m <sup>2</sup> [15388 SF]
2ND FLOOR	1426 m <sup>2</sup> [15388 SF]
3RD FLOOR	1485 m <sup>2</sup> [16033 SF]
4TH FLOOR	1314 m <sup>2</sup> [14147 SF]
5TH FLOOR	1287 m <sup>2</sup> [13928 SF]
6TH FLOOR	663 m <sup>2</sup> [7138 SF]
7TH/8TH FLOOR	1726 m <sup>2</sup> [18570 SF]
9TH FLOOR	363 m <sup>2</sup> [3904 SF]
MECHANICAL PH	373 m <sup>2</sup> [4004 SF]
TOTAL (ABOVE GRADE)	9950 m <sup>2</sup> [107104 SF]

LEGAL DESCRIPTION:	
LOTS 103, 104, 105, 106, 107 REGISTERED PLAN 38 CITY OF OTTAWA MUNICIPALITY OF OTTAWA-CARLETON	
STANTEC GEOMATICS LTD.	
PROJECT DEVELOPER:	
TAMARACK HOMES 1187 ALBION ROAD SOUTH OTTAWA, ONTARIO K1V 8Y3 (613) 521-3000 tmar@tmar.ca	
URBAN PLANNER:	
FOTEN 396 COOPER ST. SUITE 300 OTTAWA, ONTARIO K1P 2H7 (613) 730-5709 fot@foten.com	
CIVIL ENGINEER:	
IBI GROUP 333 PRESTON ST. UNIT 400 OTTAWA, ONTARIO K1S 5N4 (613) 225-1311 ibid@ibigroup.com	
LANDSCAPE ARCHITECT:	
LASHLEY + ASSOCIATES 860 GLAUKSTONE AVE. SUITE 202 OTTAWA, ONTARIO K1Y 3E6 (613) 233-8579 lpa@lashley.ca	
SURVEYOR:	
STANTEC GEOMATICS LTD. 1331 CLYDE AVE. SUITE 400 OTTAWA, ONTARIO K2C 3G4 (613) 722-4420	

SITE PLAN SYMBOLS:	
---	PROPERTY LINE
---	OUTLINE OF UNDERGROUND PARKING
---	NEW CONCRETE SIDEWALK
---	EXISTING CONCRETE SIDEWALK
---	NEW CONCRETE UNIT PAVERS
---	EXISTING CONCRETE UNIT PAVERS
---	NEW ASPHALT DRIVING SURFACE
---	EXISTING ASPHALT DRIVING SURFACE
---	SAWCUT ASPHALT
---	NEW CONCRETE PAD
---	EXTERIOR ROOFTOP TERRACE
---	SOFT LANDSCAPING
---	EXTENT OF ROOF PROJECTION
---	TWO WAY VEHICLE CIRCULATION
---	MAN ENTRANCE
---	COMMERCIAL ENTRANCE / FIRE EXIT
---	EXTERIOR BICYCLE PARKING SPOT WITH BOLLARD STYLE BIKE RACK

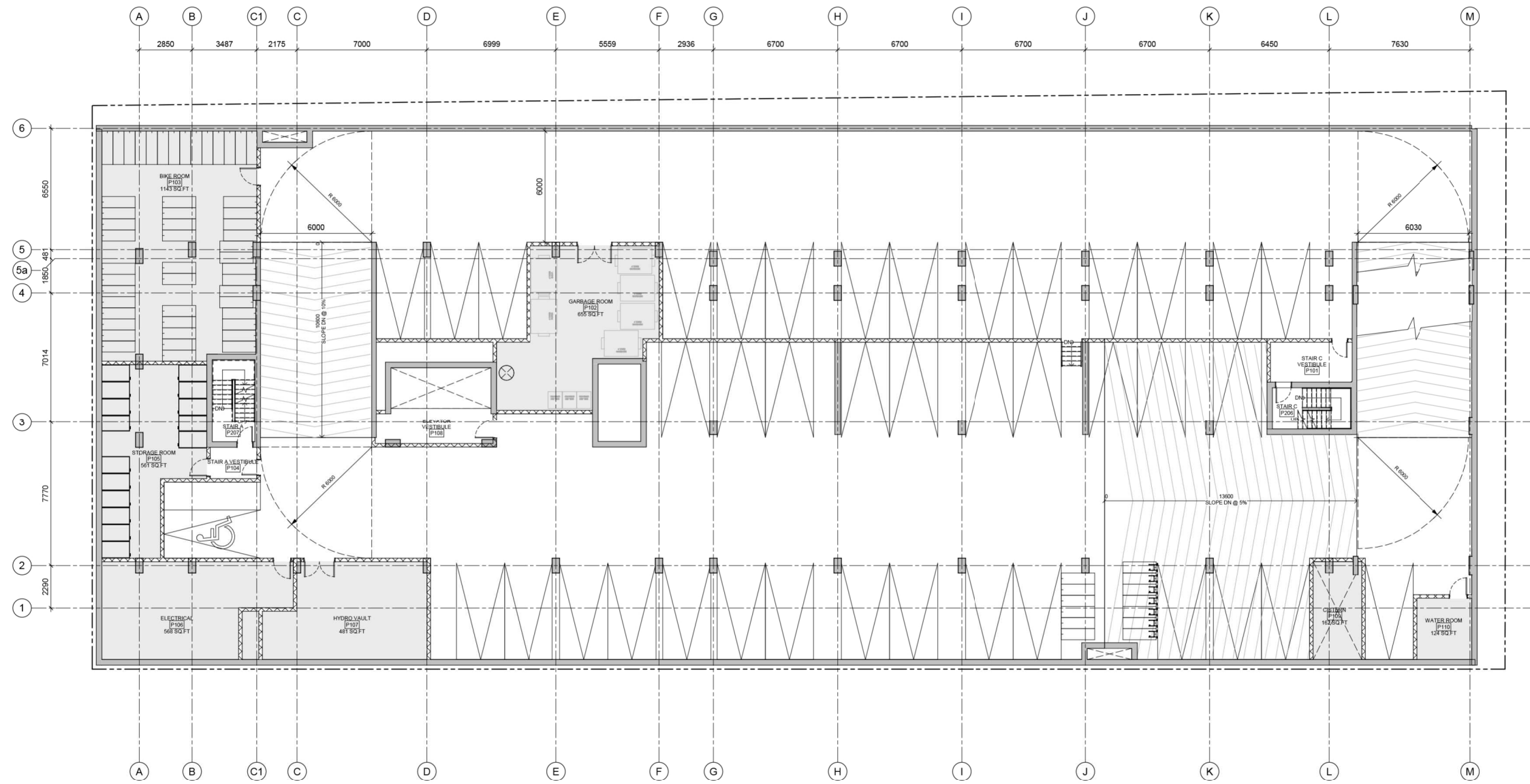
DRAWING NOTES:	
1	HARD SURFACE PAVING. SEE LANDSCAPE PLAN
2	PROPERTY LINE
3	BUILDING SETBACKS
4	LOW PLANTER WALL
5	VEHICLE ENTRANCE RAMP WITH TRENCH DRAIN TO UG PARKING GARAGE
6	REPLACE CITY SIDEWALK & CURB WITH NEW 2.0 METRE WIDE SIDEWALK & CURB, TO CITY STANDARDS
7	OUTLINE OF UNDERGROUND PARKING LEVELS
8	SOFT LANDSCAPING. SEE LANDSCAPE PLAN
9	RESERVED.
10	RESERVED.
11	SIAMESE CONNECTION
12	RESERVED.
13	EXISTING ASPHALT RECREATION PATH
14	PRIVATE TERRACES FOR GROUND FLOOR UNITS
15	AIR INTAKE/EXHAUST GRILL
16	CONCRETE STEPS
17	PRIVATE SCREEN
18	EDGE OF RAISED LANDSCAPED PATIO
19	MANHOLE COVER
20	GATE
21	BARRIER-FREE RAMP



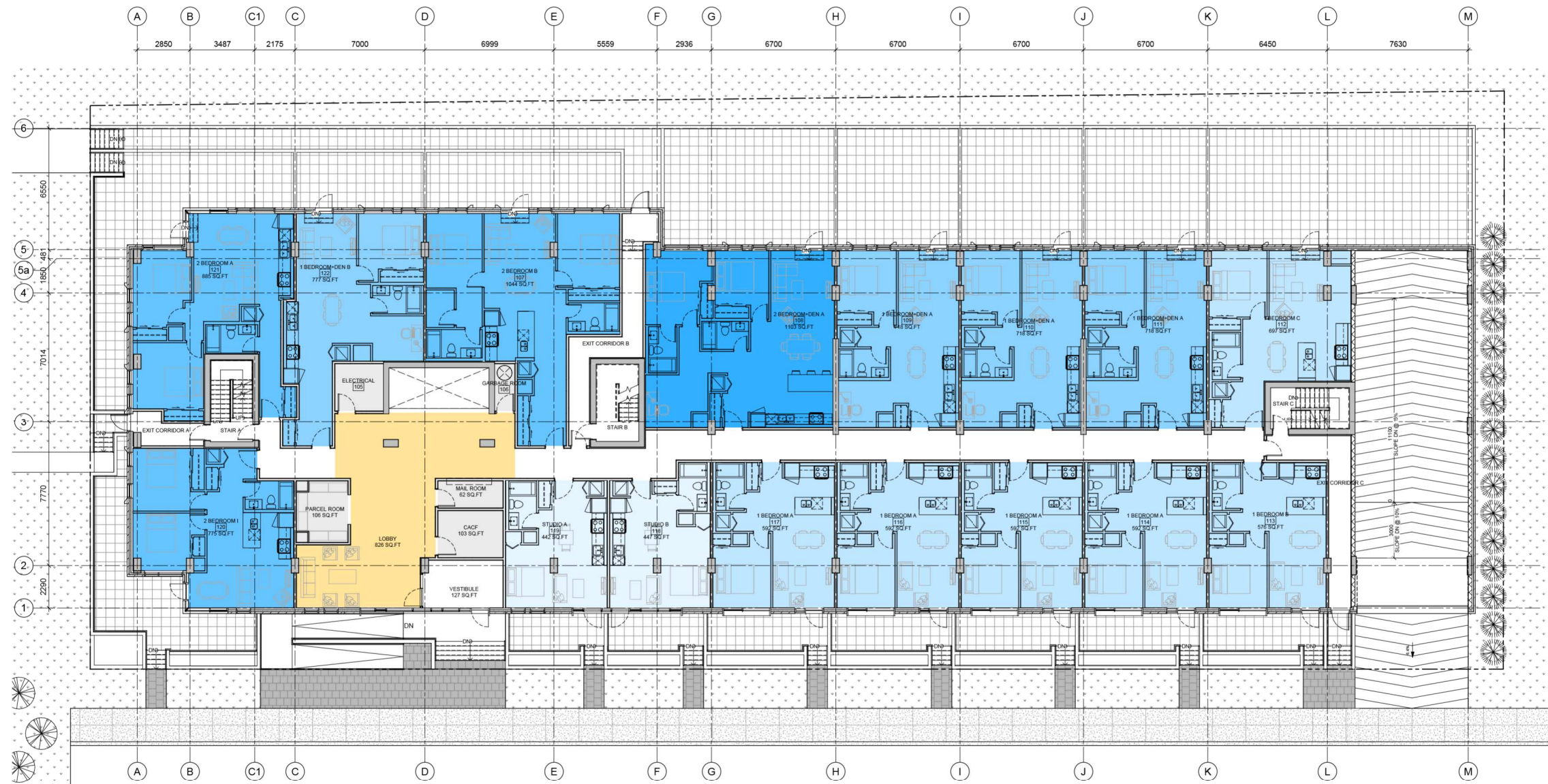




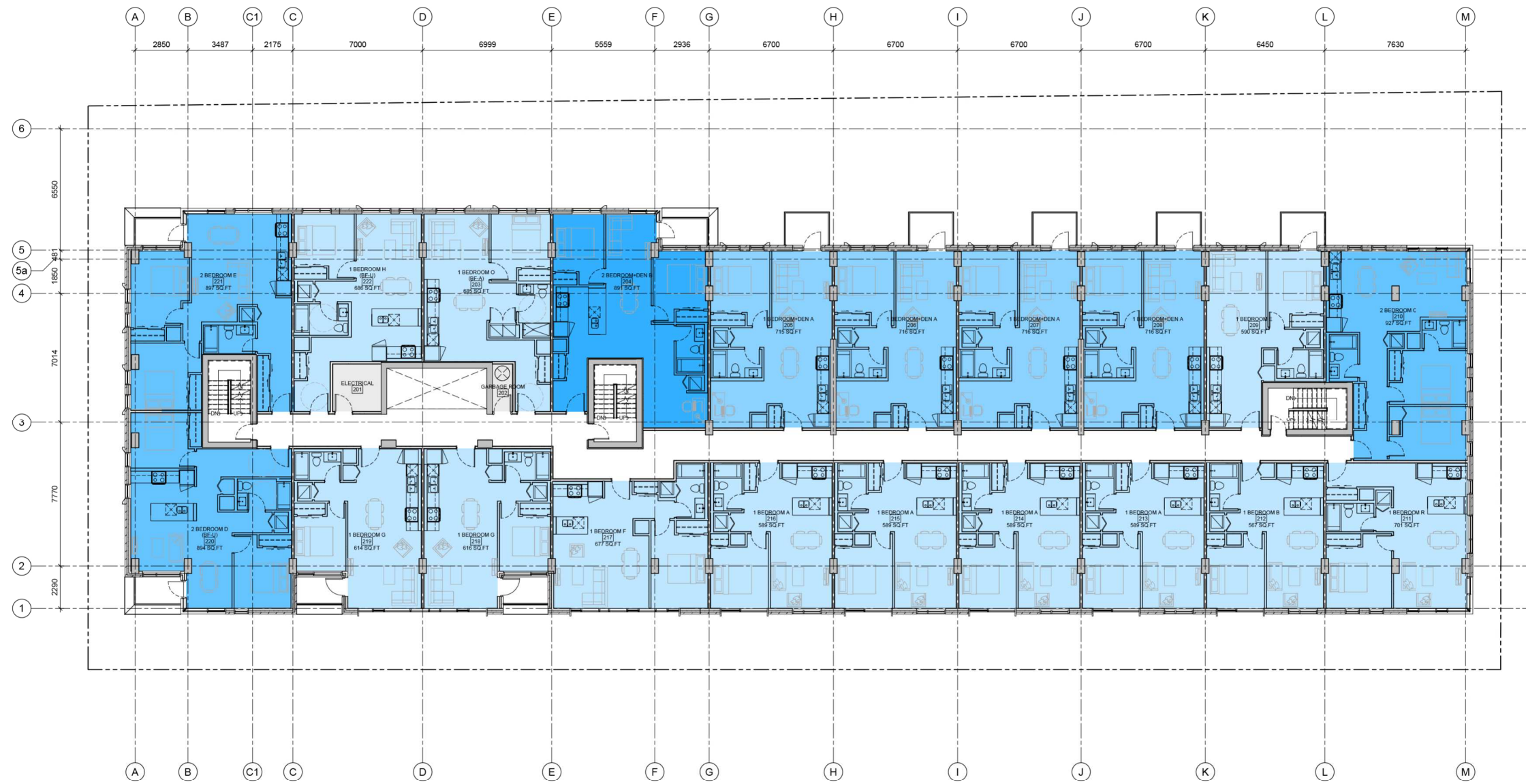












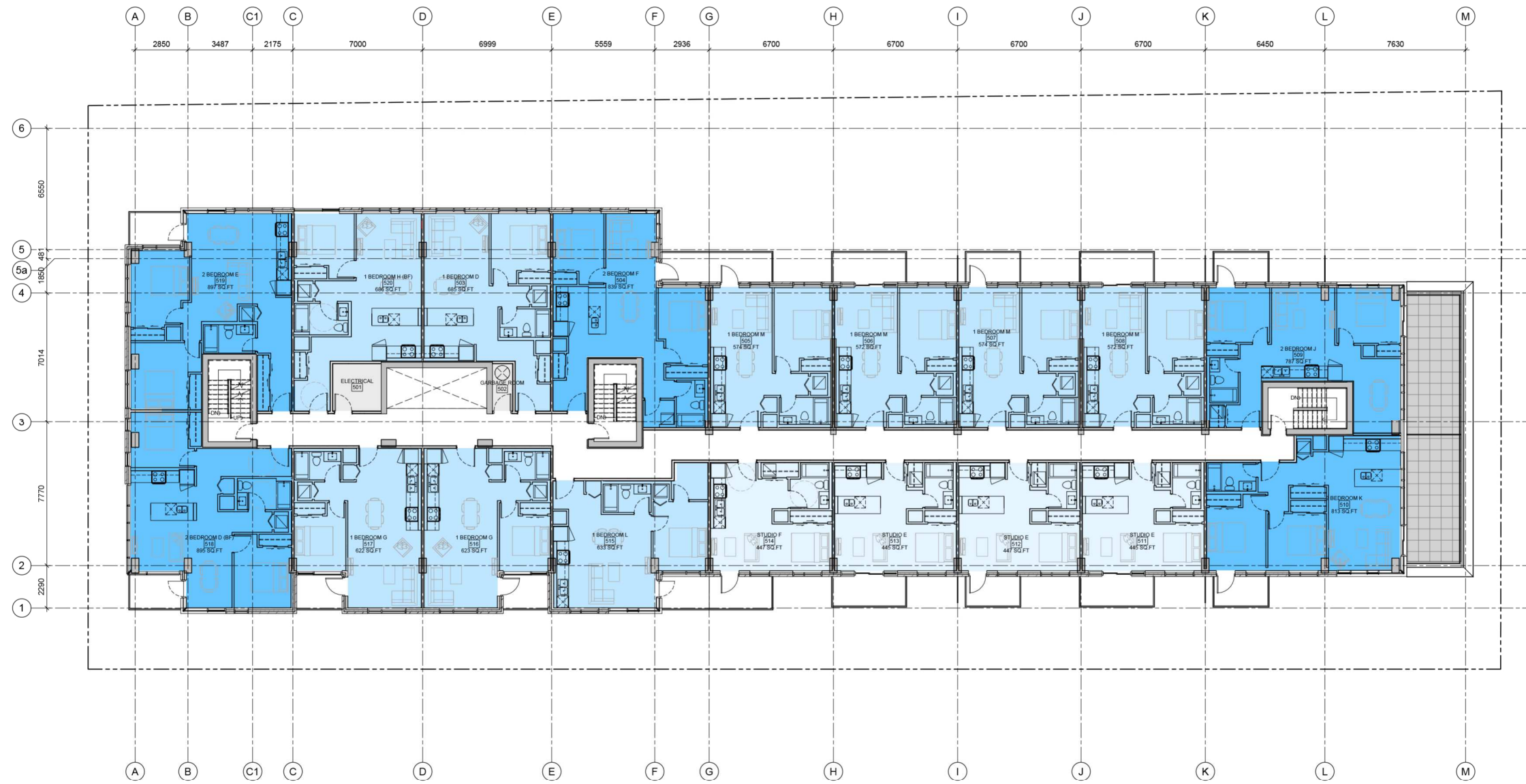




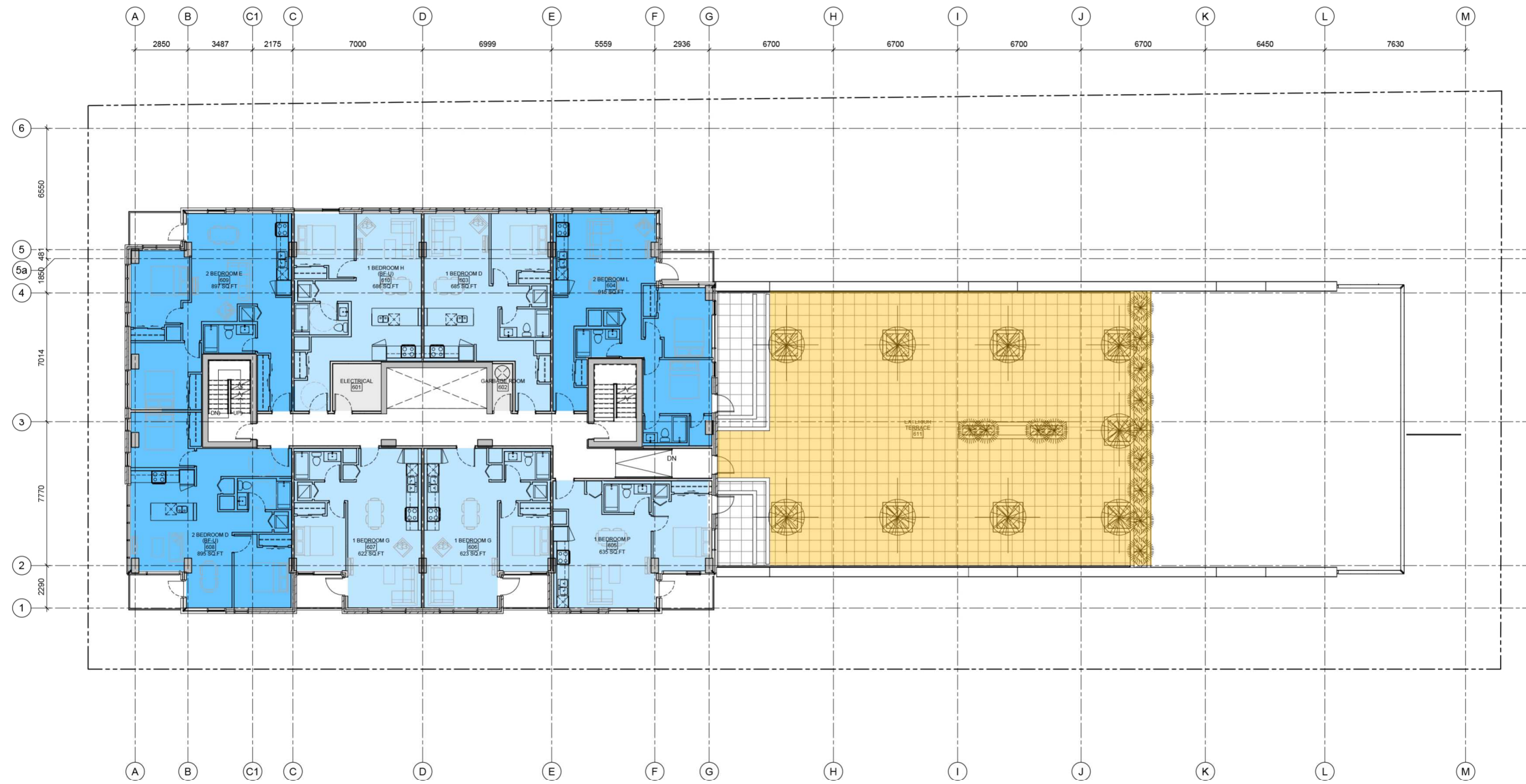




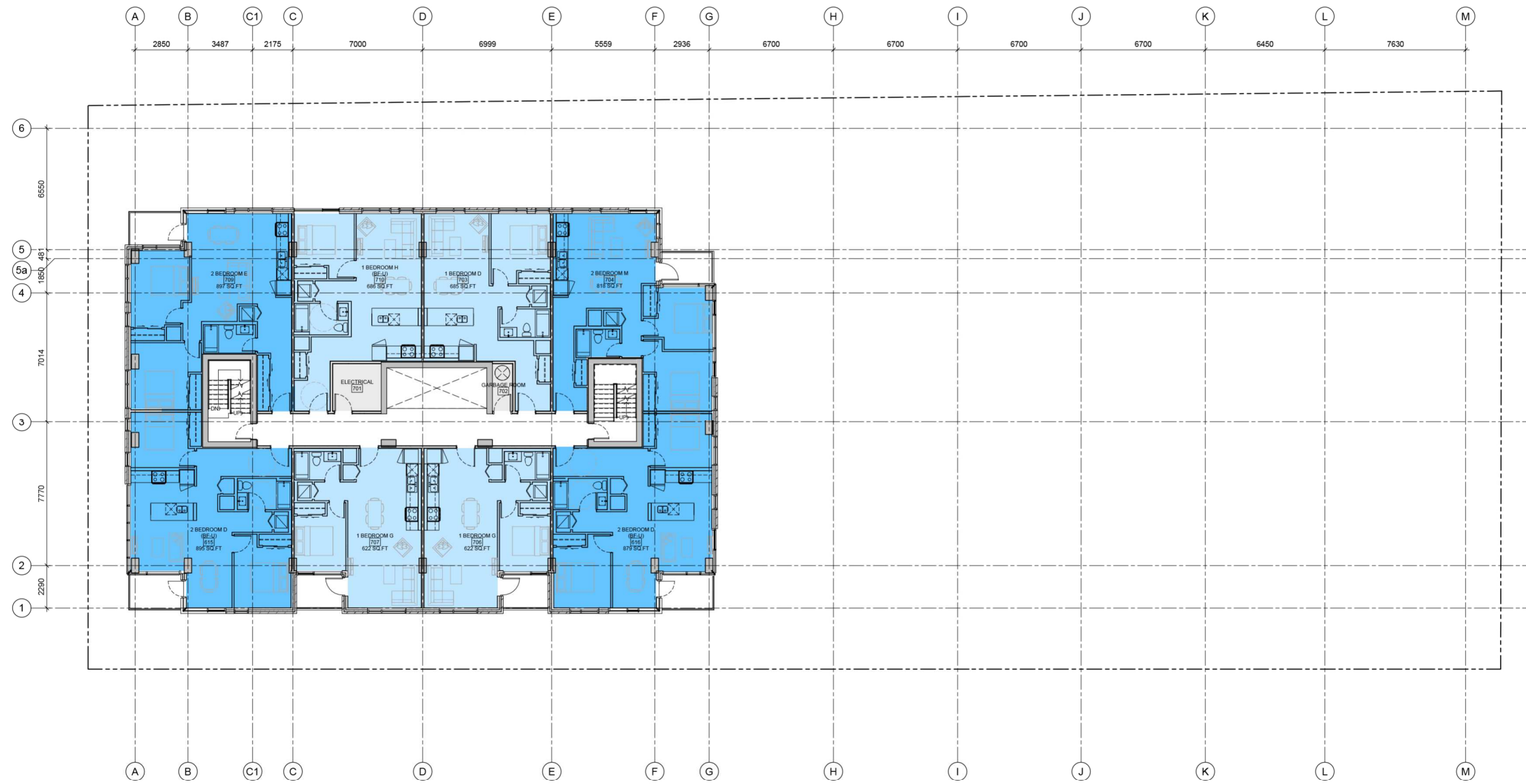








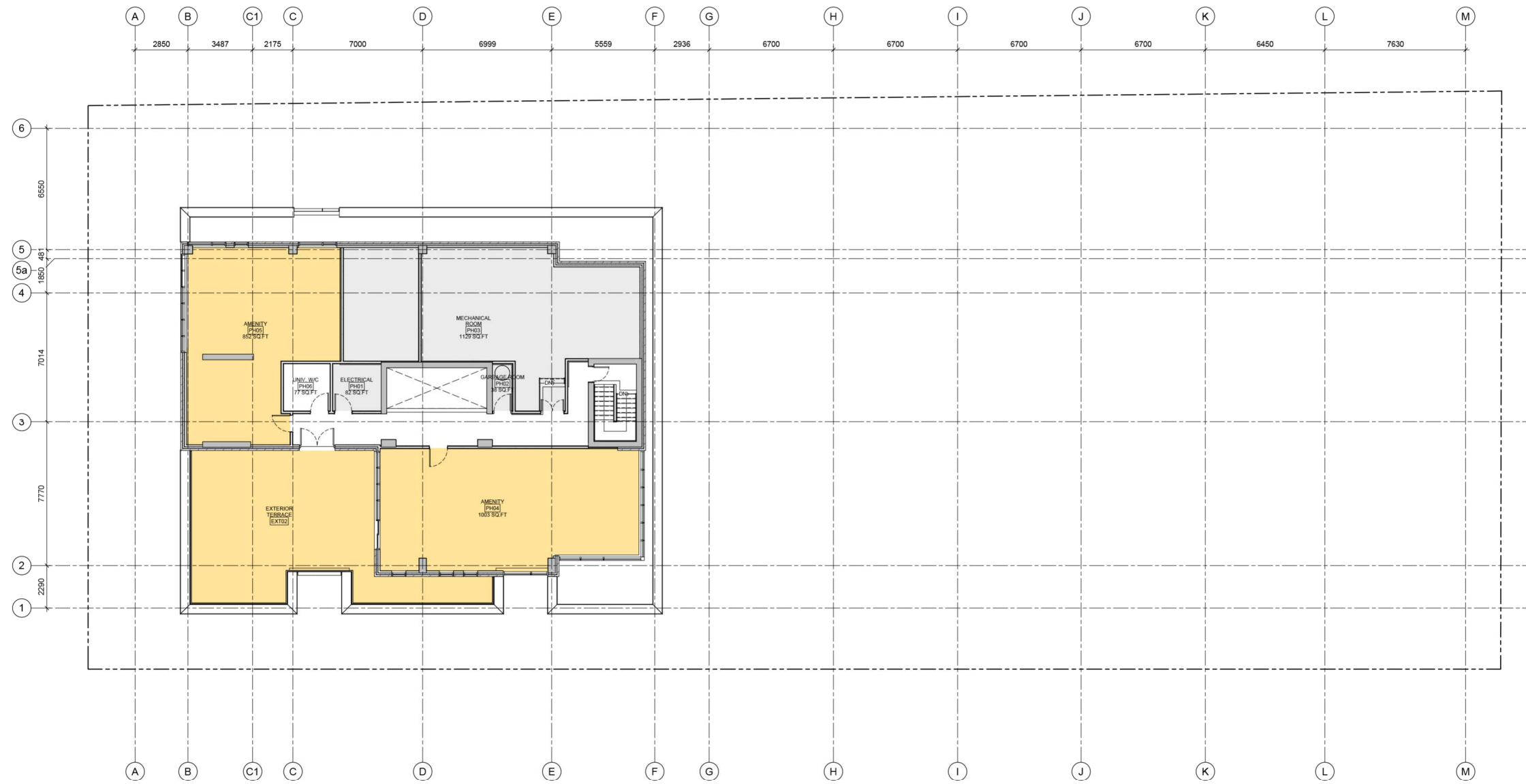




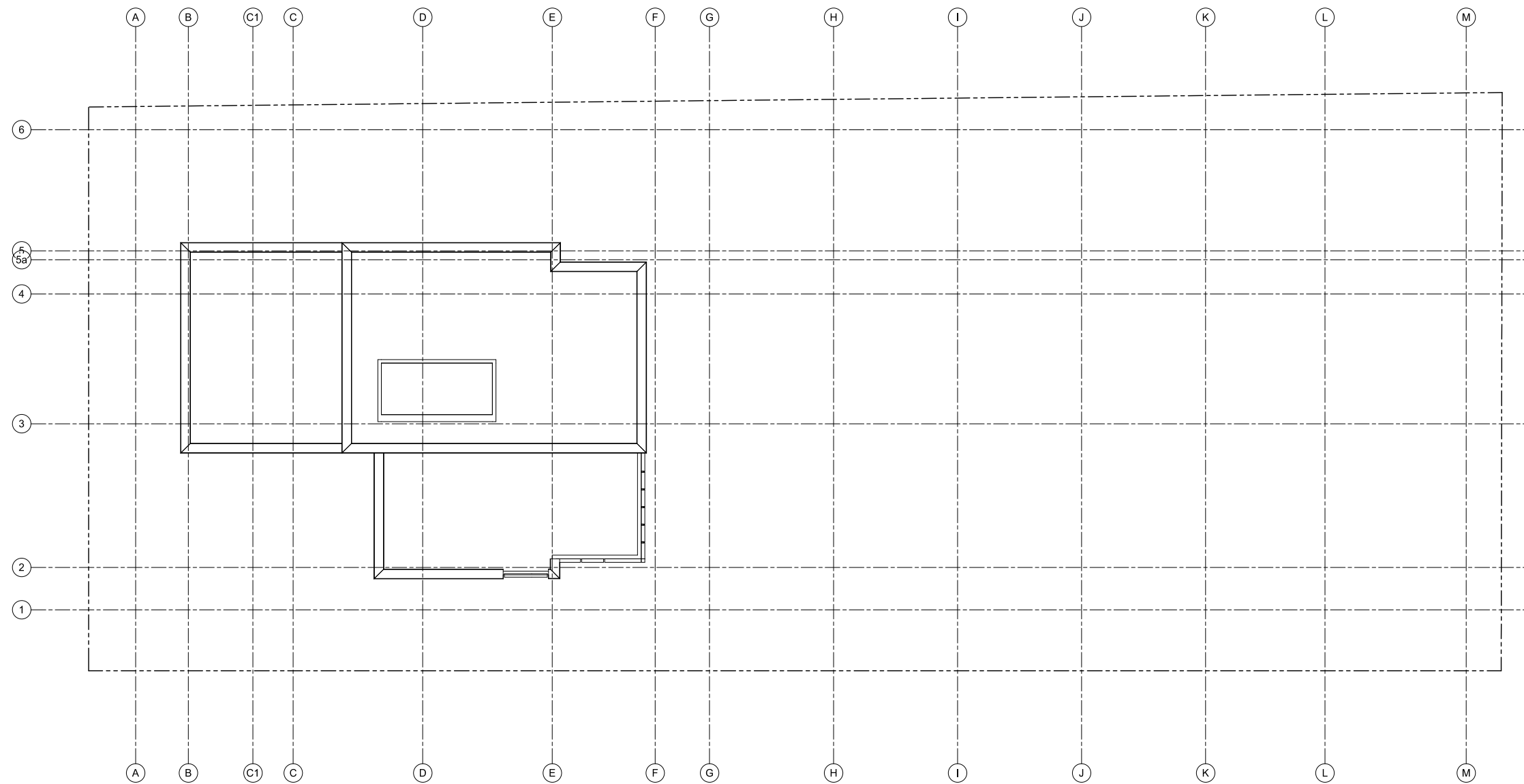










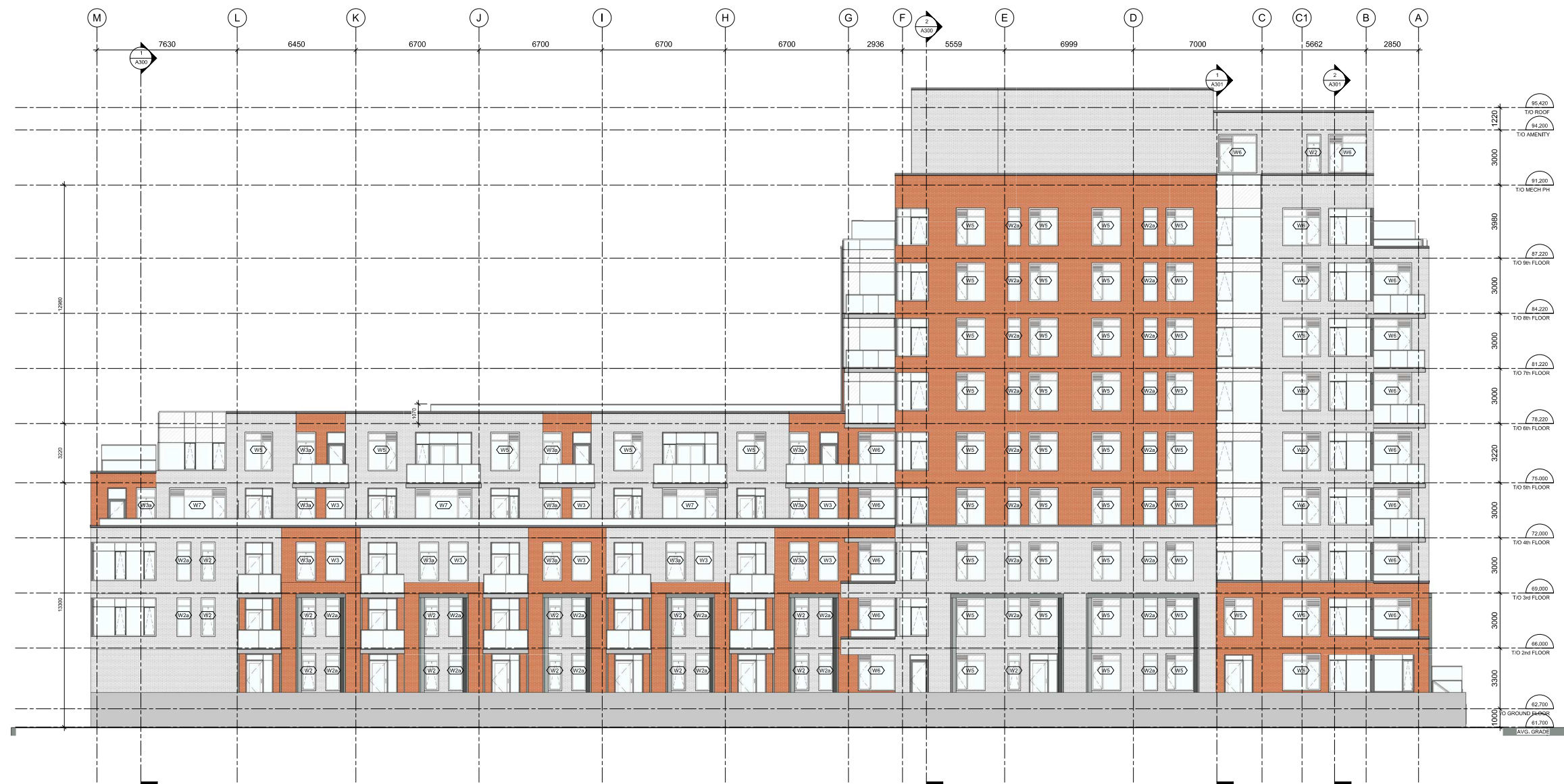






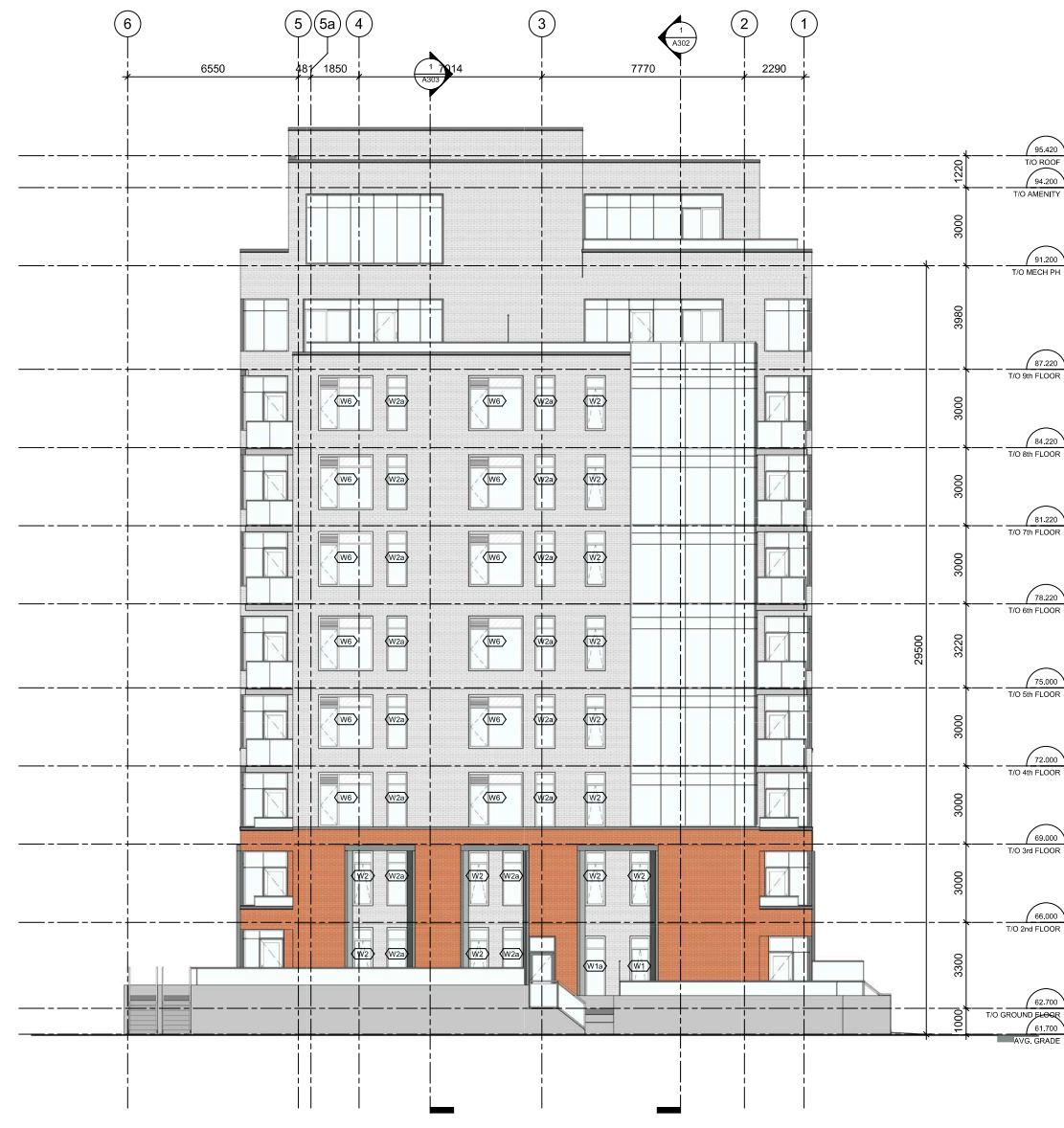
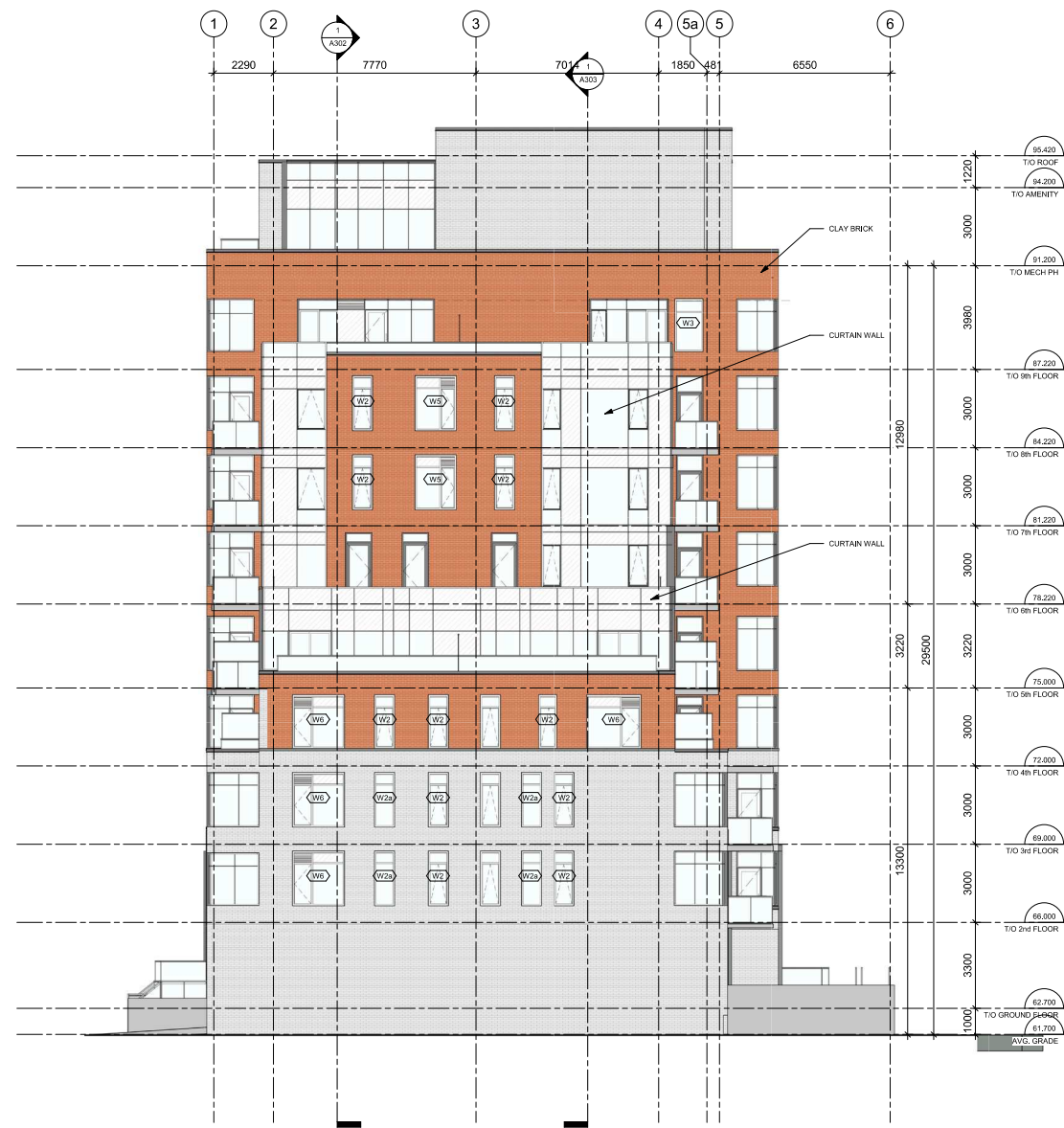
SOUTH ELEVATION (NORMAN ST)





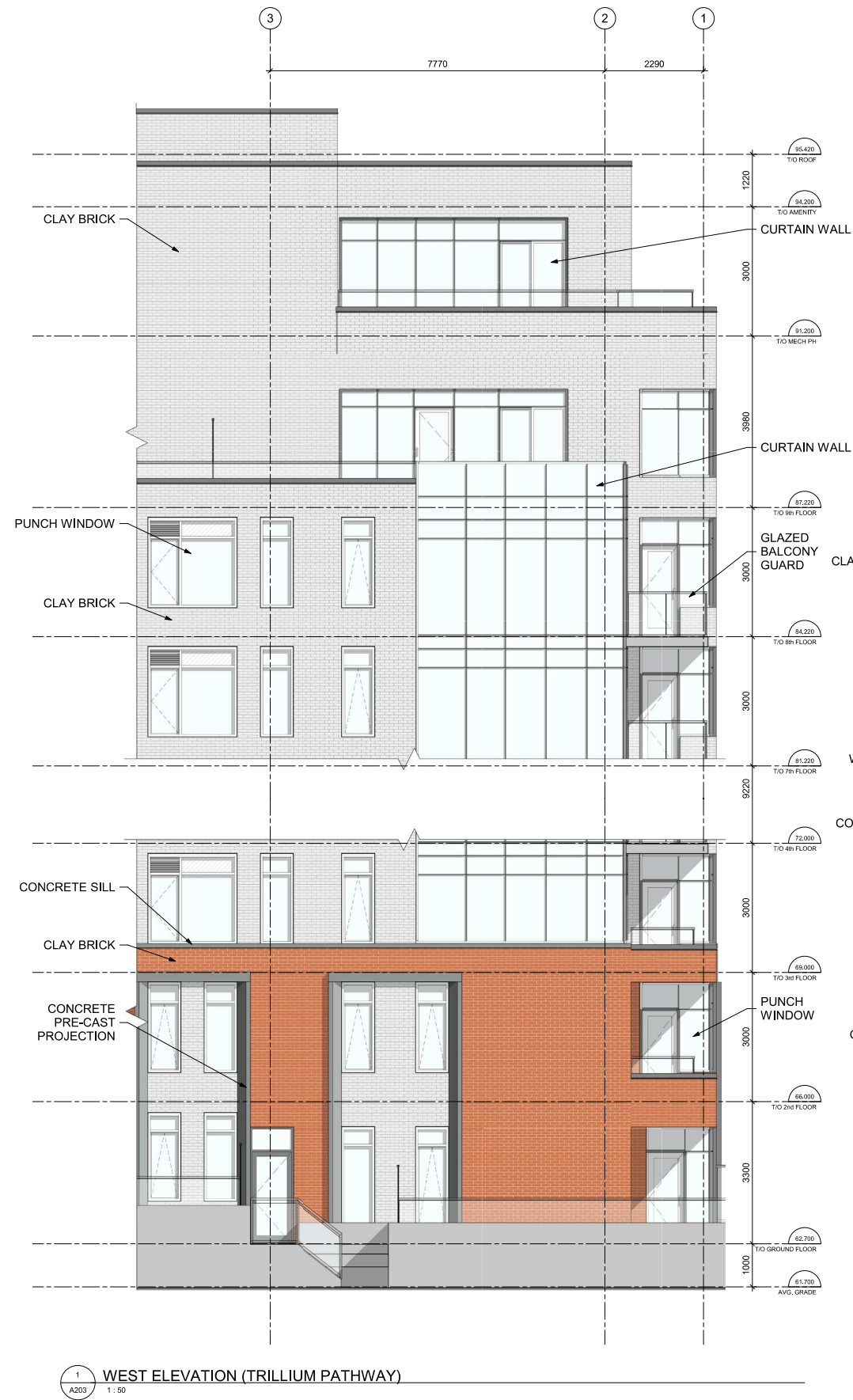
NORTH ELEVATION





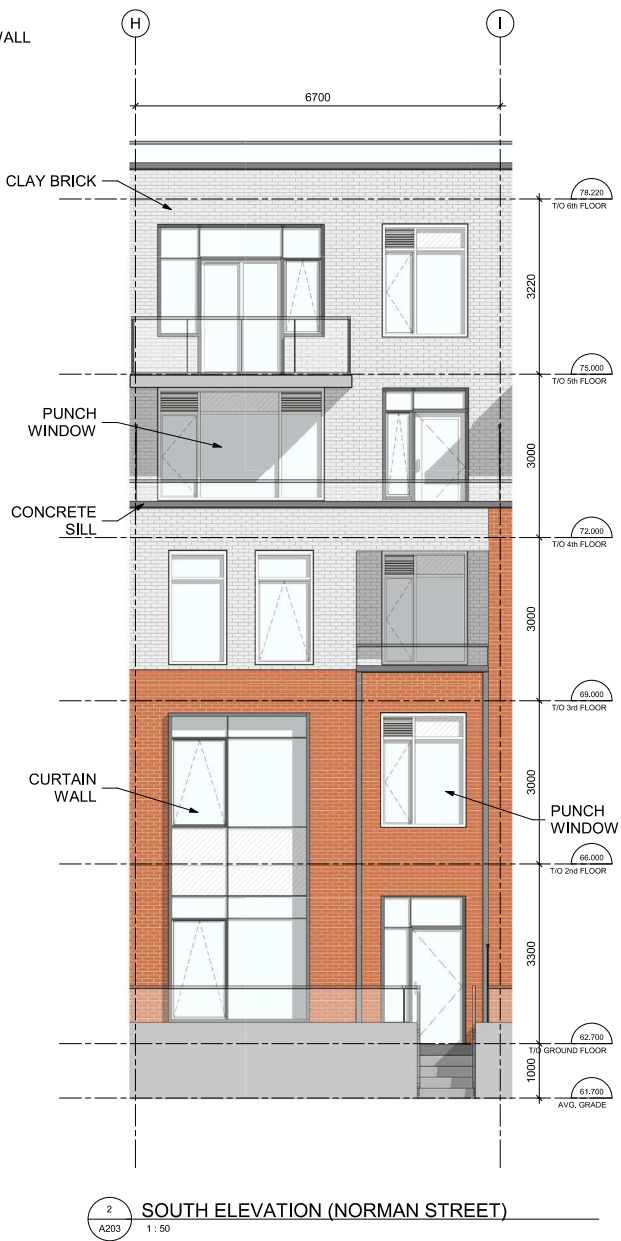
EAST & WEST ELEVATIONS





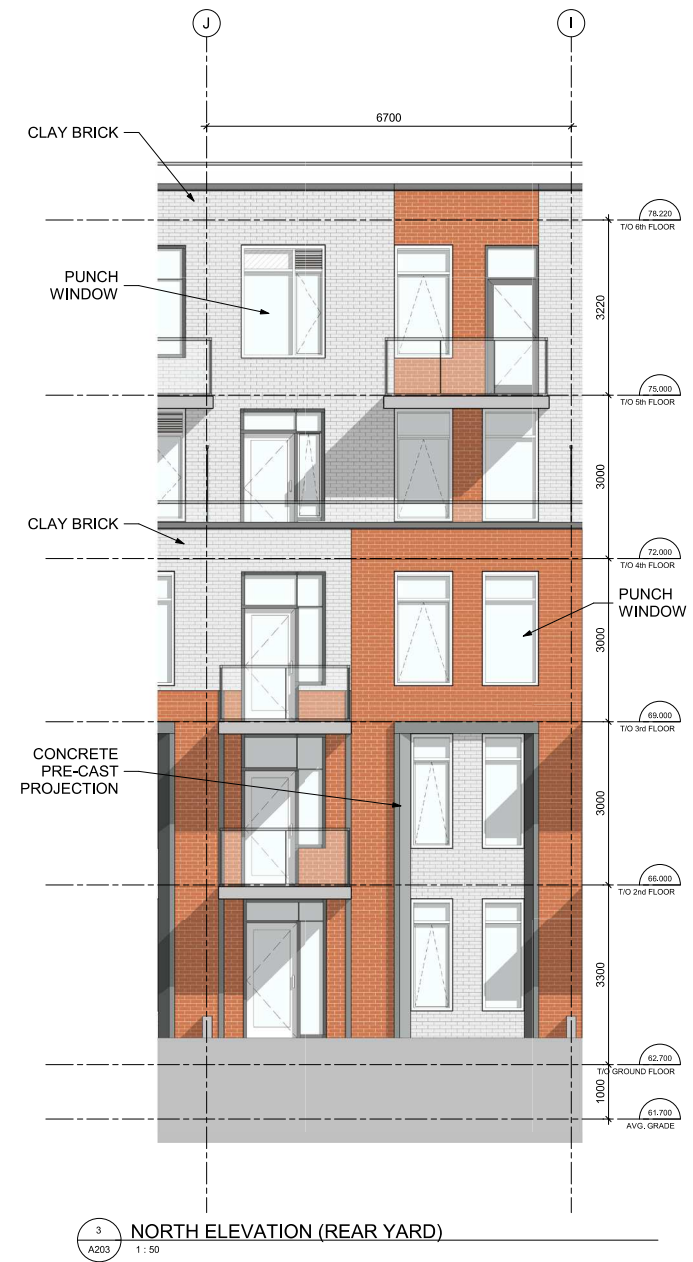
1 WEST ELEVATION (TRILLIUM PATHWAY)  
A203 1:50

WEST ELEVATION (TRILLIUM PATHWAY)



2 SOUTH ELEVATION (NORMAN STREET)  
A203 1:50

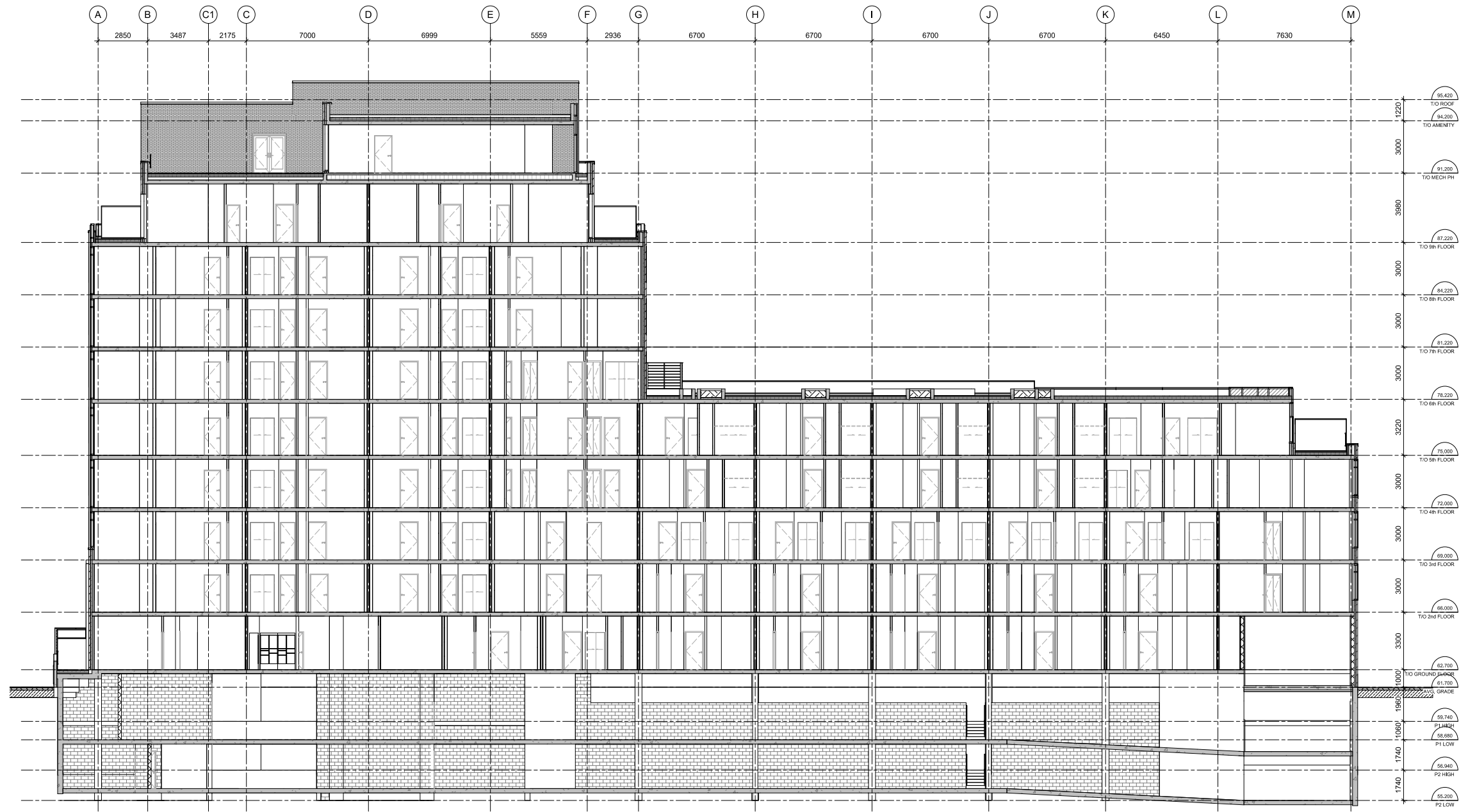
SOUTH ELEVATION (NORMAN ST)



3 NORTH ELEVATION (REAR YARD)  
A203 1:50

NORTH ELEVATION (REAR YARD)





SECTION THROUGH BUILDING, LOOKING NORTH



MARCH 21, DST



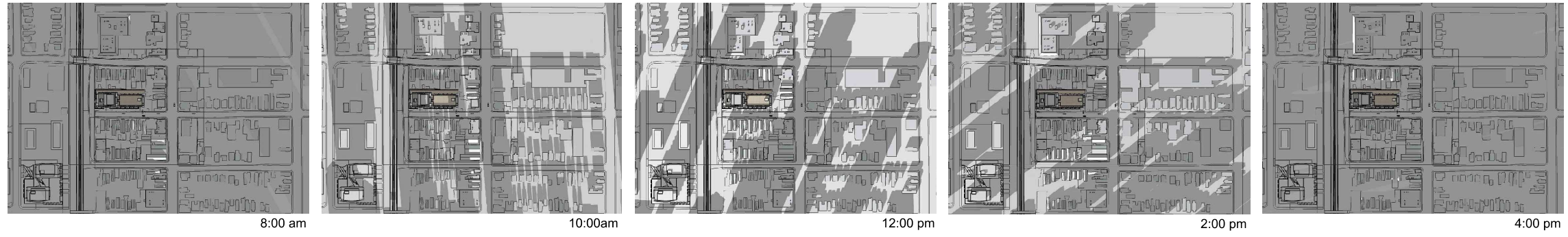
JUNE 21, DST



SEPTEMBER 21, DST



DECEMBER 21







VIEW OF MAIN ENTRY LOOKING NORTH EAST





VIEW OF BUILDING LOOKING NORTH WEST



