

**NOTES:**

- LP LOW POINT
- HP HIGH POINT
- FFE FINISHED FLOOR ELEVATION
- BSE BASEMENT TOP OF SLAB ELEV.
- TFW TOP OF FOUNDATION WALL
- USF UNDERSIDE OF FOOTING
- TRW TOP OF RETAINING WALL
- UP UTILITY POLE
- DC DEPRESSED CURB
- TOP OF CURB
- FW FIRE WALKER
- TG TOP OF GRATE
- FG FINISHED GRADE ELEVATION
- CB CATCH BASIN
- MH MANHOLE
- FH FIRE HYDRANT
- OHV OVERHEAD WIRE
- C.S.W. CENTRELINE OF SWALE
- ICD INLET CONTROL DEVICE

#5		
#4	Issued for Municipal Approval	MONTH XX, 2019
#3	Issued for meeting with City	March 14, 2018
#2	Issued for Municipal approval	December 1, 2017
#1	For client review	July 29th, 2015
No.	Revision	Date

**A. Dagenais & Assoc. Inc.**  
 ENGINEERS / INGÉNIEURS

767, Notre Dame, Local 42  
 Embrun, Ontario, K0A 1W1  
 (613) 693-0700

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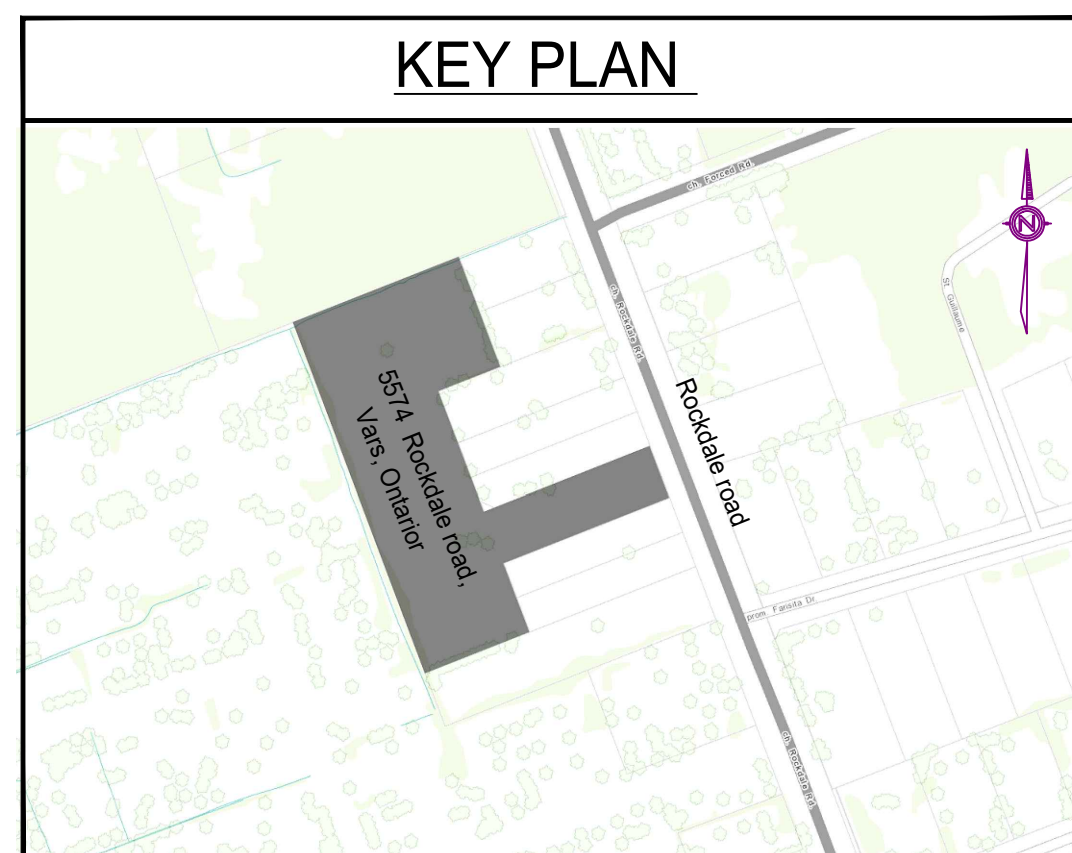
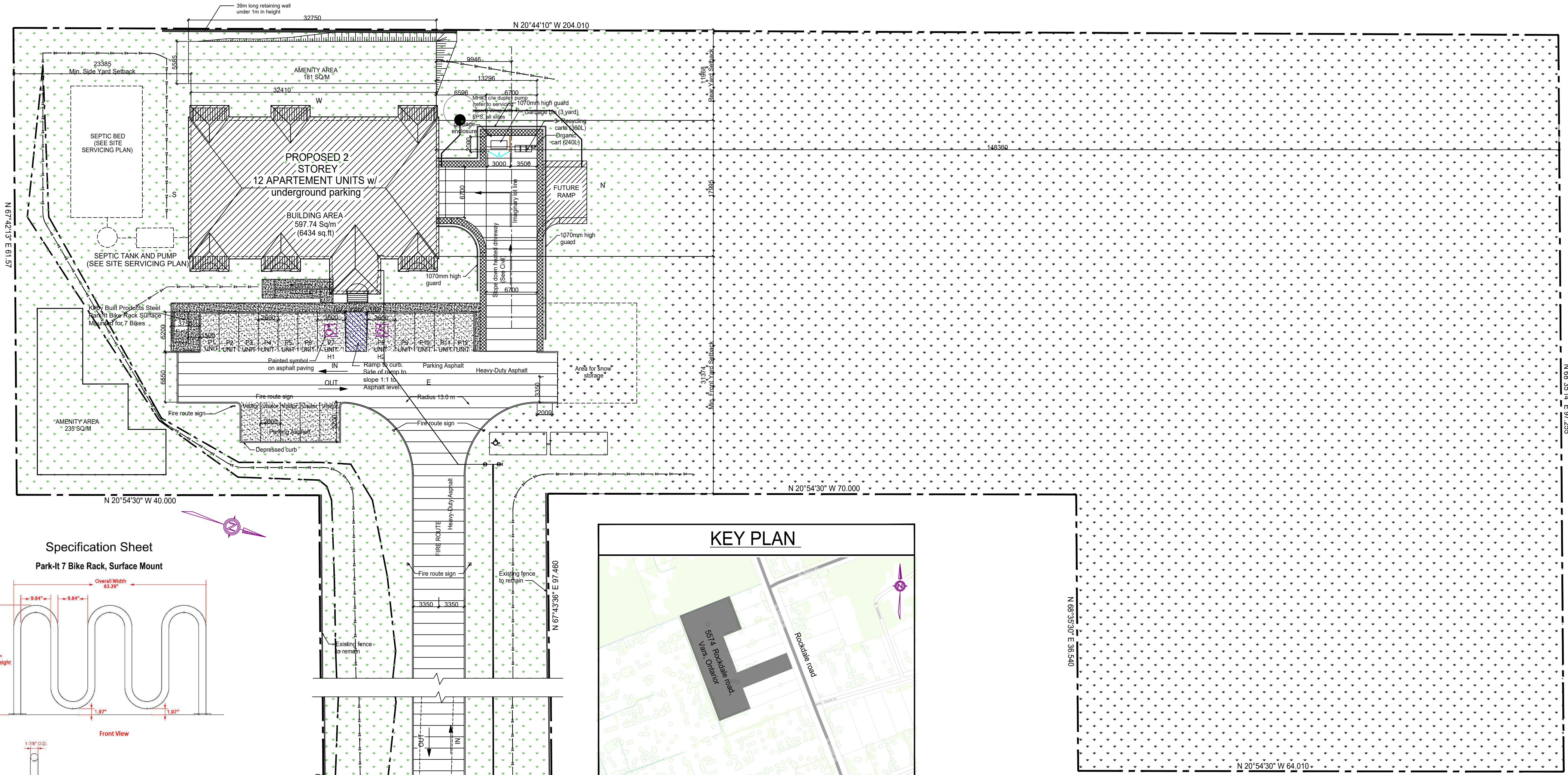
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**12 Unit Apartment Building**  
 at 5574 Rockdale road, Vars Ontario  
 Client: Bergeron Construction 2010 Inc.

Site Plan  
 Drawn by: AL  
 Checked by: A.F.D.  
 Date: Dec. 2014  
 Scale: As shown  
 Folder #: 013-286

Stamp:

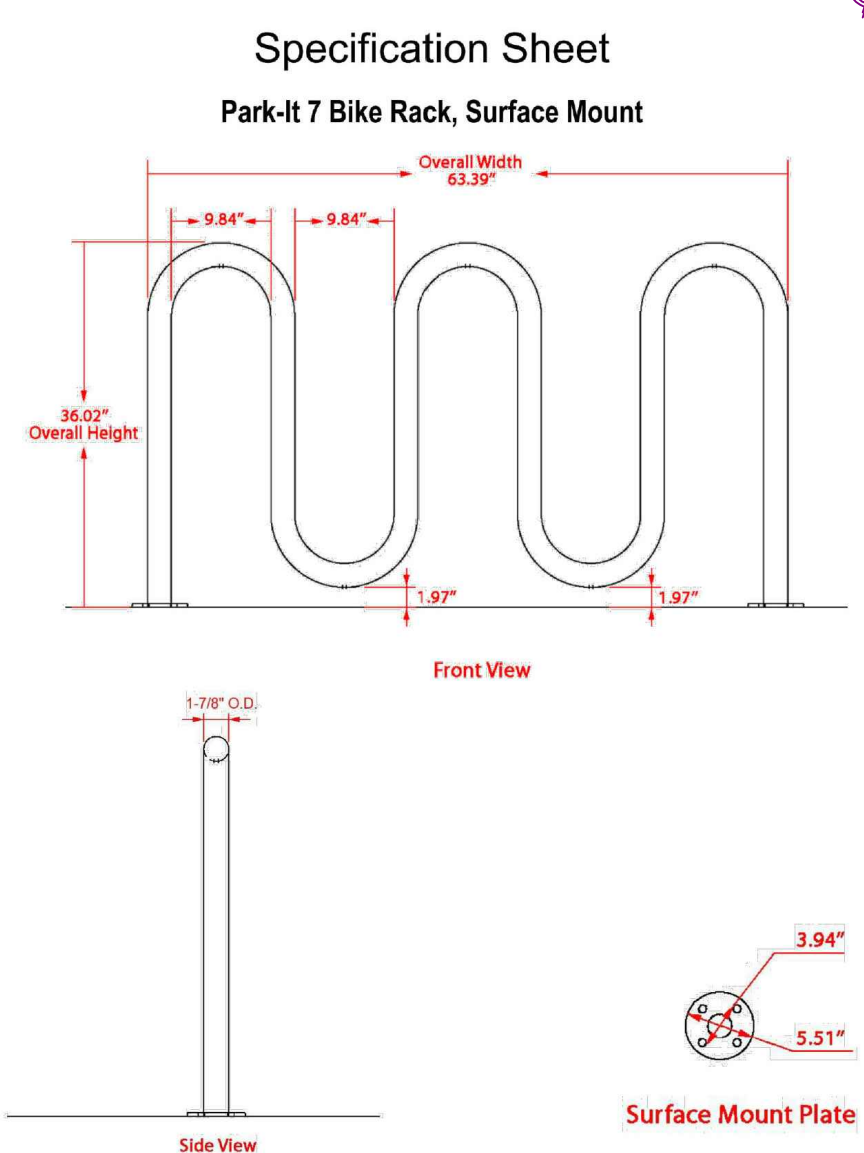
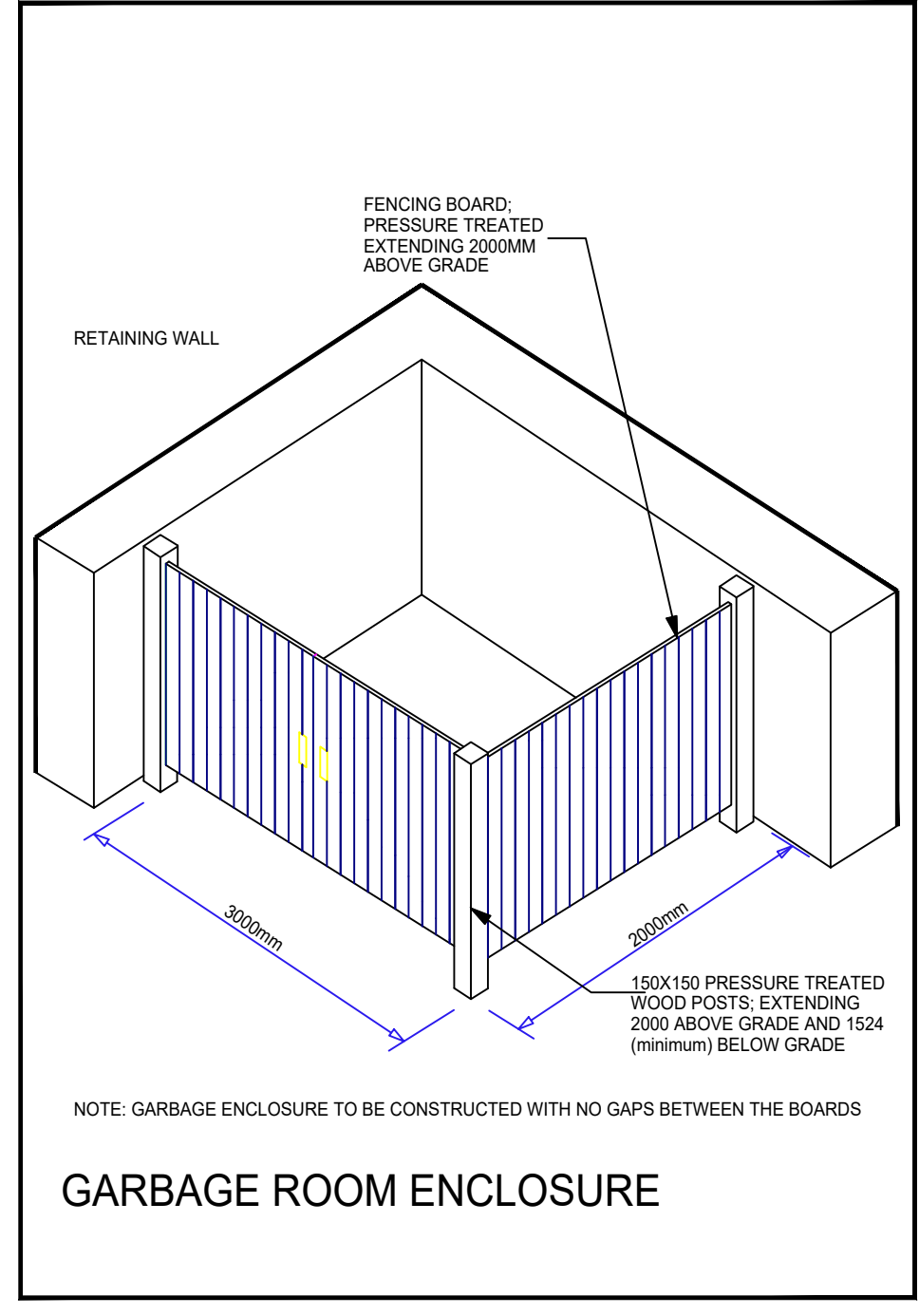
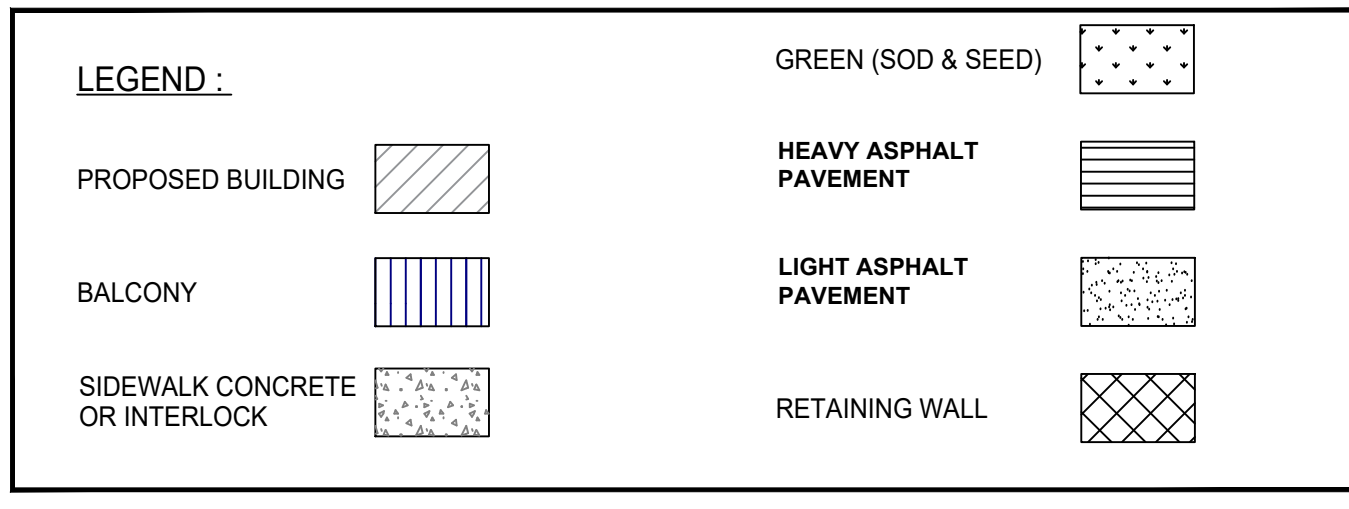
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NOTE: ALL LANDSCAPING SHALL BE AS SHOWN ON L1

DATA	
PROJECT : BUILDING OF 12 RESIDENTIAL APARTEMENT UNITS 2 storey + elevator with basement garage (15 parkings)	
ZONING	- V3E
BUILDING SIZE	- 32,410 m x 17,995 m (irregular)
BUILDING AREA	- 6453 SQ/FT (599.50 m2)
LOT AREA -	17765.7 sq.m
MIN. LOT AREA REQ'D -	900 sq.m
LOT WIDTH -	Irregular: min. 29.952m
MIN. LOT WIDTH REQ'D -	24.0 m
FRONT YARD -	Irregular: Min. 31.374m
MIN. FRONT YARD REQ'D -	9.0 m
SIDE YARD -	34.310 m
MIN. SIDE YARD REQ'D -	3.5 m
REAR YARD -	11.968 m
MIN. REAR YARD REQ'D -	11.0 m
LANDSCAPE OPEN SPACE -	35.37 %
LANDSCAPE OPEN SPACE REQ. -	25 %
LOT COVERAGE -	3.36 %
MAX. LOT COVERAGE -	25 %
BUILDING HEIGHT -	10.103m
MAX. BUILDING HEIGHT -	15.0 m
DENSITY -	6.75 units per hectare
MAXIMUM DENSITY -	99 units per hectare
AMENITY AREA PROVIDED	416 sq/m
SIDE YARD AMENITY	235 sq/m
REAR YARD AMENITY	181 sq/m

AMENITY AREA REQUIRED	6 sq/m per unit (20 x 12 units = 240 sq/m)
	10% of gross floor area (10% x 597.94 = 59.79 sq/m)
	Total - 240 sq/m + 59.79 sq/m = 299.79 sq/m
NUMBER OF PARKING FOR UNITS	GARAGE 16 parking in building + 12 exterior parking = 28 Parking
NUMBER OF PARKING REQUIRED FOR UNITS-	1 Parking x 12 = 12 Parkings
NUMBER OF VISITOR PARKING	5 Parkings
NUMBER OF VISITOR PARKING REQUIRED	0.2 Parking x 12 = 2.4 Parkings
TOTAL NUMBER OF PROVIDED PARKINGS	28 + 5 = 33 Parkings
TOTAL NUMBER OF REQUIRED PARKINGS	12 + 2.4 = 14.4 Parkings

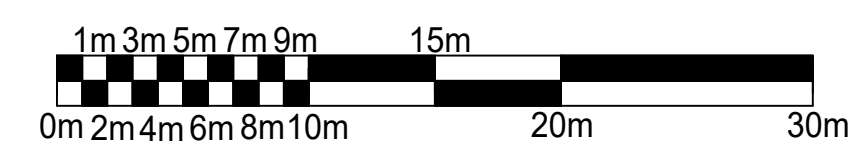


Material	Finish	Dimensions	Weight
Steel tubing	Powder coated black	63.39" w x 36.02" h Footprint: 66.54" w x 36.02" h	46 lbs.
Type of Mount:	Surface mount		
Size of Tubing:	1-7/8" O.D. x 11-gauge		

**Bike Rack Specification Sheet**

**SITE PLAN**  
 Scale: 1:300

PROPERTY BOUNDARY DERIVES FROM SURVEY DONE BY DUTRISAC SURVEYING INC. DATED JULY 5TH 2005



**SCALE BAR**

PART 5 OF LOT 24  
 CONCESSION 7  
 REGISTERED PLAN 4R20412  
 CUMBERLAND  
 CITY OF OTTAWA