

IT IS THE RESPONSIBILITY OF THE APPLICANT TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERMIT CODES AND BY-LAWS FOR CONSTRUCTION UNITS SHOWN BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

**NOTATION SYMBOLS:**

- 1 INDICATES DRAWING NOTES LISTED ON EACH SHEET.
- 2 INDICATES ASSEMBLY TYPE REFER TO TYPICAL ASSEMBLY SCHEDULE.
- 3 INDICATES WINDOW TYPE REFER TO WINDOW ELECTIONS AND DETAILS ON ASSEMBLY SCHEDULE.
- 4 INDICATES FLOOR FINISHES ON FINISH SCHEDULE.
- 5 DETAIL NUMBER.
- 6 DETAIL REFERENCE PAGE.
- 7 DETAIL CROSS REFERENCE PAGE.

**GENERAL NOTES:**

- A REFER TO TYPICAL ASSEMBLY SHEET FOR WALL PARTITION, FLOOR, CEILING & FLOOR TYPES.
- B REFER TO TYPICAL ASSEMBLY SHEET FOR FLOOR FINISHES AND HARDWARE REQUIREMENTS.
- C REFER TO TYPICAL ASSEMBLY SHEET FOR WINDOW TYPES AND HARDWARE REQUIREMENTS.
- D ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF EXTERIOR WALLS.
- E ALL EXTERIOR WALLS ARE TO BE TYPE "W" UNLESS NOTED OTHERWISE.
- F ALL INTERIOR PARTITIONS ARE TO BE TYPE "I" UNLESS NOTED OTHERWISE.

UNIT STATISTICS	UNIT STATISTICS
TOWNHOUSE UNIT (2 LEVELS)	9
STUDIO UNIT	12
1 BEDROOM UNIT	44
1 BEDROOM + DEN UNIT	15
2 BEDROOM UNIT	33
2 BEDROOM + DEN UNIT	4
<b>TOTAL</b>	<b>117</b>

CAR PARKING	CAR PARKING
REQUIRED	117
PROVIDED	117
RESIDENCE	0.03 PER UNIT (117 UNITS)
VISITOR	0.03 PER UNIT (117 UNITS)
<b>TOTAL</b>	<b>117</b>

BICYCLE PARKING	BICYCLE PARKING
REQUIRED	104
PROVIDED	104
RESIDENCE	0.889 PER UNIT (117 UNITS)
VISITOR	0.089 PER SWELLING UNIT
<b>TOTAL</b>	<b>104</b>

LEGAL DESCRIPTION	LEGAL DESCRIPTION
PROVIDED	60
RESIDENCE	60

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**101 NORMAN STREET**  
OTTAWA ONTARIO

**SITE PLAN**

PROJECT NO: 1115  
SHEET NO: SP-1

**PROJECT INFORMATION**

ZONING	EXISTING - Zoning By-Law 2006-530	RRT
SITE AREA	PROPOSED	2,366.2 sq. m. (580,000 sq. ft.)
		25,381 sq. ft.

**PROJECT STATISTICS**

BUILDING HEIGHT (9 STOREYS)	23.6 m
LANDSCAPE OPEN SPACE (98%)	881.75 sq. m. (200,000 sq. ft.)
GROSS FLOOR AREA	7,441 sq. m. (1,605,000 sq. ft.)
FRONT YARD SETBACK	3.0 m
INTERIOR YARD SETBACK (WEST)	2.0 m
INTERIOR YARD SETBACK (EAST)	2.0 m
REAR YARD SETBACK (TOWER)	7.5 m
REAR YARD SETBACK (PARKING GARAGE)	0.3 m

**GROSS BUILDING AREAS**  
(CITY OF OTTAWA DEFINITION)  
TYPICAL PARKING LEVEL

GROUND FLOOR	650.0 sq. m.
1st FLOOR	8,891 sq. m.
2nd FLOOR	1,424.4 sq. m.
3rd FLOOR	12,272 sq. m.
4th FLOOR	12,027 sq. m.
5th FLOOR	1,046.0 sq. m.
6th FLOOR	1,208.0 sq. m.
7th & 8th FLOOR	6,338 sq. m.
9th FLOOR	4,772 sq. m.
10th FLOOR	5,129 sq. m.
<b>TOTAL AREA</b>	<b>74,411 sq. m. (16,050,000 sq. ft.)</b>

**ASSEMBLY SPACE**

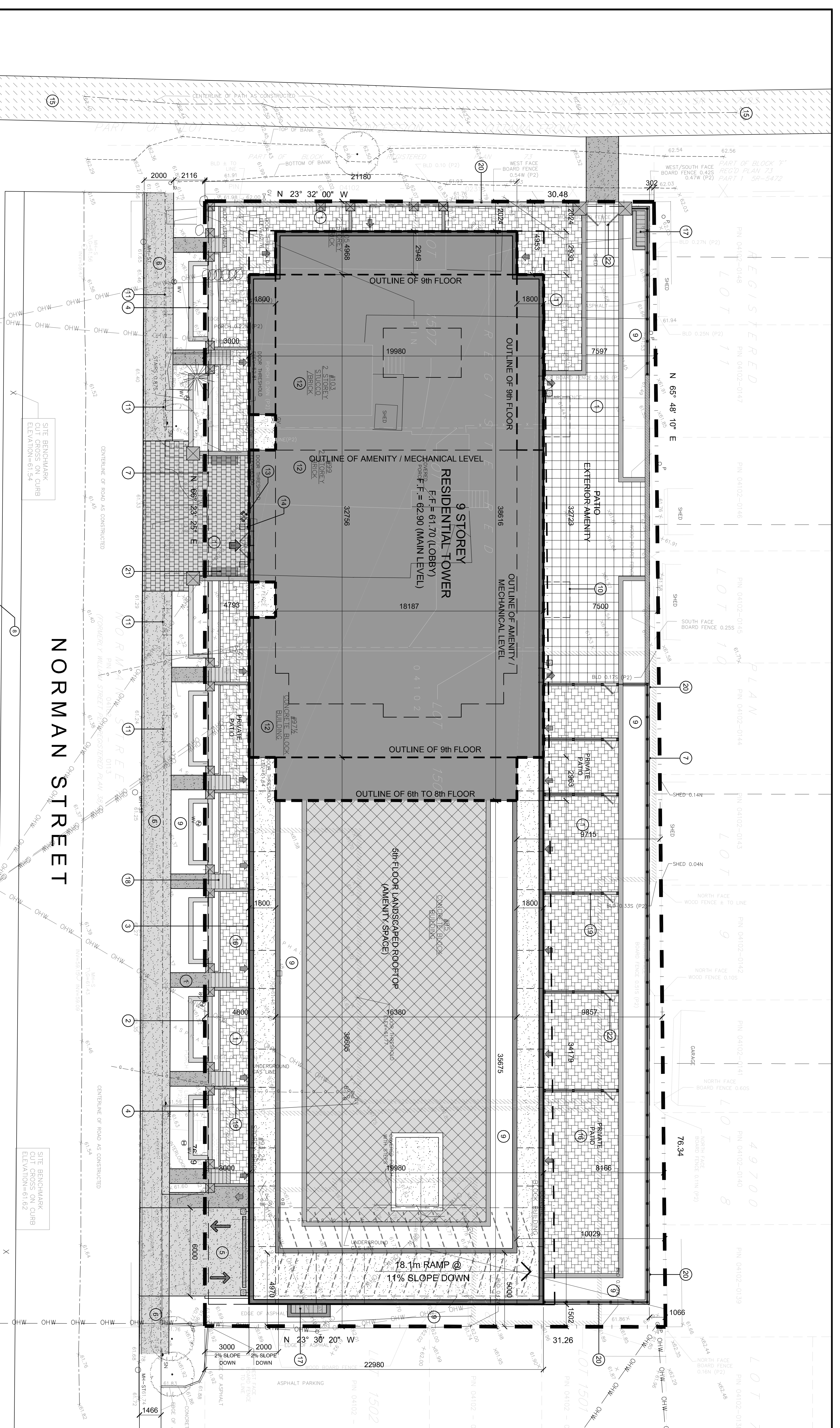
PRIVATE PATIOS	1,170 sq. m.
COMMUNAL 6th FLOOR	470 sq. m.
COMMUNAL ROOFS	168 sq. m.
<b>TOTAL</b>	<b>2,108 sq. m.</b>

**DRAWING NOTES**

- 1 HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR HARD SURFACE FINISH.
- 2 PROPERTY LINE.
- 3 BUILDING SETBACK LINE.
- 4 LOW PLASTER WALL.
- 5 VEHICLE ENTRANCE RAMP WITH TRISOLIC PAVING TO UPG PAVING GARAGE.
- 6 REPLACE CITY SIDEWALK & CURB WITH NEW 2.0 METRE WIDE SIDEWALK & CURB TO CITY STANDARDS.
- 7 OUTLINE OF UNDERGROUND PARKING LEVELS.
- 8 APPROXIMATE LOCATION EXISTING FIRE HYDRANT.
- 9 SOFT LANDSCAPING, SEE LANDSCAPE PLAN.
- 10 OUTLINE OF PRIVATE TERRACE ABOVE.
- 11 BICYCLE RACKS, SEE LANDSCAPE FOR SPEC.
- 12 EXISTING RESIDENTIAL / COMMERCIAL BUILDING TO BE REMOVED.
- 13 SHARED CONNECTION.
- 14 WALL MOUNTED LIGHT FIXTURE.
- 15 EXISTING ASPHALT REGISTRATION PATH.
- 16 PRIVATE TERRACES FOR GROUND FLOOR UNITS.
- 17 AIR INTAKE / EXHAUST TAIL.
- 18 CONCRETE STEPS.
- 19 PRIVACY SCREEN.
- 20 EDGE OF RAISED LANDSCAPED PATIO.
- 21 SITE FURNITURE, SEE LANDSCAPE FOR DETAIL.
- 22 GATE.

**SITE PLAN SYMBOLS**

CONCRETE UNIT PAVERS SURFACE	CONCRETE UNIT PAVERS SURFACE
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PRIVATE PATIOS	PRIVATE PATIOS
CONCRETE UNIT PAVERS SURFACE	CONCRETE UNIT PAVERS SURFACE
CONCRETE UNIT PAVERS SURFACE	CONCRETE UNIT PAVERS SURFACE
EXISTING ASPHALT REG. PATH / WALK	EXISTING ASPHALT REG. PATH / WALK
CONCRETE SURFACE	CONCRETE SURFACE
CONCRETE CITY SIDEWALK	CONCRETE CITY SIDEWALK
POPIUM LEVEL ROOF DECK	POPIUM LEVEL ROOF DECK
GRAVEL ROOF DECK	GRAVEL ROOF DECK
WALL MOUNTED LIGHT	WALL MOUNTED LIGHT
TWO WAY VEHICLE CIRCULATION	TWO WAY VEHICLE CIRCULATION
MAIN ENTRANCE	MAIN ENTRANCE
COMMERCIAL ENTRANCE	COMMERCIAL ENTRANCE
AND/OR FIRE EXIT	AND/OR FIRE EXIT
ISLAND STYLE BIKE RACK	ISLAND STYLE BIKE RACK
PROPERTY LINE	PROPERTY LINE
RETAINING WALL	RETAINING WALL



**SITE PLAN**

SCALE 1:100

KEY MAP

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WALL MOUNTED LIGHT	WALL MOUNTED LIGHT
TWO WAY VEHICLE CIRCULATION	TWO WAY VEHICLE CIRCULATION
MAIN ENTRANCE	MAIN ENTRANCE
COMMERCIAL ENTRANCE	COMMERCIAL ENTRANCE
AND/OR FIRE EXIT	AND/OR FIRE EXIT
ISLAND STYLE BIKE RACK	ISLAND STYLE BIKE RACK
PROPERTY LINE	PROPERTY LINE
RETAINING WALL	RETAINING WALL