

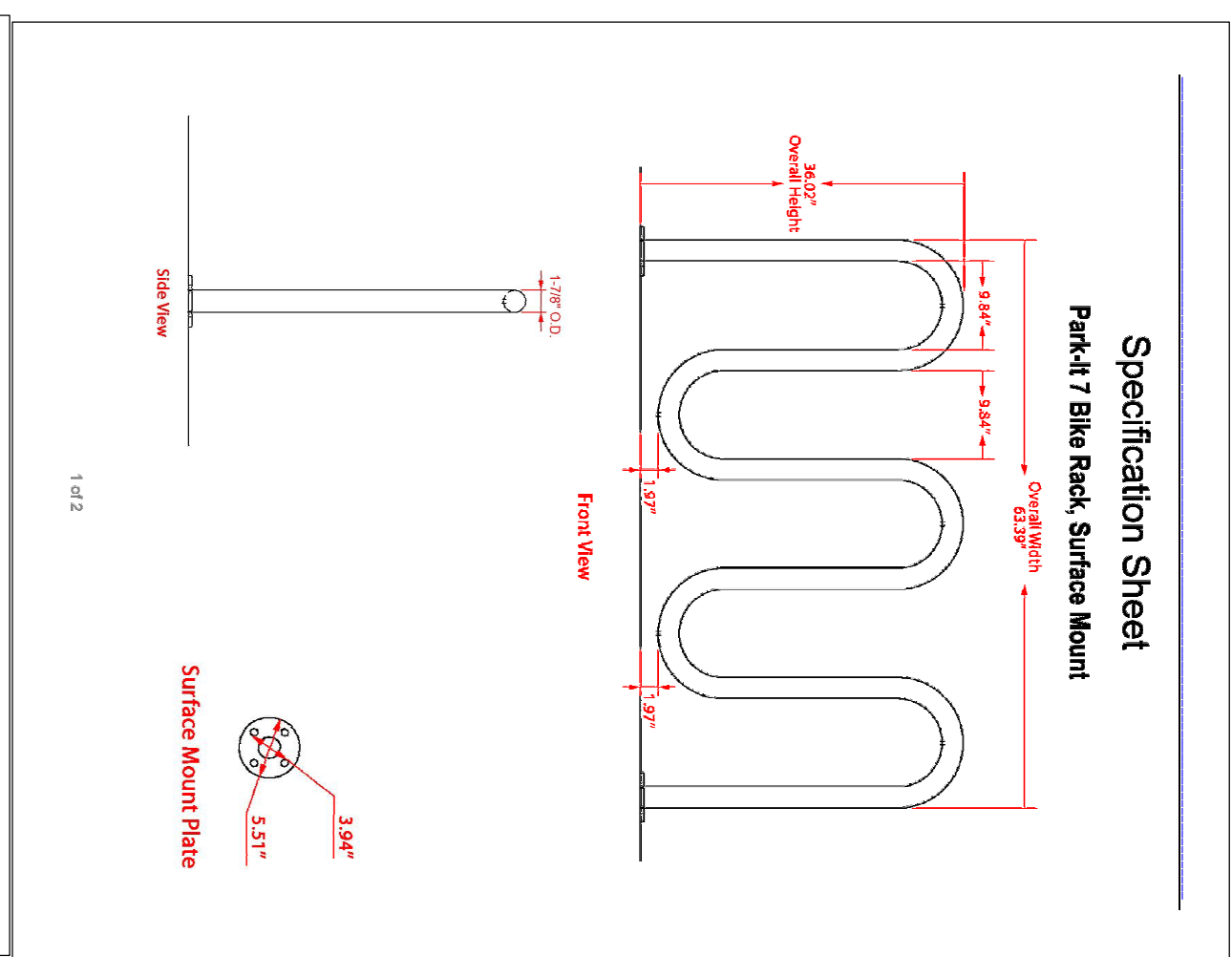
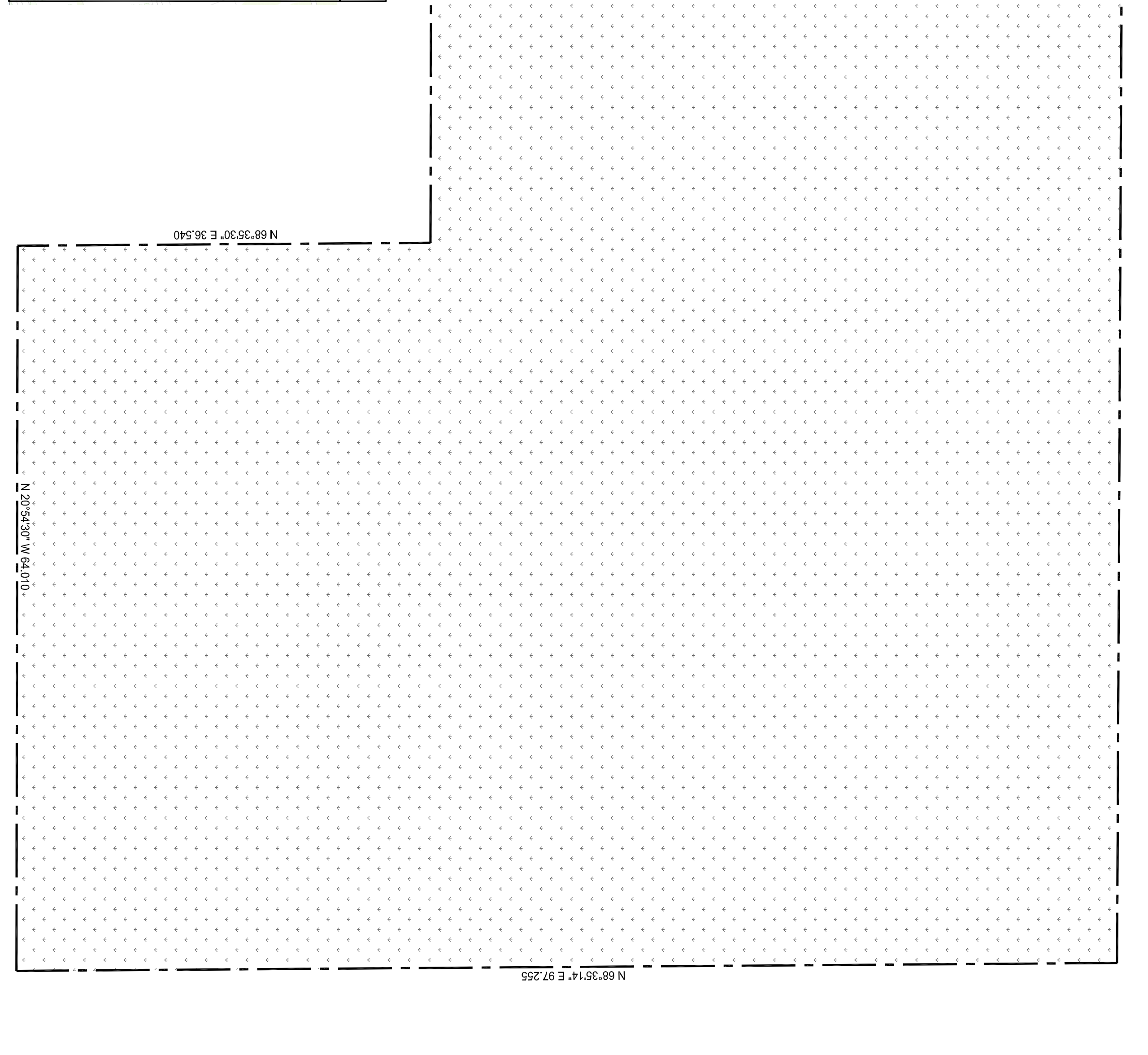
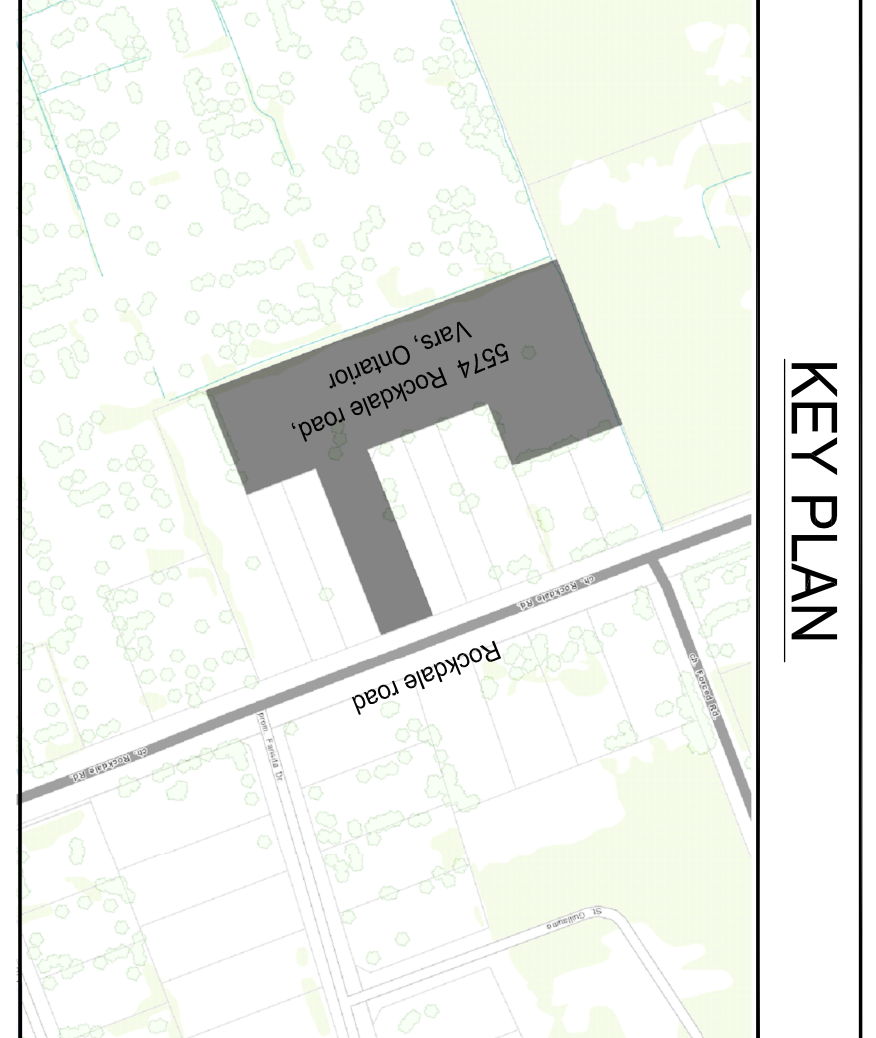
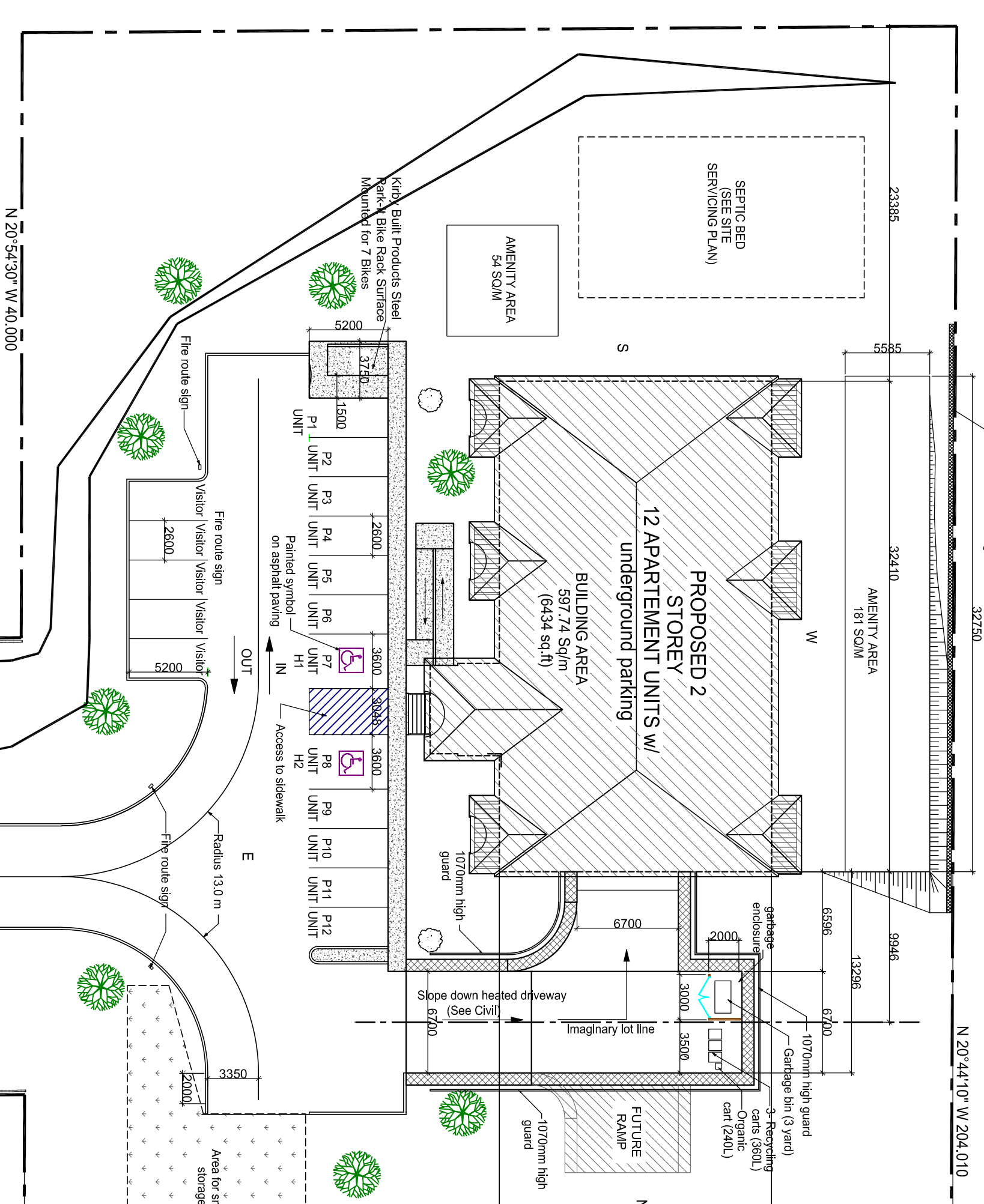
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#5		
#4		
#3	Issued for Municipal approval	December 1, 2017
#2	For client review	July 26th, 2015
#1	Revision	Date

A. Dagenais & Assoc. Inc.
 CONSULTING ENGINEERS & ARCHITECT
 INGENIEURIS CONSEILS ET ARCHITECTE
 921 Lakeshore Blvd. P.O. Box 180
 Etobicoke, Ontario, M9A 1W0
 (416) 883-0700

12 Unit Apartment Building
 at 5574 Rockdale road, Vars Ontario
 Client: Bergeron Construction 2010 Inc.
 Site Plan
 Drawn by: AL
 Checked by: A.F.D.
 Date: Dec. 2014
 Scale: As shown
 Folder #: 013-286

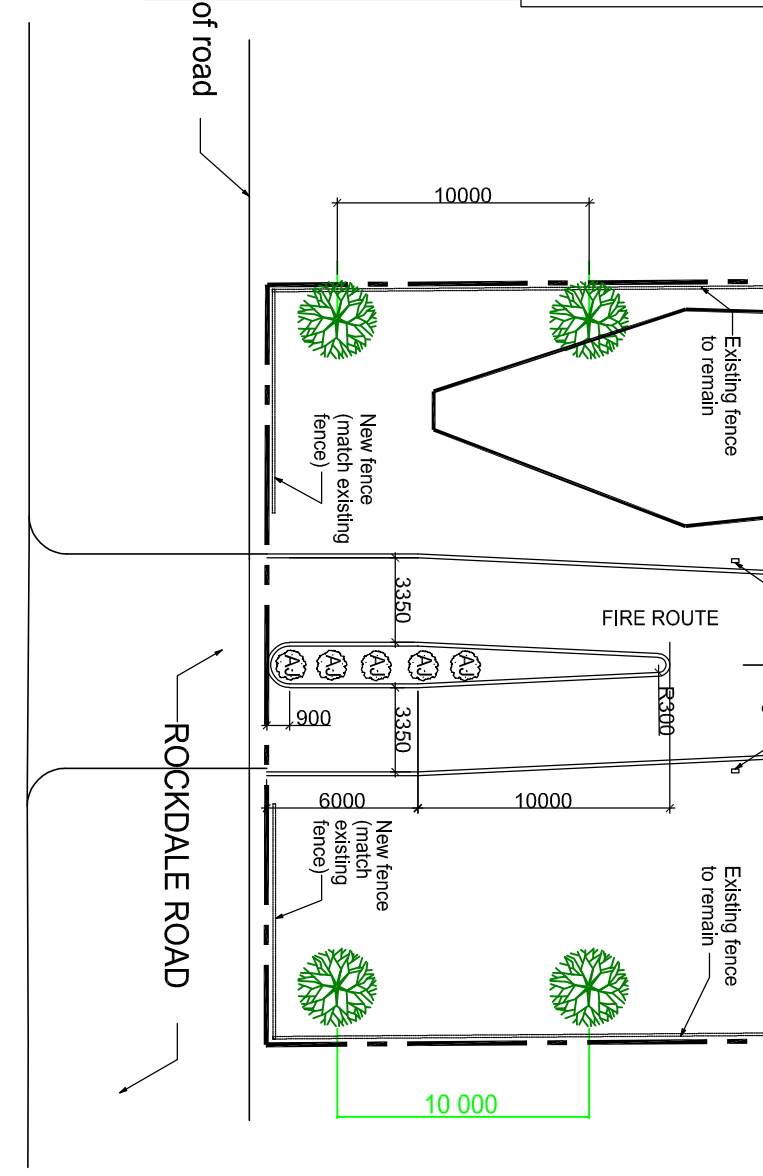
Stamp: Professional Engineer
 A. DAGENAIS
 09/09/15
 License No. 10000
 Ontario
 Page number: **SP1** of 1



Material
 Steel tubing
Finish
 Powder coated black
Dimensions
 63.50 W x 36.027 D
 Footprint: 66.5 x 36.027 m
Weight
 48 lbs
Type of Mount
 Surface mount
Size of Tubing
 1-7/8" O.D. x 1"-Gauge
 Approximate location of road

SITE PLAN

Scale: 1 :300
 PROPERTY BOUNDARY DERIVES FROM SURVEY DONE BY OUTRISAC SURVEYING INC. ON JULY 5TH, 2005
 PART 5 OF LOT 24
 CONCESSION 7
 REGISTERED PLAN 4R20412
 CUMBERLAND
 CITY OF OTTAWA



DATA	
PROJECT :	BUILDING OF 12 RESIDENTIAL APARTMENT UNITS 2 storey + elevator with basement garage (15 parkings)
ZONING :	- V3E - 32,410 m x 17,995 m (irregular)
BUILDING SIZE :	- 6453 SQ/FT (599.50 m2)
LOT AREA -	17765.7 sq.m
MIN. LOT AREA RECD. -	900 sq.m
LOT WIDTH -	30.00m
MIN. LOT WIDTH RECD. -	24.0 m
FRONT YARD -	+/- 30.600 m
MIN. FRONT YARD RECD. -	9.0 m
SIDE YARD -	+/- 34.310 m
MIN. SIDE YARD RECD. -	3.5 m
REAR YARD -	11.968 m
MIN. REAR YARD RECD. -	11.0 m
LANDSCAPE OPEN SPACE -	+/- 35.37 %
LANDSCAPE OPEN SPACE REQ. -	25 %
LOT COVERAGE -	3.36 %
MAX. LOT COVERAGE -	25 %
BUILDING HEIGHT -	+/- 9.6 m
MAX. BUILDING HEIGHT -	15.0 m
DENSITY -	6.75 units per hectare
MAXIMUM DENSITY -	99 units per hectare
AMENITY AREA PROVIDED	300 sq/m
AMENITY AREA REQUIRED	6 sq/m per unit (20 x 12 units = 240 sq/m) 10% of gross floor area (10% x 597.94 = 59.79 sq/m) Total - 240 sq/m + 59.79 sq/m = 299.79 sq/m

NUMBER OF PARKING FOR UNITS	GARAGE - 15 parking in building + 12 exterior parking = 27 Parking
NUMBER OF PARKING REQUIRED FOR UNITS - 12 Parkings	12 Parkings
NUMBER OF VISITOR PARKING	5 Parkings
NUMBER OF VISITOR PARKING REQUIRED	0.2 Parking x 12 = 2.4 Parkings
TOTAL NUMBER OF PROVIDED PARKINGS	27 + 5 = 32 Parkings
TOTAL NUMBER OF REQUIRED PARKINGS	12 + 2.4 = 14.4 Parkings

LEGEND :	
PROPOSED ADDITION	GREEN (SOD & SEED)
BALCONY	ASPHALT PAVEMENT
SIDEWALK CONCRETE OR INTERLOCK	RETAINING WALL

