

U:\Users\Pierre Yonick W 2025\architecture Multi-logis\Projet Bergeron\2025\CAU\2025-04-28 - Project Bergeron - Architecture.dwg



PROJECT INFORMATION

MUNICIPAL ADDRESS 5574 ROCKDALE road
VARS, ONTARIO

LEGAL DESCRIPTION PART 5 OF LOT 24
CONCESSION 7
REGISTERED PLAN 4R20412
CUMBERLAND
CITY OF OTTAWA

ZONING ZONE V1D (18R)
SITE DIMENSIONS SEE PLAN
SITE AREA 2700 square meters

ARCHITECTURAL DRAWING LIST

NUMBER	
A-00	COVER SHEET, PROJECT INFORMATION
SP1	& DRAWING LIST. GENERAL NOTES, CODE MATRIX SITE PLAN
ELEVATIONS	
A-200	EAST & SOUTH ELEVATIONS
A-210	WEST & NORTH ELEVATIONS
PLANS	
A-300	GENERAL INFO KEY FLOOR PLANS SHOWING -FIRE SEPARATIONS -DETECTION SYSTEMS -DWELLING UTILITIES -NATURAL LIGHT % OF ROOMS
A-301	UNDER GROUND PARKING GARAGE FLOOR PLAN
A-310	MAIN FLOOR PLAN
A-320	SECOND STOREY FLOOR PLAN
A-330	ROOF PLAN

ASSEMBLIES SPECIFICATIONS

SECTIONS	
A-400	CROSS SECTION A-A & B-B
A-410	CROSS SECTION C-C -WHEELCHAIR RAMP ELEVATION -WHEELCHAIR RAMP SECTION & DETAILS
A-420	STAIR CROSS SECTION
A-430	ELEVATOR SECTIONS & DETAILS
A-500	BALCONIES PLAN, SECTIONS & DETAILS
DETAILS	
A-510	CONSTRUCTION DETAILS (FOUNDATION)
A-511	UNDERGROUND PARKING ACCESS RAMP ACCESS RAMP DETAILS

SCHEDULE	
A-600	DOOR & WINDOW SCHEDULE

Energy Efficiency Design Summary (Part 9 Residential)

B. Compliance Option							
■ SB-12 Prescriptive (SB-12 – 3.1.1.)		Table: 3.1.1.2.A	Package: A1				
C. Project Design Conditions							
Climatic Zone (SB-1):		Heating Equipment Efficiency		Space Heating Fuel Source			
■ Zone 1 (<5000 degree days)	■ ≥90% AFUE	■ Gas	□ Propane	□ Solid Fuel			
□ Zone 2 (≥5000 degree days)	□ ≥78% <90% AFUE	□ Oil	□ Electric	□ Earth Energy			
Windows + Skylights + Glass Doors		Other Building Conditions		N/A			
Gross Wall Area = 754.25 m ²		□ ICF Basement		□ Walkout Basement	□ Log/Post		
Gross Window+ Area = 140.08 m ²		□ ICF Above Grade		□ Slab-on-ground	& Beam		
% Windows+ 18.57 %							
D. Building specifications							
Building components		RSI / R values		Building components		Efficiency Ratings	
Thermal Insulation				Window & Doors ¹			
Ceiling with Attic Space		R60		Windows/Sliding Glass Doors		1.6/(0.28)Max.U	
Ceiling without Attic Space		N/A (R31)		Skylights		N/A: 2.8/(0.49)Max.U	
Exposed Floor		N/A (R31)		Mechanicals			
Walls Above Grade		R22		Space Heating Equip. ^{2,3}		96%	
Basement Walls		R20ci		HRV Efficiency (%) ³		75%	
Slab (all >600mm below grade)		N/A(-)		DHW Heater (EF) ³		0.8	
Slab (edge only ≤600mm below grade)		N/A(R10)					
Slab (all >600mm below grade, or heated)		N/A(R10)					
NOTES:							
1. Provide U-value in W/m ² .K or R rating							
2. Provide AFUE or indicate if condensing type combined system used							
3. Equip ¹ manufacturer's specs to be left on site for inspector.							

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS. USE ONLY THE DRAWINGS WHICH ARE STAMPED AND IDENTIFIED AS "ISSUED FOR CONSTRUCTION".
- THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE. ESTABLISH THE COORDINATION BETWEEN DIFFERENT DISCIPLINES AND ADVISE THE ENGINEER OF ANY DISCREPANCY PRIOR TO STARTING ANY WORK OR ORDERING ANY MATERIAL.
- ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECT TO GOOD BUILDING PRACTICE. USE ONLY EXPERIENCED AND COMPETENT TRADE.
- EXISTING PUBLIC UTILITIES (SEWER, WATER, HYDRO, BELL, GAS, ETC.) ABOVE OR UNDERGROUND ARE NOT SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO LOCATE ALL SERVICES AFFECTED BY HIS WORK AND WILL BE RESPONSIBLE FOR ALL DAMAGES.
- KEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.
- CONTRACTOR TO REQUEST STAKE OUT AND VERIFY LOCATIONS FOR ALL UTILITIES PRIOR TO THE START OF THE CONSTRUCTION AND REPORT ALL CONFLICTS TO THE OWNER IN WRITING.
- GENERAL REVIEW OF BUILDING STRUCTURE SHALL BE DONE BY A PROFESSIONAL ENGINEER LICENSED IN ONTARIO. THE ENGINEER SHALL BE RESPONSIBLE TO ESTABLISH THE DIFFERENT INSPECTION IN ORDER TO SUBMIT A GENERAL CONFORMITY REPORT AT THE END OF THE CONSTRUCTION.

CONCRETE NOTES:

- ALL CONCRETE SHALL BE AS FOLLOW:
- FOUNDATION WALLS TO BE OF CLASS F2, 25MPa (3500psi) AT 28 DAYS CW 5 TO 8% AIR ENTRAINED
 - FOOTING & PADS TO BE OF CLASS N, 25 MPa (3500 psi) AT 28 DAYS
 - ALL INTERIOR & EXTERIOR SLABS TO BE 32MPa (4650 psi) AT 28 DAYS CW 5 TO 8% AIR ENTRAINED.
 - CONCRETE TO HAVE A MAXIMUM SLUMP OF 3" (75MM).
 - ALL CONCRETE WORK TO RESPECT REQUIREMENTS OF CSA A 23.3, A23.1, A23.2
 - INSTALL CONCRETE SEALER AND HARDENER ON SLAB.

RE-BAR NOTES:

- ALL REBARS TO BE 60 KSI (400 MPA) CLEAN OF ANY DIRT, SPACED AS SHOWN ON DRAWINGS. ALL REBARS TO MEET CSA G30.18- M52
- COVER FOR CONCRETE CONSTRUCTION. THE MINIMUM CLEAR COVER FOR REINFORCEMENT IN CONCRETE SHALL BE:
A- CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3" (75MM)
B- EXPOSED TO EARTH OR WEATHER.
20M OR BIGGER = 2" (50MM)
15M OR SMALLER = 1-1/2" (40MM)
C- NOT EXPOSED TO WEATHER OR NOT IN CONTACT THE GROUND, SLABS, WALL.
35M AND SMALLER = 3/4" (20MM)
- OVERLAPPING FOR REBARS SHALL BE:
15M AND SMALLER = 18" (500MM)
20M AND BIGGER = 24" (600MM)
- PROVIDE CORNER REBARS OF 24" x 24" SPACED THE SAME AS WALL HORIZONTAL REINFORCEMENT.
- ALL BENDING OF REBARS SHALL BE COLD BEND TYPE. DO NOT FLAME CUT OR WELD REINFORCING STEEL.

STAIRS:

- PUBLIC STAIRS: (RECTANGULAR TREADS)
MAXIMUM RISERS: 7 3/32"(180mm) MINIMUM 4-29/32" (125mm)
MAXIMUM RUN: NO LIMIT MINIMUM 11-1/32"(280mm)
- PRIVATE STAIRS: (RECTANGULAR TREADS)
MAXIMUM RISERS: 7 7/8"(200mm) MINIMUM 4-29/32" (125mm)
MAXIMUM RUN: 13-31/32" (355mm) MINIMUM 10-1/32"(255mm)
- MINIMUM HEADROOM FOR INTERIOR STAIRCASE: 6'-5"(1950mm) EXTERIOR STAIRCASE: 6'-9" (2050mm)

- ALL RAILING SHALL BE 34-1/16"(865mm) HIGH ON STEPS, 36" ON LANDINGS, 42" HIGH ON BALCONIES AND UPPER FLOOR LOFT.

THERMAL INSULATION AND VAPOUR BARRIERS

- ALL ACCESS HATCHES INTO ATTICS TO BE 21-21/32" x 35-7/16" min. (550 mm by 900 mm) CW WEATHERSTRIP AROUND THE PERIMETER OF THE HATCH AND INSULATED. WHEN INSTALLED IN A FIRE RATED CEILING MEMBRANE THE ATTIC ACCESS MUST BE A PREFAB UNIT CW CLOSER AND ULC LABELLED (SEE PLAN FOR RATING)
- DUCTWORK IN ATTIC OR ROOF SPACES SHALL HAVE ALL JOINTS TAPED OR BE OTHERWISE SEALED TO ENSURE THAT DUCTS ARE AIR-TIGHT THROUGHOUT THEIR LENGTH.
- CLEARANCES BETWEEN CHIMNEYS OR GAS VENTS AND THE SURROUNDING CONSTRUCTION WHEN BUILDING INTO AN ATTIC OR ROOF SPACE SHALL BE SEALED BY NONCOMBUSTIBLE MATERIAL TO PREVENT SUCH LEAKAGE.

- INSULATION INSTALLED IN CEILING AND EXTERIOR WALLS SHALL BE PROTECTED BY TYPE "1" VAPOUR BARRIERS TO CAN/CGSB-51.34M. INSTALLED SO THAT ALL JOINTS OCCUR AT FRAMING MEMBERS FURRING OR BLOCKING AND LAPPED AT 4" MINIMUM AT ALL JOINTS (CAULKED).

- HOLES THROUGH VAPOUR BARRIERS INSTALLED IN CEILINGS FOR THE INSTALLATION OF ELECTRICAL WIRING AND BOXES, PIPING OR DUCTWORK SHALL BE EFFECTIVELY SEALED WITH CAULKING, TAPE OR OTHER APPROVED MATERIAL TO MAINTAIN THE INTEGRITY OF THE VAPOUR BARRIER OVER THE ENTIRE CEILING.

- Ceiling insulation may be loose fill type or batt type.

WOOD & FASTENING NOTES:

- ALL MATERIALS MUST BE CONSISTENT WITH STANDARDS AND CODES AND ALL WOOD WORK SHALL CONFORM TO CSA CAN 086.1-01.
- UNLESS SPECIFIED OTHERWISE, ALL STRUCTURE SHALL BE IN SPRUCE-PINE-FIR WOOD CATEGORY #2 AND BETTER (DRY WOOD).
- ALL WOOD WORK SHALL BE AS PER CSA086
- ALL EXTERIOR PLYWOOD TO BE EXTERIOR GRADE WATERPROOF MEETING THE REQUIREMENTS OF CSA0121 & CSA0151 AND MUST BE STAMP COFI EXTERIOR.
- ALL LVL PRODUCT TO BE 2.0E OR BETTER

- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE STRUCTURE AND ALL ITS ELEMENTS IN A STRAIGHT PLUMB AND TRUE CONDITION, UNTIL THE STRUCTURE IS COMPLETE. THE CONTRACTOR IS TO INSTALL ALL REQUIRED BRACING AND TEMPORARY BRACING AS MAY BE REQUIRED TO DO THIS.

- ALL FLOOR JOISTS TO BE PREFABRICATED, PRE-ENGINEERED TO CARRY LOADS AS SPECIFIED IN THE ONTARIO BUILDING CODE. ALL FLUSH MOUNT HANGERS SHALL BE AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE SHOP DRAWINGS SIGNED BY A PROFESSIONAL ENGINEER.

- ALL NAILS TO BE COMMON STEEL NAILS OR REGULAR SPIRAL NAILS AND COMPLY WITH CODES AND STANDARDS. ALL NAILS SHALL BE SUFFICIENTLY LONG TO ENSURE THAT NOT LESS THAN HALF OF THE LENGTH OF THE NAIL PENETRATES THE SECOND MEMBER.

- THE BUILDING SHALL BE LEVELED, SQUARED, TRUE AND IN ALIGNMENT AND COMPLIANCE WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. IT SHALL FOLLOW GOOD WORKMANSHIP.

- DOUBLE THE JOIST UNDER THE PARTITIONS THAT ARE PARALLEL TO THE JOISTS.

11 - ROOF TRUSSES:

- REFER TO PLANS FOR THE GEOMETRY OF THE TRUSSES.

- CALCULATE THE ROOF TRUSS: ENSURE THAT BRACING, SPACERS AND ASSEMBLY MECHANISM SUPPORT THE INDICATED CHARGES AND THE LOADS OF THE VARIOUS EQUIPMENT.

- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, CALCULATIONS AND INSTALLATION PLANS FOR THE ROOF TRUSSES WITH AN ENGINEER STAMP AND SIGNATURE FOR APPROVAL.

- ALL TRUSS TO PRE-FABRICATED, PRE-ENGINEERING TYPE TO CARRY LOAD AS SPECIFIED IN THE ONTARIO BUILDING CODE. PROVIDE WIND BRACING AS REQUIRED BY THE ONTARIO BUILDING CODE. A SPECIAL ATTENTION SHOULD BE GIVEN TO TRUSS' FASTENING SYSTEM. OVER THE WALLS TO ENSURE A FAIR DISTRIBUTION OF THE GRAVITY AND WIND LOADS.

- THE CONTRACTOR SHALL PROVIDE THE NECESSARY SPACERS, BRACING AND TRUSSES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

- PRIVATE TRUSSES (HIGHER THAN 48 ") SHOULD BE SCREWED IN, WHILE RESPECTING THE STANDARDS AND CODES.

- THE INSTALLATION OF DENSEGUARD IS REQUIRED WHERE THERE IS CERAMIC AND IN BATHROOMS. THE JOINTS SHALL BE SEALED WITH PAINT.

ROOFING:

- THE GENERAL CONTRACTOR SHALL SUPPLIE A DAGENAIS & ASSOC. INC WITH 1 COPY OF THE ROOF TRUSS SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
ALL TRUSSES ARE TO BE CONNECTED TO TRIPPLE TOP PLATE WITH SIMPSON STRONG TIE, HOLD DOWN #H10 & DOUBLE TRUSSES @ BUTTRESS SHALL BE ANCHOR WITH H10A-2
ALL ROOFING SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND CONFORM TO THE ONTARIO BUILDING CODE.
PROVIDE PROPER ATTIC VENTILATION OF 1/300 MIN. OF INSULATED CEILING AREA.
ALL ROOFING SHALL BE APPLIED ACCORDING TO MANUFACTURERS SPECIFICATION AND SHALL CONFORM TO THE 2015 ONTARIO BUILDING CODE.

SHEET METAL:

- ALL REQUIRED FLASHINGS TO BE 28GA. PRE-PAINTED UNLESS OTHERWISE SPECIFIED

ABBREVIATIONS:

A.A.	ATTIC ACCESS
ABV	ABOVE
A.B.	ANCHOR BOLT
B.F.	BLOCK
BL.W.	BELOW
B/W	BOTH WAYS
B.P.	BEAM POCKET 3 1/2"
CATH.	CATHEDRAL
CLG.	CEILING
COL.	COLUMN
CONC.	CONCRETE
CSMT.	CASEMENT
C/C	CENTER
C/W	COMPLETE WITH
DBL	DOUBLE
DECO.	DECORATIVE
DIA.	DIAMETER
DISP.	DISPOSAL
DJ	DOUBLE JOISTS
DRJ	DOUBLE RIM JOISTS
DR.	DOOR
DW	DISH WASHER
E.E.	EACH END
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EXT.	EXTERIOR
EXIST.	EXISTING
F.G.	FINISH GRADE
FIN.	FIRE RATED
FL.	FINISHED FLOOR
FW.	FOUNDATION WALL
G.T.	GIRDER TRUSS
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLASS
GS.	GIRDER SUPPORT
HGT.	HEIGHT
HORIZ.	HORIZONTAL
HR.	HOUR
H.E.	HOOD EXHAUST
INSUL.	INSULATION
INT.	INTERIOR
JST	JOISTS
JH	JOIST HANGER
KIT.	KITCHEN
LG.	LONG
LIN.	LINEN
LT.	LIGHT
LVL.	LAMINATED VENEER LUMBER
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
M.R.H.	MEAN ROOF HEIGHT
M.T.	METAL THRESHOLD
MAX.	MAXIMUM
MFR.	MANUFACTURER
MW	MICROWAVE
MN.	MINIMUM
MTL.	METAL
O.H.D.	OVER HEAD DOOR
PL	PLATE
P.L.F.	POUNDS PER LINEAR FOOT
P.S.F.	POUNDS PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
PARTN.	PARTITION
PKT.	POCKET
PLYWD.	PLYWOOD
R.O.	ROUGH OPENING
S.A.	STEEL ANGLE
S.B.	SOLDER BRICK
S.C.	SOLID CORE
S.G.D.	SLIDING GLASS DOOR
SF	SQUARE FOOT
SH	SINGLE HUNG
S/L	SIDE LIGHT
STL	STIRRUPS
ST.	STEEL
SW	SWITCH
SWC	SOLID WOOD CORE
TH	THICK
T.O.F.D.	TOP OF FOUNDATION
T.O.FTG.	TOP OF FOOTING
T.O.PL.	TOP OF WOOD PLATE
US	UNDER SIDE
U.O.N	UNLESS OTHER WISE NOTED

CODE CHECK CALCULATIONS:

BUILDING INFO AREA

M.O. : C
2 - 2 bedroom apartment
10 - 1 bedroom apartment

SUBTOTAL OCCUPANCY LOAD : 28

M.O. : F3
1 - 440 sqm @ 46.00m²/PERSONS

SUBTOTAL OCCUPANCY LOAD : 10

TOTAL OCCUPANCY LOAD : 38

Item	Ontario Building Code Data Matrix Parts 3 & 9						OBC Reference				
1	Project Description: 12 Unit Apartment Building 5574 Rockdale Road, Vars Ontario				☒ New Construction ☐ Addition ☐ Renovation		☒ Part 3	☒ Part 9 2.1.1. 9.10.1.3.			
2	Major Occupancy(s): Group C and Group F3						3.1.2.1.(1)	9.10.2.			
3	Building Area (m ²):		Existing :	n/a	+	New : 599.5m ²	Total = 599.5m ²	1.1.3.2.	1.1.3.2.		
4	Gross Area (m ²):		Existing :	n/a	+	New : 1190.6m ²	Total = 1190.6m ²	1.1.3.2.	1.1.3.2.		
5	Number of Storeys:		Above grade: 2		Below grade: 1			3.2.1.1. & 1.1.3.2.	2.1.1.3.		
6	Height of building (m):		± 9.5m						2.1.1.3.		
7	Design & General Review: Architect & Professional engineer								2.1.1.3.		
8	Occupant load:		38				3.1.17.1		9.9.1.3.		
9	Number of Streets/Access Routes:		1				3.2.2.10. & 3.2.5.5.				
10	Structural Requirements: Designed according to Part 9 & Part 4								9.4.1.		
11	Barrier-free Design:		Yes				3.8.		9.5.2.		
12	Exit signs:		Required: No (Not a 3 storey bldg and occupant load <150 pers.)				Provided: Yes	3.8.	9.9.11.3.		
13	Emergency Lighting:		Required: Yes				Provided: Yes		9.9.12.3.		
14	Items Under Part 3 Jurisdiction: Elevator & lobby: Proposed in our plans Assembly Occupancy: None in plans Hazardous Substance: None in plans Sprinkler System: None in plans						3.5., 3.2.8.5.(1)		9.10.1.3.		
15	Occupancy Classification:		Group C & Group F3						9.10.2.1.		
16	Major Occupancies above Other Occupancy:		Yes Second Storey: Group C (Residential Apartment) Main Storey: Group C (Residential Apartment) Basement: Group F3 (Storage garage more than 5 cars)						9.10.2.3.		
17	Mezzanine(s):		No				3.2.1.1.(3)-(8)		9.10.4.1.		
18	Permitted Construction:		☒ Combustible	☐ Non-combustible	☐ Both	3.2.2.20.-83.			9.10.6.		
	Proposed Construction:		☒ Combustible	☐ Non-combustible	☐ Both						
	Horizontal Fire (F.R.R.) Fire Resistance Rating as per 9.10.8.1. (Except otherwise provided in other subsections)		Required & Provided Horizontal Fire (F.R.R.) Fire Resistance Rating as per other subsections				3.2.2.20.-83. & 3.2.1.4. 3.1.3.1		9.10.8.1 9.10.8.3 9.10.9.10.(1) 9.10.9.11.(1) 9.10.16.1.(1)		
	Floors:		GF:	45 min	Floors:	GF:	9.10.9.16.(1)				
	2nd:		45 min		2nd:		9.10.9.11.(1)				
	Roof		0 min		Roof		9.10.9.10.(1)				
	Mezzanine		n/a		Mezzanine						
	Supporting Members		45 min		Supporting Members		Basem't: GF: 2nd:	9.10.8.3.			
19	Firewall: Required: No		Provided: No						9.10.11		
20	Exterior walls meeting at an angle:		Yes		therefore 1200mm (3'-11") min. between openings				9.10.12.3.		
21	Alarm & Detection Systems:								9.10.18.		
	Fire Alarm :		Required : Yes Specified on plan : No (only annonnaciator location in main lobby) Designed by : Fire Alarm Contractor						9.10.18.2. 9.10.18.6		
	Heat or Smoke detectors : (when fire alarm is required)		Required : Yes Specified on plan : No Designed by : Fire Alarm Contractor						9.10.18.3. 9.10.18.4 9.10.18.6		
22	Smoke Alarms & Carbon monoxide Alarms: (within dwelling unit)		Required : Yes Specified on plan : Yes Location : All bedrooms and corridor within the dwelling Interconnected : Yes						9.10.19. 9.10.19.2. 9.10.19.4.		
23	Water Service/Supply:		Municipal								
24	Sewage:		Septic Bed								
25	Spatial Separation - Construction of Exterior Walls						3.2.3.		9.10.14.		
	Wall	Area of EBF (sq.m.)	L.D. (m.)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	F.R.R. (Hours)	Listed Design or Description	Comb. Const.	Comb. Const. Non-C. Cladding	Non-C. Const.
	North	158.12	38.4	N/A	N/A	100	12.9	1hr	SB2 & SB3	X	
	South	145.03	23.385	N/A	N/A	100	12.0	1hr	SB2 & SB3	X	
	West	225.29	11.7	N/A	N/A	50	19.7	1hr	SB2 & SB3	X	
	East	226.00	31.384	N/A	N/A	100	25.5	1hr	SB2 & SB3	X	
26	Travel Distance		Group A div. 3		sprinklered	not sprinklered			3.4.2.5		
			45 m	30 m							

BUILDING CODE ANALYSIS:

PROJECT DESCRIPTION: Proposed two storey building of 12 Condominiums with underground parking garage for 16 vehicles	
Number of storeys: 2	Building area: 6 452.96 sqft (599.5 sqm)
Building area: 6 452.96 sqft (599.5 sqm)	Number of streets: 1
Barrier free is accessible to the building (condo units) handicapped lift is provided.	
1. Application of part 9 Div. A- 1.1.2.4.(1)	Code Application: Part 9 building
2. Occupancy load Div. B- 9.10.2	Group classification: Residential units Group C Parking Garage Group F-3
3. Design and general review Div. C- 1.2.1.1.(1)	Design & general review by Architect and a professional Engineer
4. Occupant load Div. B- 9.9.1.3	Occupant load: 1st floor: 14 persons 2nd floor: 14 persons Basement F-3, Garage: 10 persons Total: 38 persons
5. Fire resistance rating for floor and roof fire separations Div. B Table 9.10.8.1	Building Classification residential C allow for combustible all walls, columns & arches in the storey below for a assembly shall have a fire resistance rating not less than the required for the supported floor - 45 min. Roof assembly shall have a fire resistance rating not less than 45 min.
6. Separation of public corridors Div. B- 9.10.9.15	Separation of residential suites - Wall assembly - 45 min. Provide 1hr
7. Fire resi., Comb & Sprinklers, in relation to occ. height, and supported elements/ fire separations Div. B- 9.10.8 and 9.10.9	Basement / storage garage shall be separated by a fire separation having not less than a 1.5 hr. fire-resistance rating
8. Fire resi., Comb & Sprinklers, in relation to occ. height, and supported elements/ Separation of storage garage Div. B- 9.10.8 and 9.10.9.16	Automatic Sprinkler system not required in parking garage
9. Fire alarm system required Div. B- 9.10.18.2	A fire Alarm and detection system is required / specified by mechanical & electrical engineer
10. Concealed spaces above fire separations/Required fire blocks in concealed spaces Div. B- 9.10.9.10/ 9.10.16.1	Required fire stops in concealed spaces
11. Air barrier systems Div. B- 9.25.3	Ventilation of the parking has to be provided in conformance with the requirements of 6.2.2. Refer to mechanical engineer for details As per 6.2.2.3 Mech-ventilation is required in storage garage (Co detector)
12. Storage garages Div. B- 9.5.3.3	Clear height in the garage has to be not less than 2 meters (6'-7")
13. Emergency lighting Div. B- 3.2.7.6	Emergency lighting has to be provided in parking garage to an average level of illumination not less than 10lx
14. Storage rooms Div. B- 9.10.10.6	Storage room shall be 1 hr. fire resistance
15. Penetration of fire separation Div. B- 9.10.9.6	Service equipment penetrating a fire separation
16. Spatial separation between buildings Div. B- 9.10.14	Spatial separation

U:\Users\Pierre Yonick\w 2025\architecture\Multi-logis\Projet Bergeron\2025\04-28 - Project Bergeron - Architecture.dwg



WEST ELEVATION
SCALE: 1/75

ALL W4, W5 WINDOWS SHALL BE PROTECTED BY A CONTROLLED SASH OPERATION TO RESTRICT, WHEN ENGAGED, THE OPENING OF THE OPERABLE SASH TO NOT MORE THAN 100mm (4") SEE WINDOW SCHEDULES

- LEGEND:
1. MAXIMUM ROOD VENT MODEL 301 OR EQUIVALENT
 2. ASPHALT SHINGLES (25 YEARS MIN.)
 3. PRE-PAINTED FLASHING
 4. ALUMINUM FASCIA ON 2x6
 5. ALUMINUM VENTED SOFFIT
 6. VERTICAL CANEXEL SIDING
 7. 6" WIDE VINYL TRIM
 8. 8" HIGH MOLDING SEE DETAIL 3/A4.0
 9. WOOD BEAM BULKHEAD COVERED WITH ALUMINUM FLAT STOCK
 10. 8"x8" ALUMINUM DECORATIVE COLUMN OVER WOOD POST
 11. PRE-FAB RAILING (SPECS BY MANUFACTURER) TO MEET O.B.C. 2012 TABLE 9.8.8.2
 12. DECK COVERED WITH ALUMINUM FLAT STOCK
 13. 10"x10" REINFORCED CONCRETE PILLAR ON CONCRETE PAD (SEE FOUNDATION PLAN)
 14. STONE VENEER
 15. WEEPHOLES @ 24" o/c
 16. SAND FINISH PARING
 17. PRECAST CONCRETE INTEL 8" HEIGHT
 18. 4" HIGH PRECAST CONCRETE WINDOW SILL
 19. REINFORCED CONCRETE STEPS AND PORCH (BROOM FINISH) SEE DETAILS
 20. GALV. WINDOW WELL CW VERT. 4" dia. DRAINAGE PIPE FILLEDW CLEAN STONE DOWN TO FTG PERIMETER DRAIN BUT NOT CONNECTED TO IT.



NORTH ELEVATION
SCALE: 1/75

NOTE: THIS ELEVATION IS THE CRITICAL ELEVATION FOR THE BUILDING HEIGHT

IMPORTANT NOTES:

MISCELLANEOUS

- CAULK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND.
- FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALLS.
- ALL SIDING TO BE A MINIMUM OF 8" (200mm) ABOVE FINISHED GRADE.

ABOVE GRADE MASONRY

- ALL ABOVE GRADE MASONRY IS TO CONFORM TO THE ONTARIO BUILDING CODE.
- AT THE BRICK VENEER COUNTERFLASHING SHALL BE UP 8" (200mm) BEHIND THE BUILDING FELT FELT AND BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RAKED CLEAN. WEEPHOLES 24" (600mm) O.C.
- BRICK VENEER TIE SPACING TO BE AT MAXIMUM VERTICAL SPACING OF 16" (400mm) AND A MAXIMUM VERTICAL SPACING OF 24" (600mm) OR A MAXIMUM HORIZONTAL OF 24" (600mm) AND A MAXIMUM VERTICAL SPACING OF 20" (500mm) TO COINCIDE WITH WALL STUDS SPACING.

ROOFING

- ALL ROOFING SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND CONFORM TO ONTARIO BUILDING CODE.
- TWO LAYERS OF FELT PAPER SHALL BE INSTALLED ON EAVES EXTENDING 30" (750mm) ON ROOF FROM THE INNER FACE OF THE EXTERIOR WALL.
- FELT PAPER SHALL BE INSTALLED UNDER ROOF VALLEY EXTENDING 48" ON BOTH SIDES ON JOINING ROOF.

SHEET METAL

- ALL REQUIRED FLASHINGS TO BE 38 GAUGE GALVANIZED METAL UNLESS OTHERWISE SPECIFIED ON PLANS.

ALL OVERHANG DIMENSIONS ARE FROM FACE OF STUD TO FACE OF FASCIA BOARD

PROVIDE PROPER ATTIC VENTILATION 1/300 MIN. OF INSULATED CEILING AREA

ISSUED FOR			REVISION		
No	DATE	DESCRIPTION	App.	No	DATE
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29
				1.2	2025.05.13

REVISION		
No	DATE	DESCRIPTION
1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022
1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022



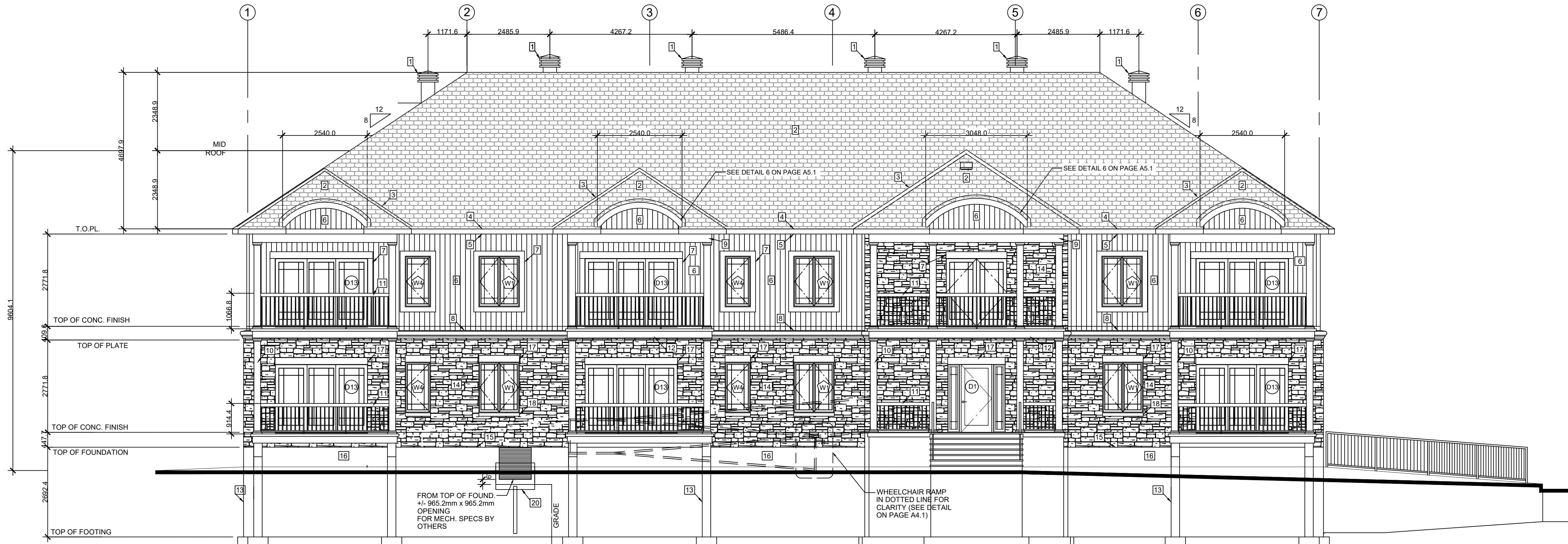
PTabet
architecte

2232 rue Saint-Louis
Gatineau, Q.C. J8T 5L6
t.: 819.568.3994
c.: 819.797.0375
pierretabetarchitecte.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

Project		12 UNIT APARTMENT BUILDING	
5574 Rockdale Road, Vars, ON		Client: 2394011 ONTARIO INC.	
Title	NORTH AND WEST ELEVATIONS		Scale: 1:75
Date: 2022/05/16	Drawn: Y.Wolfe	Revision: 1.2	Verify: P.Tabet
		Sheet: 2 of 17	
		Drawing No. A-200	

U:\Users\Pierre Yonick\W 2025\architecture\Multi-logis\Projet Bergeron\2025\CAU\2025-04-28 - Project Bergeron - Architecture.dwg



EAST ELEVATION
SCALE: 1/75

ALL W4, W5 WINDOWS SHALL BE PROTECTED BY A CONTROLLED SASH OPERATION TO RESTRICT, WHEN ENGAGED, THE OPENING OF THE OPERABLE SASH TO NOT MORE THAN 100mm (4")
SEE WINDOW SCHEDULES

- LEGEND:
1. MAXIMUM ROOD VENT MODEL 301 OR EQUIVALENT
 2. ASPHALT SHINGLES (25 YEARS MIN.)
 3. PRE-PAINTED FLASHING
 4. ALUMINUM FASCIA ON 2x6
 5. ALUMINUM VENTED SOFFIT
 6. VERTICAL CANDEKEL SIDING
 7. 6" WIDE VINYL TRIM
 8. 8" HIGH MOLDING SEE DETAIL 3/A4.0
 9. WOOD BEAM BULKHEAD COVERED WITH ALUMINUM FLAT STOCK
 10. 8"x8" ALUMINUM DECORATIVE COLUMN OVER WOOD POST
 11. PRE-FAB RAILING (SPECS BY MANUFACTURER) TO MEET O.B.C. 2012 TABLE 9.8.8.2
 12. DECK COVERED WITH ALUMINUM FLAT STOCK
 13. 10"x10" REINFORCED CONCRETE PILLAR ON CONCRETE PAD (SEE FOUNDATION PLAN)
 14. STONE VENEER
 15. WEEPHOLES @ 24" c/c
 16. SAND FINISH PARING
 17. PRECAST CONCRETE LINTEL 8" HEIGHT
 18. 4" HIGH PRECAST CONCRETE WINDOW SILL
 19. REINFORCED CONCRETE STEPS AND PORCH (BROOM FINISH) SEE DETAILS
 20. GALV. WINDOW WELL C/W VERT. 4"dia. DRAINAGE PIPE FILLED/W CLEAN STONE DOWN TO FTG PERIMETER DRAIN BUT NOT CONNECTED TO IT.



SOUTH ELEVATION
SCALE: 1/75

IMPORTANT NOTES:

MISCELLANEOUS

- CAULK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND.
- FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALLS.
- ALL SIDING TO BE A MINIMUM OF 8" (200mm) ABOVE FINISHED GRADE.

ABOVE GRADE MASONRY

- ALL ABOVE GRADE MASONRY IS TO CONFORM TO THE ONTARIO BUILDING CODE.
- AT THE BRICK VENEER COUNTERFLASHING SHALL BE UP 8" (200mm) BEHIND THE BUILDING FELT FELT AND BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RAKED CLEAN. WEEPHOLES 24" (600mm) O.C.
- BRICK VENEER TIE SPACING TO BE AT MAXIMUM VERTICAL SPACING OF 16" (400mm) AND A MAXIMUM VERTICAL SPACING OF 24" (600mm) OR A MAXIMUM HORIZONTAL OF 24" (600mm) AND A MAXIMUM VERTICAL SPACING OF 20" (500mm) TO COINCIDE WITH WALL STUDS SPACING.

ROOFING

- ALL ROOFING SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND CONFORM TO ONTARIO BUILDING CODE.
- TWO LAYERS OF FELT PAPER SHALL BE INSTALLED ON EAVES EXTENDING 30" (750mm) ON ROOF FROM THE INNER FACE OF THE EXTERIOR WALL.
- FELT PAPER SHALL BE INSTALLED UNDER ROOF VALLEY EXTENDING 48" ON BOTH SIDES ON JOINING ROOF.

SHEET METAL

- ALL REQUIRED FLASHINGS TO BE 28 GAUGE GALVANIZED METAL UNLESS OTHERWISE SPECIFIED ON PLANS.

ALL OVERHANG DIMENSIONS ARE FROM FACE OF STUD TO FACE OF FASCIA BOARD

PROVIDE PROPER ATTIC VENTILATION 1/300 MIN. OF INSULATED CEILING AREA

ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.



PTabet
architecte

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

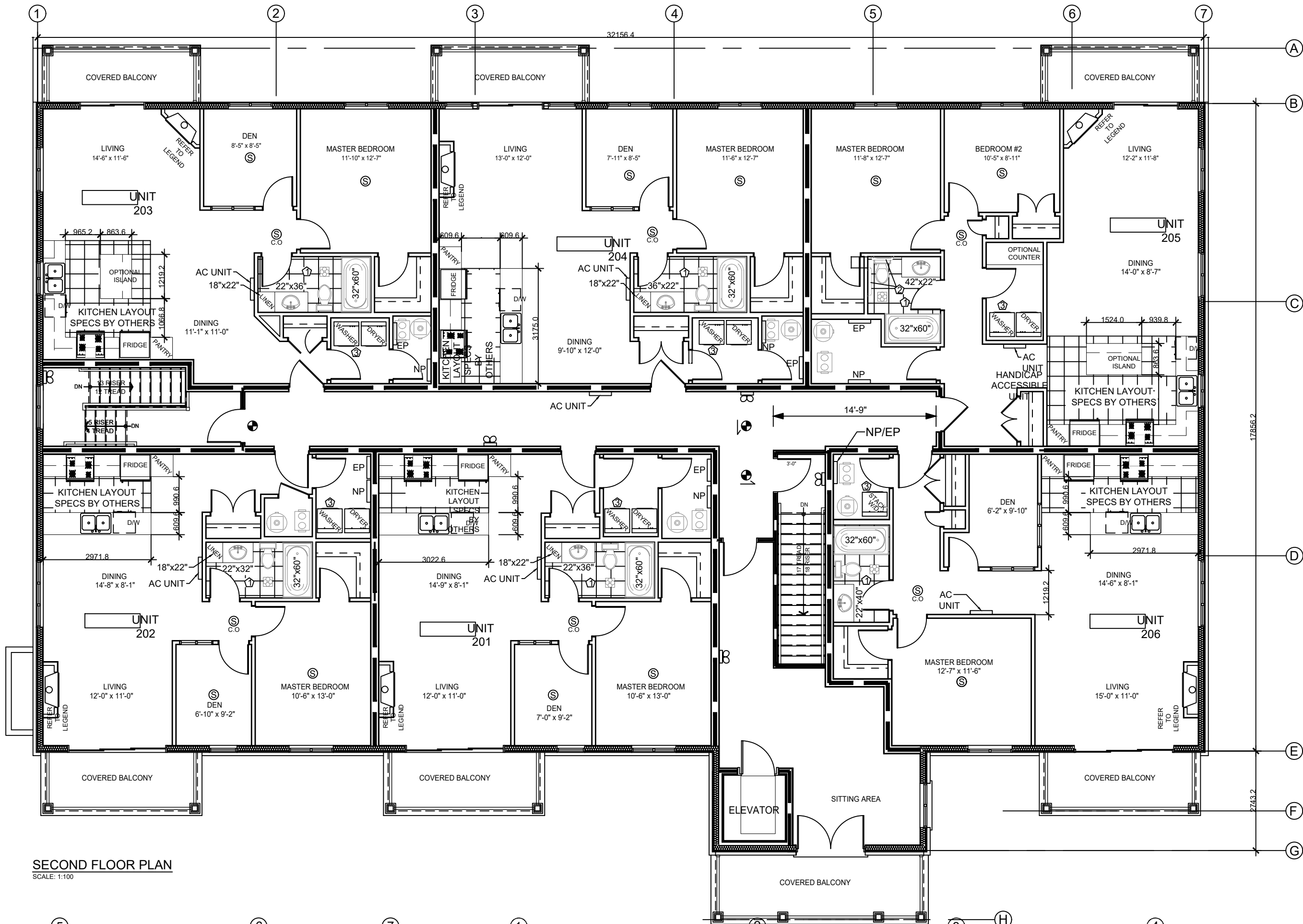
2232 rue Saint-Louis
Gatineau, Q.C. J8T 5L6
T.: 819-568-3994
C.: 613-779-0375
pierre@ptabetarchitecte.com

Project 12 UNIT APARTMENT BUILDING 5574 Rockdale Road, Vars, ON Client: 2394011 ONTARIO INC.			
Title SOUTH AND EAST ELEVATIONS		Scale: 1:75	
Date: 2022/05/16		Drawn: Y.Wolfe	Sheet: 3 of 17
Revision: 1.2		Verify: P.Tabet	Drawing No. A-210

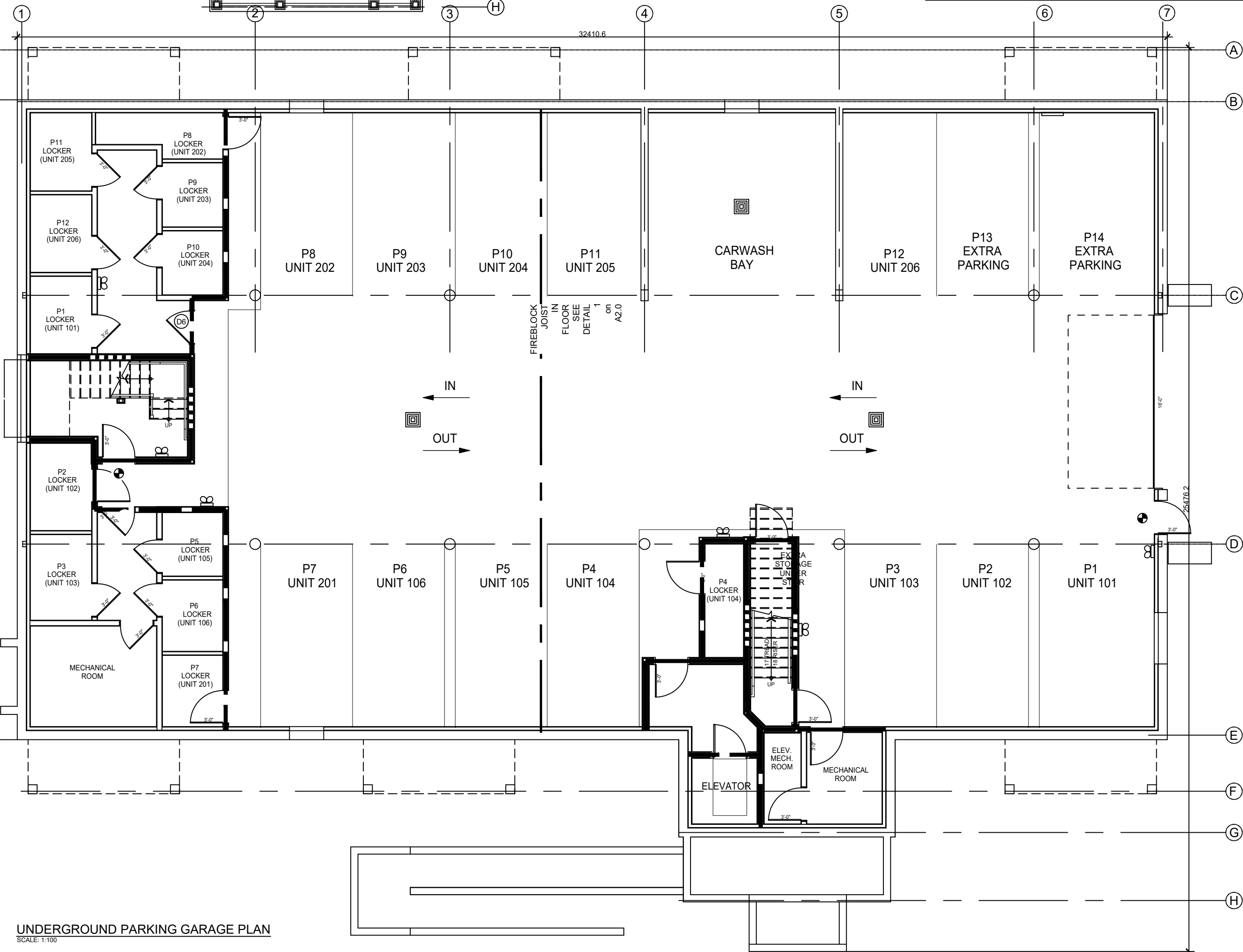
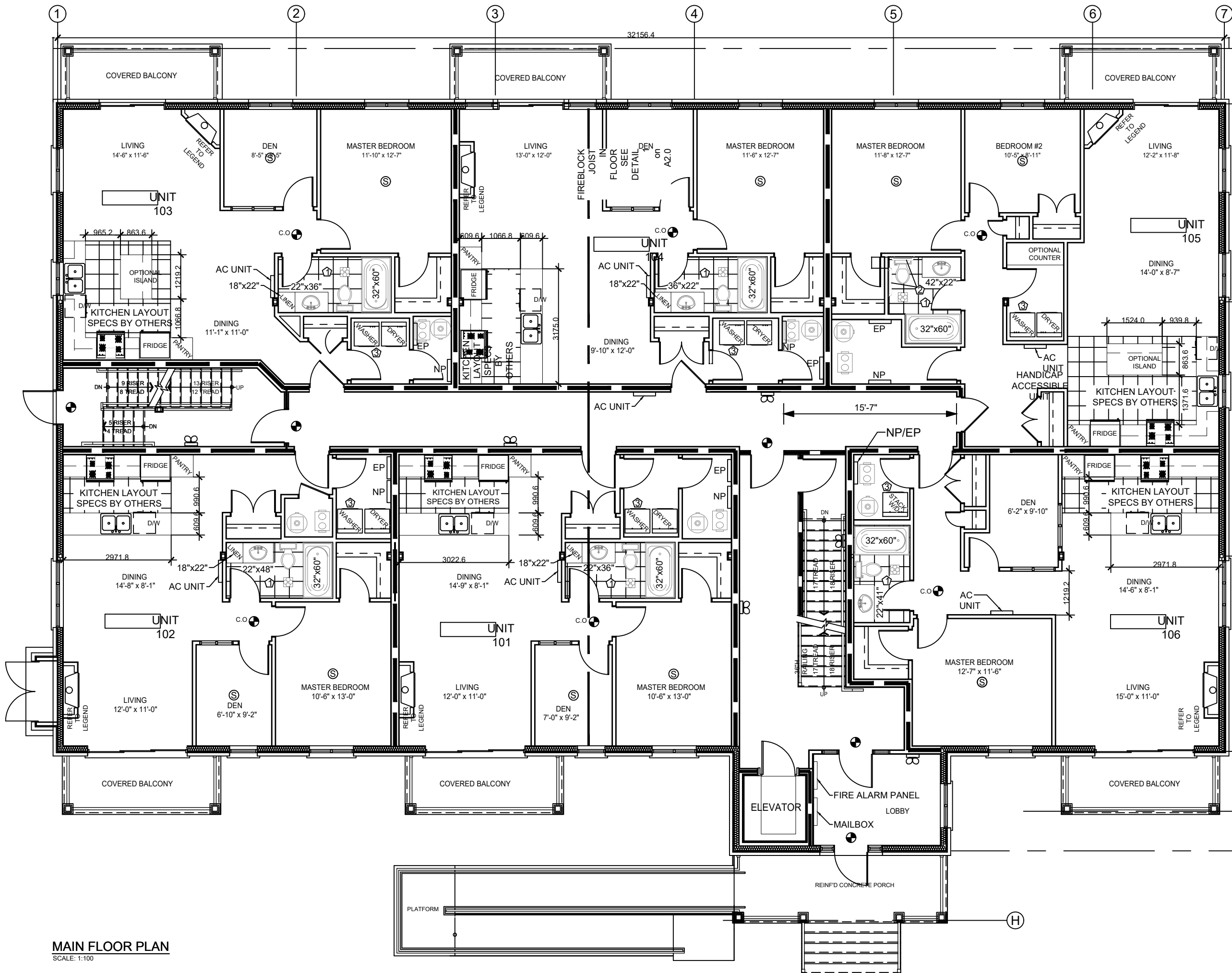
Glass areas for residential occupancy			
Div.B-9.7.2.3			
Dining room, Living room: 10% min. required			
Bedroom: 5% min. required			
All rooms have electric lighting			
Unit #	Room area sq.ft.	Glass area sq.ft.	Unobstructed glass area %
101			
Living & dining combined	246	42	17
Master bedroom	135	14	10
102			
Living & dining combined	245	63	26
Master bedroom	135	14	10
103			
Living & dining combined	294	46	16
Master bedroom	153	14	9
104			
Living & dining combined	291	51	18
Master bedroom	143	14	9.7
105			
Living & dining combined	260	55	21
Master bedroom	146	14	9.5
Bedroom 2	92	14	15
106			
Living & dining combined	284	63	22
Master bedroom	144	14	10

Unit #	Room area sq.ft.	Glass area sq.ft.	Unobstructed glass area %
201			
Living & dining combined	246	42	17
Master bedroom	135	14	10
202			
Living & dining combined	245	63	26
Master bedroom	135	14	10
203			
Living & dining combined	294	46	16
Master bedroom	148	14	9.5
204			
Living & dining combined	291	51	18
Master bedroom	143	14	9.7
205			
Living & dining combined	260	32	12
Master bedroom	147	14	9.5
Bedroom 2	93	14	15
206			
Living & dining combined	284	63	22
Master bedroom	144	14	10

THIS BUILDING MUST BE EQUIPPED WITH A FIRE ALARM AND DETECTION SYSTEM IN ADDITION TO THE SMOKE DETECTORS SPECIFIED ON PLAN WITHIN THE UNITS, DESIGNED AND SUBMITTED TO THE CITY OFFICIALS BY OTHER THAN A.DAGENAIS & ASSOC.



Legend	
	OPTIONAL FIREPLACE TO CONFORM WITH U.L.C. & O.B.C. (SPECIFIED BY OTHERS) SPECS TO BE LEFT ON SITE FOR INSPECTOR
	(H.W.T.) HOT WATER TANK (MIN. 0.8 EF.) ANCHORED TO STRUCTURE c/w TEMPERATURE PRESSURE RELIEF VALVE & MIXING VALVE SITTING IN A 24"x24" ALUMINUM DRAIN PAN
	(H.R.V.) HEAT RECOVERY VENTILATOR CEILING MOUNTED c/w FIRE DAMPERS IN DUCTS WHERE PASSING THROUGH CEILING FIRE RATED MEMBRANE
	KITCHEN RANGE EXHAUST HOOD c/w FIRE DAMPER WHERE PASSING THROUGH CEILING MEMBRANE
	BATHROOM FAN (60 CFM MIN.)
	TOILET SHALL BE 6 LPF (LITERS PER FLUSH)
	BATH TUB 32"x60" c/w SHOWER HEAD, CERAMIC ON WALL 60" HIGH FROM TOP OF BATH UNLESS OTHERWISE SPECIFIED BY OWNER
	ADD BLOCKING IN WALL NEAR TOILET & IN BATHTUB FOR FUTURE GRAB BAR INSTALLATION (OR 1/2" PLYWOOD ON ENTIRE WALL)
	GRAB BAR, DISTRIBUTOR: FROST PRODUCTS LTD. ITEM CODE 1001 24" ABOVE TOILET
	RIGHT ANGLED GRAB BAR, DISTRIBUTOR: FROST PRODUCTS LTD. ITEM CODE: 1003 30"x30" (SIDE OF TOILET)
	30"x32" PLASTIC DRAIN PAN
	SMOKE DETECTOR: ALL TO BE INTERCONNECTED WITH EACH OTHER WITHIN THE THE SUITE THEY ARE LOCATED
	SMOKE & CARBON MONOXIDE DETECTOR: TO BE INTERCONNECTED WITH OTHER SMOKE DETECTOR WITHIN THE SUITE THEY ARE LOCATED
	1H FIRE SEPARATION
	1H FIRE SEPARATION (EXTERIOR WALL)
	1.5H FIRE SEPARATION (around staircase)
	EMERGENCY LIGHTING AS PER O.B.C. 9.9.12.3
	ELECTRICAL PANEL
	NETWORK PANEL
	EXIT LIGHT SIGN AS PER O.B.C. 9.9.11.3
	CERAMIC FLOORING



ISSUED FOR			REVISION		
No	DATE	DESCRIPTION	App.	No	DATE
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29
				1.2	2025.05.13

REVISION			REVISION		
No	DATE	DESCRIPTION	App.	No	DATE
1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.	1.2	2025.05.13



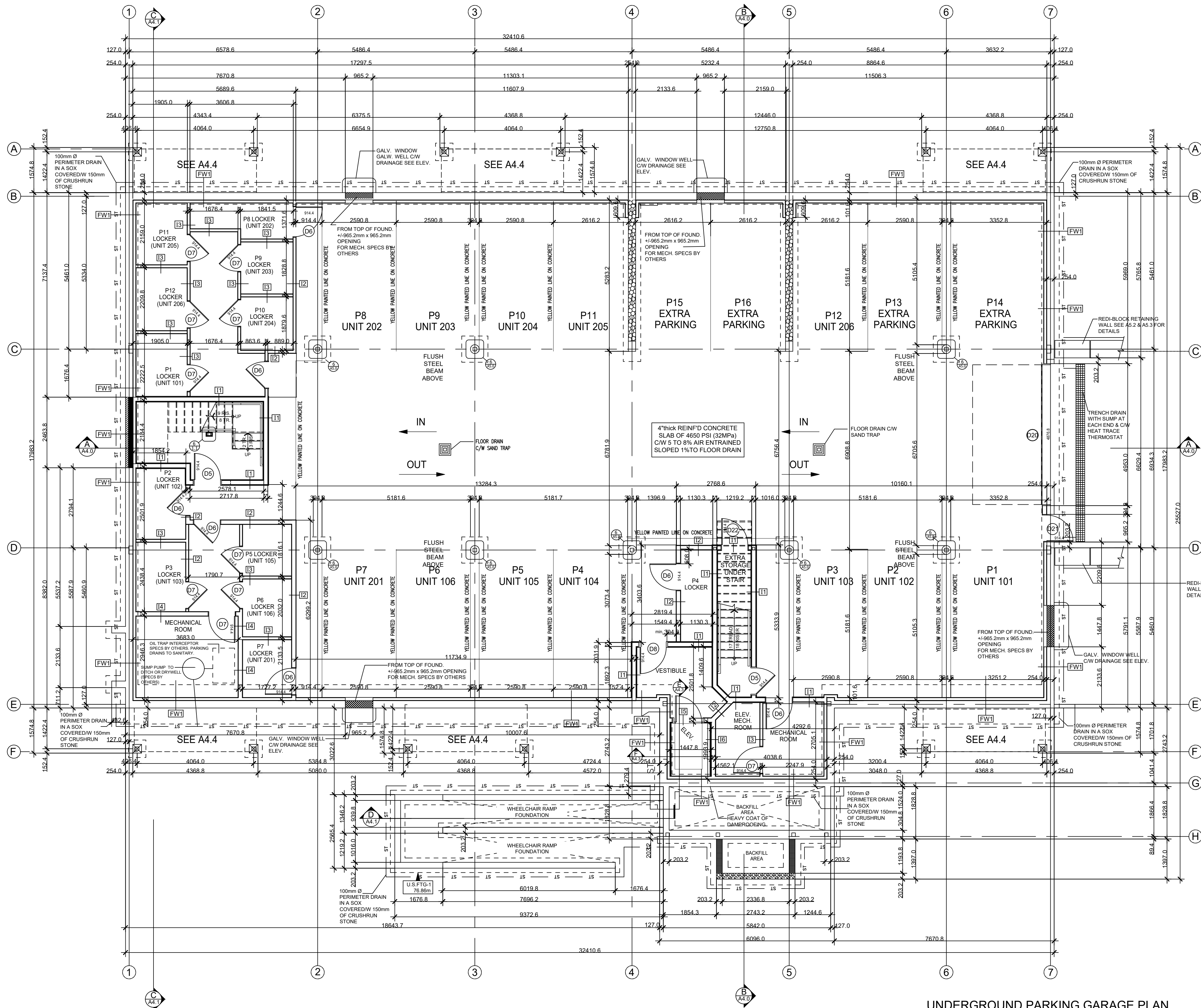
PTabet
architecte

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

2232 rue Saint-Louis
Gatineau, Q.C. J8L 5L6
t.: 819.568.3994
c.: 819.797.5775
pierrtabetarchitecte.com

Project		12 UNIT APARTMENT BUILDING	
5574 Rockdale Road, Vars, ON		Client: 2394011 ONTARIO INC.	
Title	GENERAL INFO. KEY FLOOR PLANS	Scale: 1:100	Sheet: 4 of 17
Date: 2022/05/16	Drawn: Y.Wolfe	Drawing No.	A-300
Revision: 1.2	Verify: P.Tabet		

U:\Users\Pierre Yonick\w 2025\architecture Multi-logis\Projet Bergeron\2025\CAU\2025-04-28 - Project Bergeron - Architecture.dwg



UNDERGROUND PARKING GARAGE PLAN
SCALE: 1/75

LEGEND:

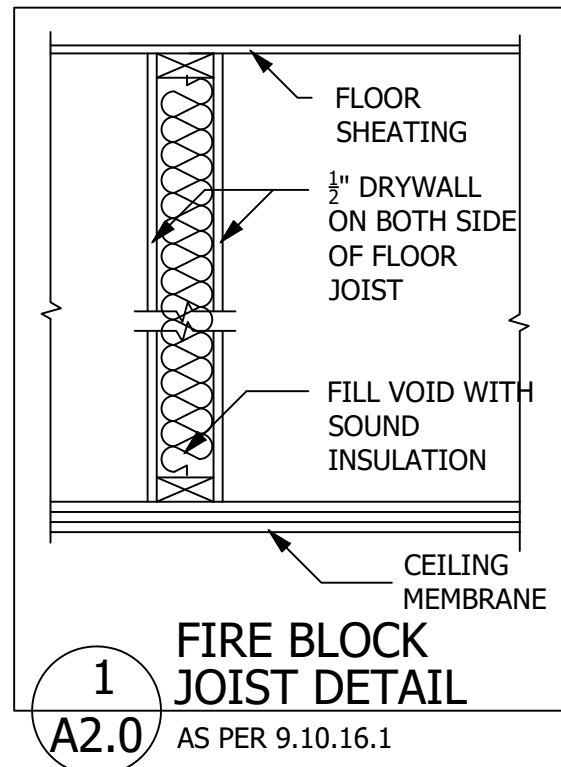
* = 88.9mm
** = 139.7mm

EWI EXTERIOR & INTERIOR WALL
IF ASSEMBLIES SEE A1.1
D# DOOR NUMBER - SEE A6.0
W# WINDOW NUMBER - SEE A6.0

IMPORTANT NOTES:
ALSO READ NOTES ON A1.0

- A-43 WEAVING TILE IN A SOX TO BE INSTALLED AT THE PERIMETER OF FTG. AND COVERED W/ 6" OF CLEAR CRUSH RUN STONE
- B-6 MIL VAPOUR BARRIER SHALL BE INSTALLED UNDER BASEMENT SLAB
- C- MOISTURE BARRIER REQUIRED BETWEEN WOOD & CONCRETE
- D- DOUBLE RM JSTS SHALL BE INSTALLED OVER FOUNDATION WALL PARALLEL TO FLOOR JOISTS
- E- ALL PARTITIONS PARALLEL TO FLOOR JSTS SHALL BE SUPPORTED ON DOUBLE JOISTS OR ON 2x4 SOLID BLOCKING @ 24" OC BETWEEN TWO JOISTS SPACED NOT MORE THAN 8"

FOR FOUNDATION
STRUCTURE SEE A2.4



ISSUED FOR			REVISION		
No	DATE	DESCRIPTION	App.	No	DATE
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29
				1.2	2025.05.13

DESCRIPTION	App.
RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.

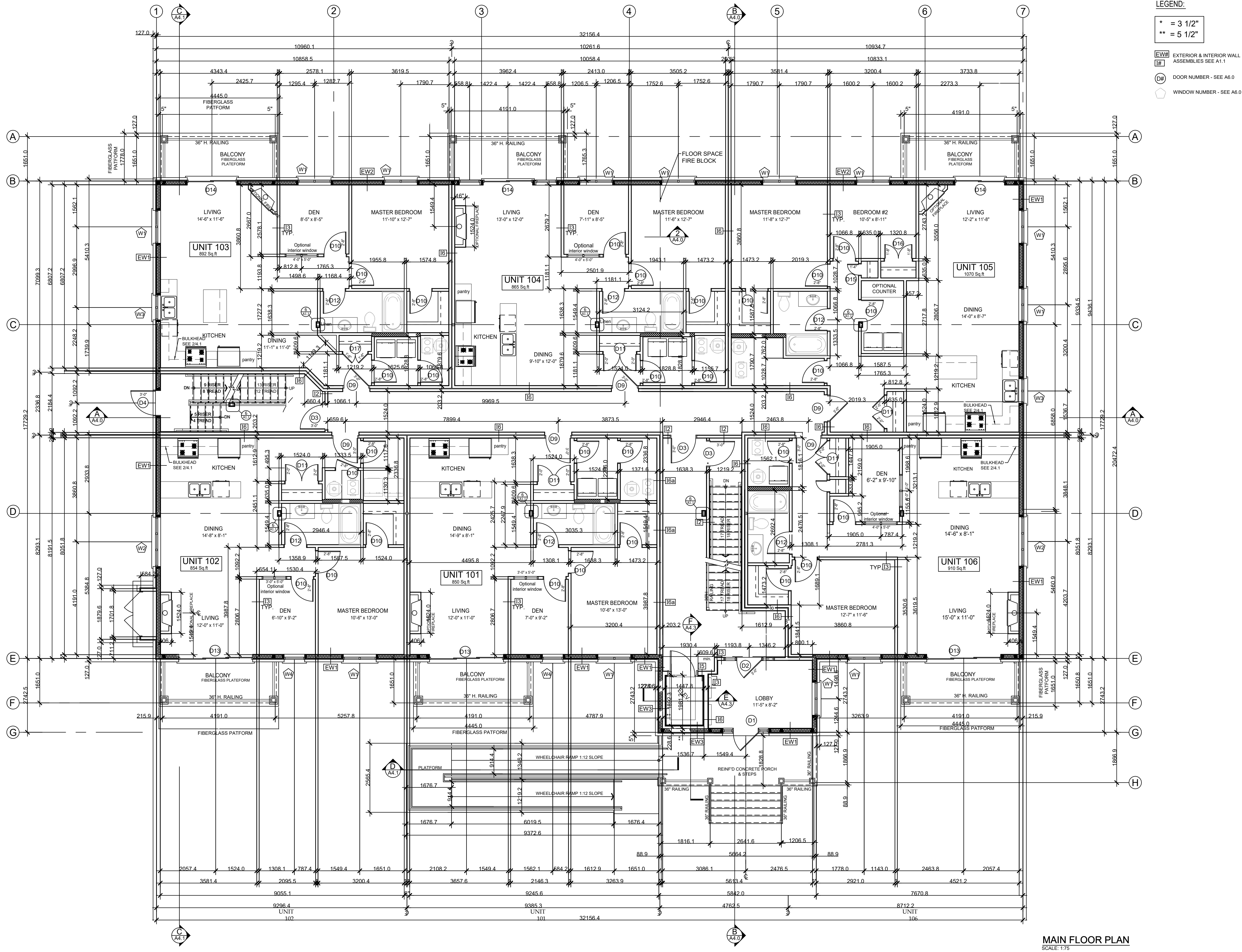


PTabet
architecte
2232 rue Saint-Louis
Gatineau, QC J8T 5L6
t.: 819.568.3994
c.: 819.797.0375
pierretabetarchitecte.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

Project		12 UNIT APARTMENT BUILDING 5574 Rockdale Road, Vars, ON Client: 2394011 ONTARIO INC.	
Title	UNDERGROUND PARKING PLAN	Scale: 1:75	Sheet: 5 of 17
Date: 2022/05/16	Drawn: Y.Wolfe	Drawing No.	A-301
Revision: 1.2	Verify: P.Tabet		

U:\Users\Pierre Yonick\w 2025\architecture\Multi-logis\Projet Bergeron\2025\DAU\2025-04-28 - Project Bergeron - Architecture.dwg



ISSUED FOR			REVISION		
No	DATE	DESCRIPTION	App.	No	DATE
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29
				1.2	2025.05.13

DESCRIPTION	App.
RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.

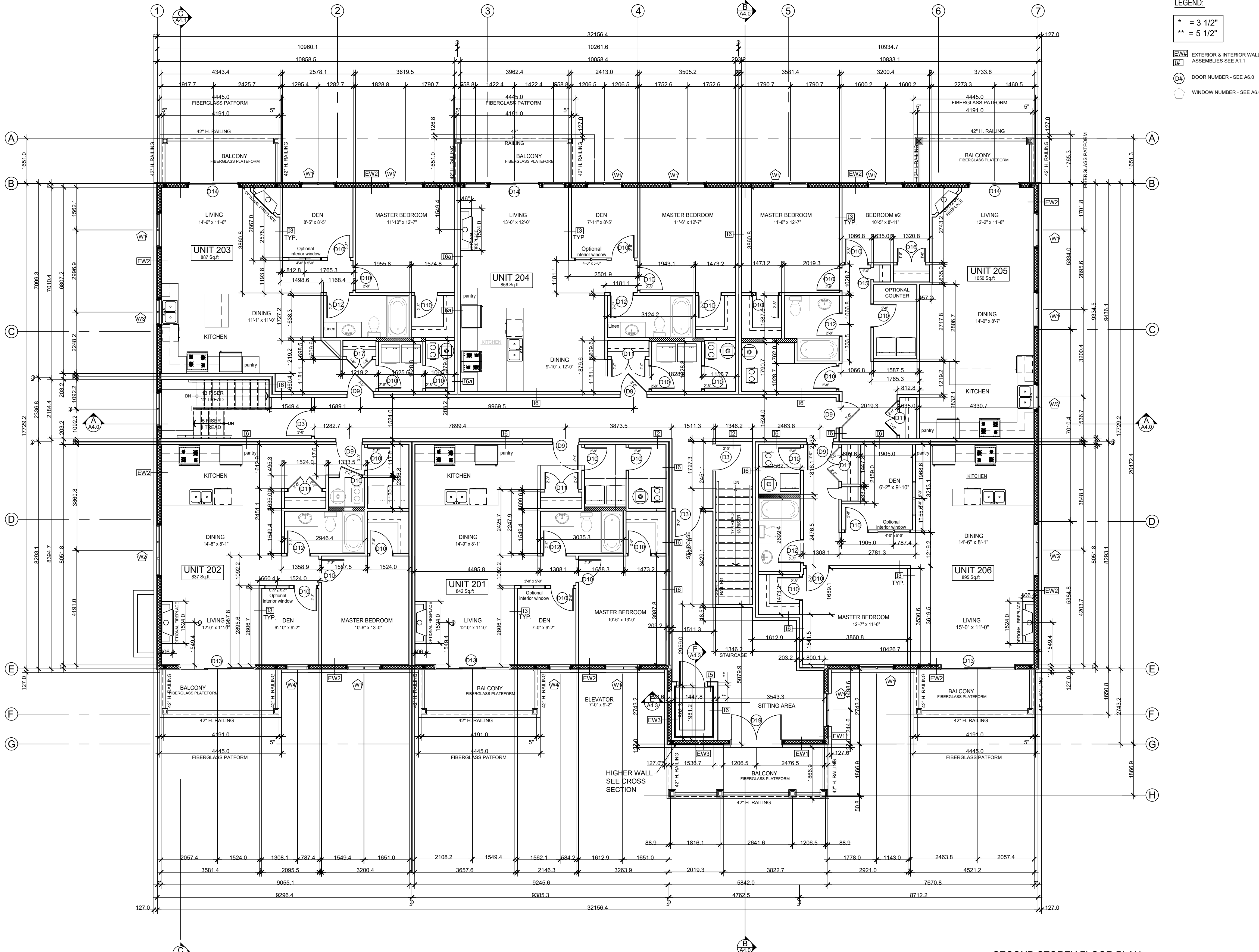


PTabet
architecte

2232 rue Saint-Louis
Gatineau, QC J8T 5L6
t.: 819.568.3994
c.: 819.797.5375
pierre@pierre-et-tabel.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

Project		12 UNIT APARTMENT BUILDING	
5574 Rockdale Road, Vars, ON		Client: 23940111 ONTARIO INC.	
Title	MAIN FLOOR PLAN	Scale:	1:75
Date: 2022/05/16	Drawn: Y.Wolfe	Sheet:	6 of 17
Revision: 1.2	Verify: P.Tabet	Drawing No.	A-310



SECOND STOREY FLOOR PLAN

ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.

Stamps

ONTARIO ASSOCIATION
OF
ARCHITECTS
PIERRE J. TABET
LICENCE
5047

PTabet
architecte

2232 rue Saint-Louis,
Gatineau QC J8T 5L6
t.: 819.568.3994
f.: 819.568.3375
pierretabletarchitecte.com

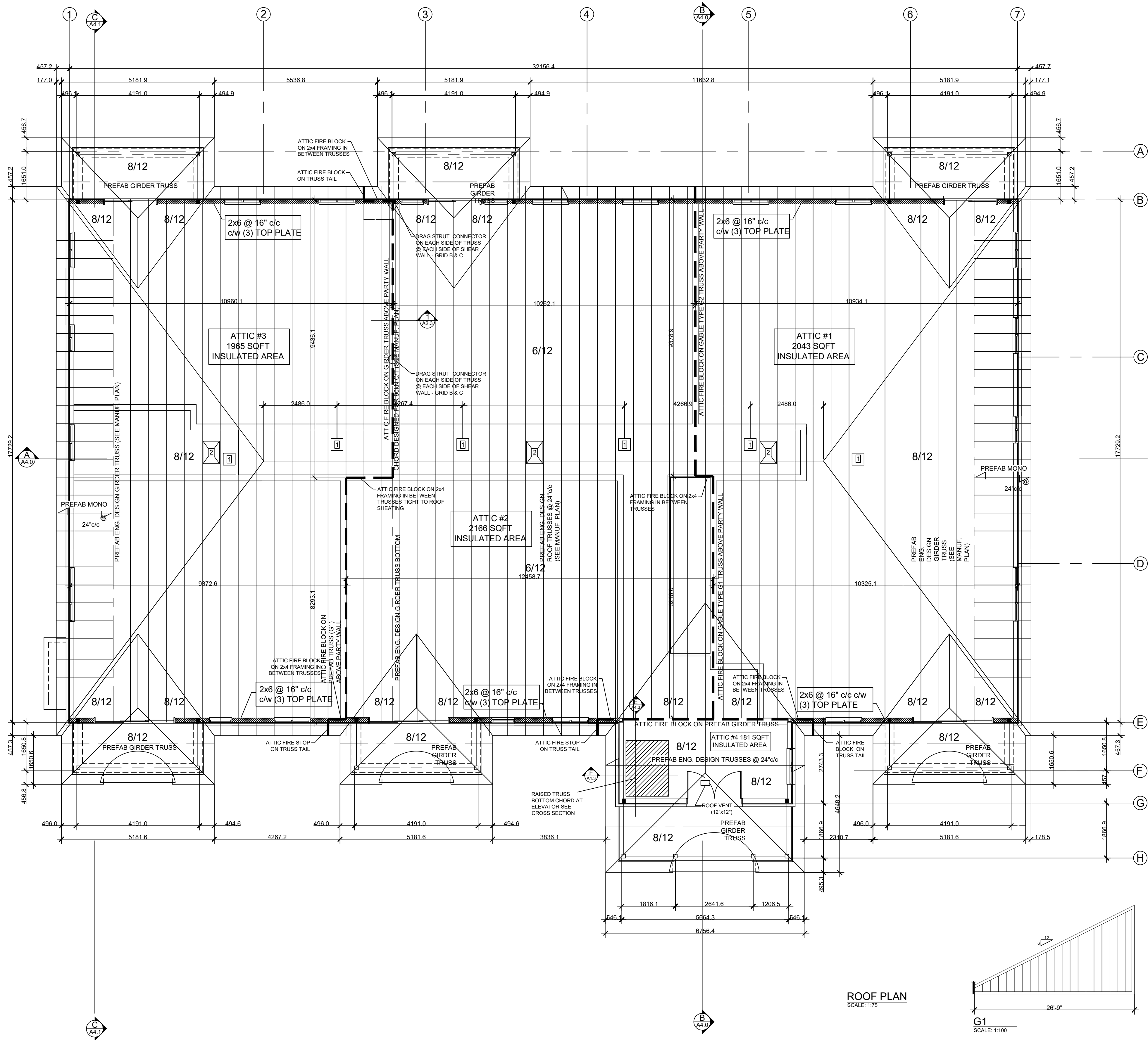
Copyright Reserved

The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be
reported to Pierre Tabet architect without delay.

The Copyrights to all designs and drawings are the property of
Pierre Tabet Architect. Reproduction or use for any purpose other
than that authorized by Pierre Tabet Architect is forbidden.

12 UNIT APARTMENT BUILDING 5574 Rockdale Road, Vars, ON Client: 2394011 ONTARIO INC.	
Title SECOND FLOOR PLAN	Scale: 1:75 Sheet: 7 of 17 Drawing No. A-320
Date: 2022/05/16 Revision: 1.2	Drawn: Y.Wolfe Verify : P.Tabet

U:\Users\Pierre.Tabel\Architecte Multi-logis\Projet Bergeron\2025\OAU\2025-04-28 - Project Bergeron - Architecture.dwg



- LEGEND :
- EXTERIOR WALL 2x6 @ 12" c/c
 - MAXIMUM ROOF VENT MODEL 301 OR EQUIVALENT
 - PREFAB INSULATED 22" x 36" ATTIC ACCESS, 45min. FIRE RATED CIW WEATHERSTRIP & ULC LABEL
 - ATTIC FIRE BLOCK SEE NOTE BELOW

NOTES:

ATTIC SPACE BLOCK STOP: (see details)

9.10.16.1 (4) IN UN-SPRINKLERED BUILDING OF COMBUSTIBLE CONSTRUCTION EVERY CONCEALED SPACE CREATED BY A CEILING, ROOF SPACE OR UNOCCUPIED ATTIC SPACE SHALL BE SEPARATED BY FIRE STOP (15min. 3.1.11.7.11) INTO COMPARTMENT OF NOT MORE THAN 300sqm (3230sqft) IN AREA WHERE SUCH SPACE CONTAINS EXPOSED CONSTRUCTION MATERIALS HAVING A SURFACE FLAME SPREAD RATING GREATER THAN 25.

9.10.16.1 (5) NO DIMENSIONS OF THE CONCEALED SPACE DESCRIBED IN SENTENCE (4) SHALL EXCEED 65'-7" (20m)

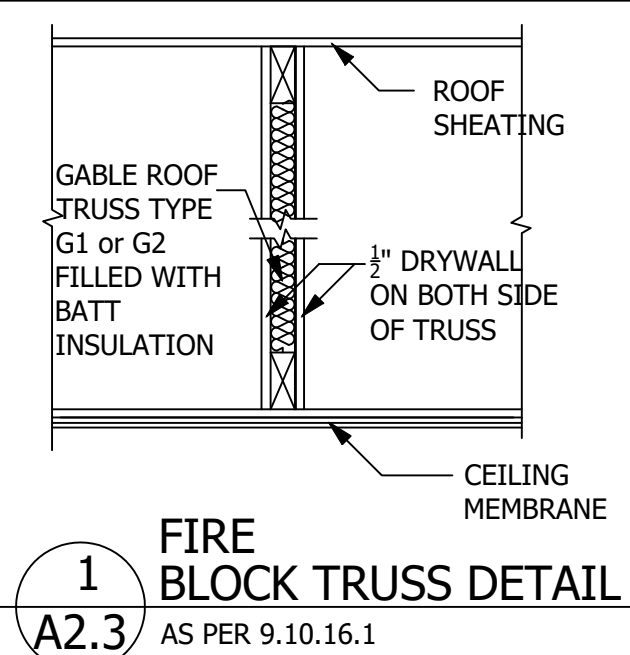
ATTIC #	Area	Insulated Area	Non-Insulated Area	Sub-total Area
ATTIC #1:	2043 sqft	199.80 sqm	355 sqft (33.07 sqm)	2399 sqft (221.85 sqm)
ATTIC #2:	2166 sqft	201.23 sqm	275 sqft (25.55 sqm)	2441 sqft (226.78 sqm)
ATTIC #3:	1965 sqft	182.56 sqm	360 sqft (33.45 sqm)	2325 sqft (216.01 sqm)
ATTIC #4:	181 sqft	16.82 sqm	200 sqft (18.58 sqm)	381 sqft (35.40 sqm)

THEREFORE:

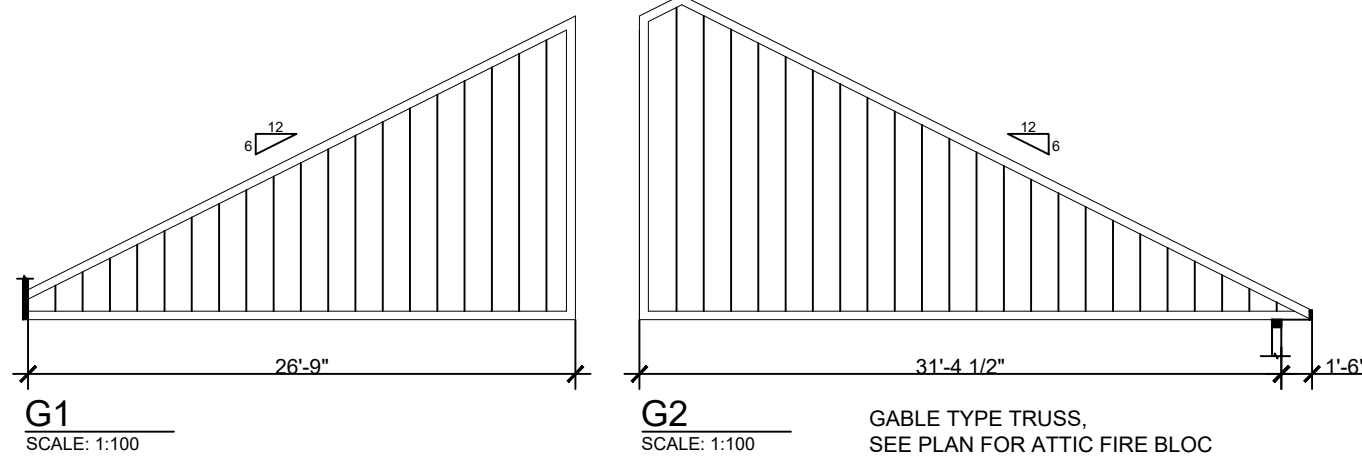
Area	Insulated Area	Non-Insulated Area	Total Area
FULL ATTIC:	7546 sqft (701.06 sqm)		7546 sqft (701.06 sqm)
FULL INSULATED:	6355 sqft (590.39 sqm)		6355 sqft (590.39 sqm)

9.10.12.4. PROTECTION OF SOFFITS TO AVOID PROTECTION OF SOFFITS, ATTIC SPACE FIRE STOP WERE AND ARE TO BE LOCATED IN SUCH A WAY THAT A COMMON ATTIC DO NOT SPAN MORE THAN 2 SUITES OF RESIDENTIAL OCCUPANCY.

9.19.1.2 (1) ROOF SPACE VENTING THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN $\frac{1}{30}$ OF THE INSULATED CEILING AREA.



ROOF PLAN
SCALE: 1/16



ISSUED FOR			REVISION		
No	DATE	DESCRIPTION	App.	No	DATE
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29
				1.2	2025.05.13

DESCRIPTION	App.	DATE
RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.	2025.04.29
RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.	2025.05.13

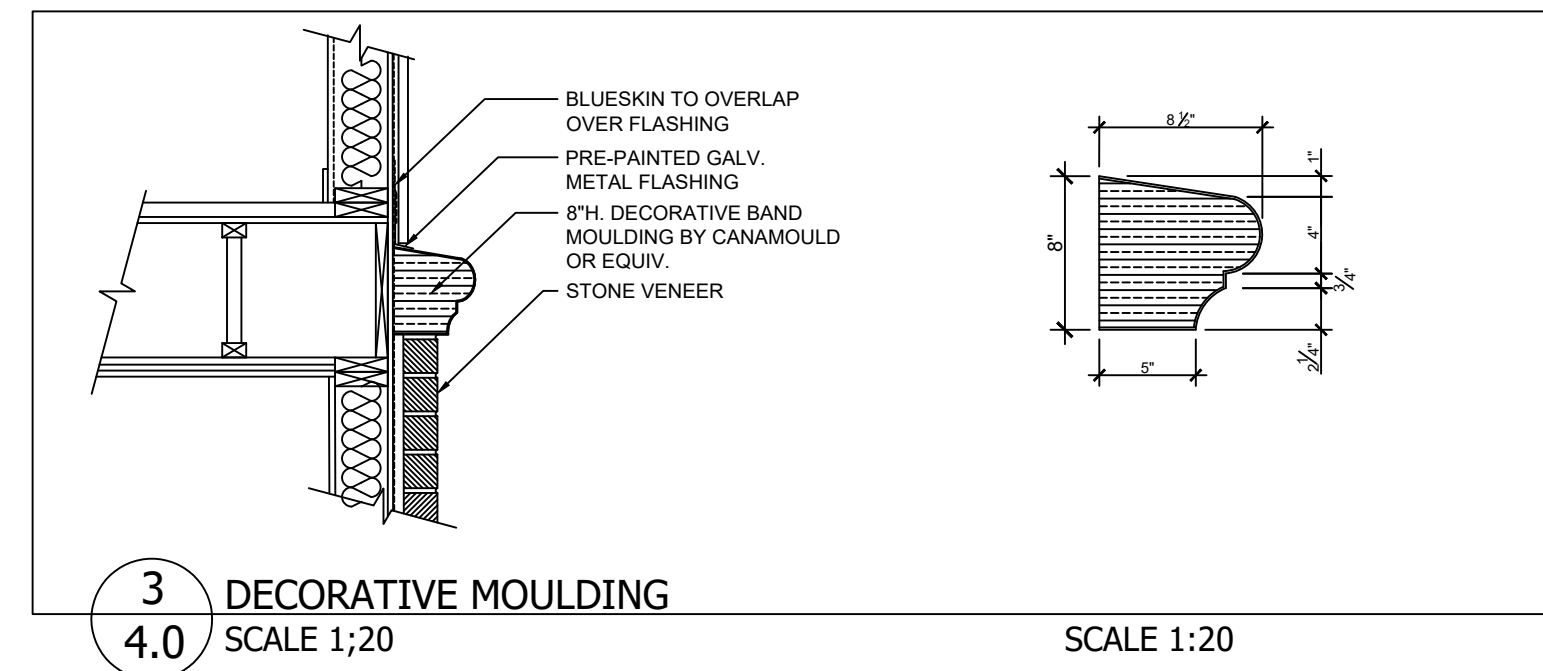
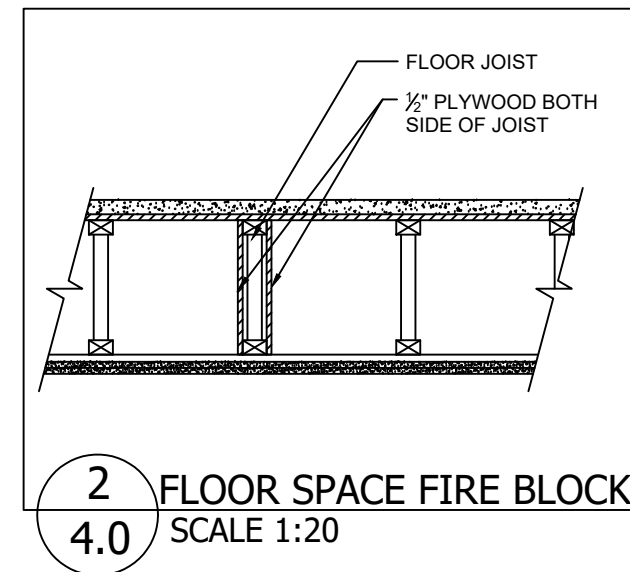
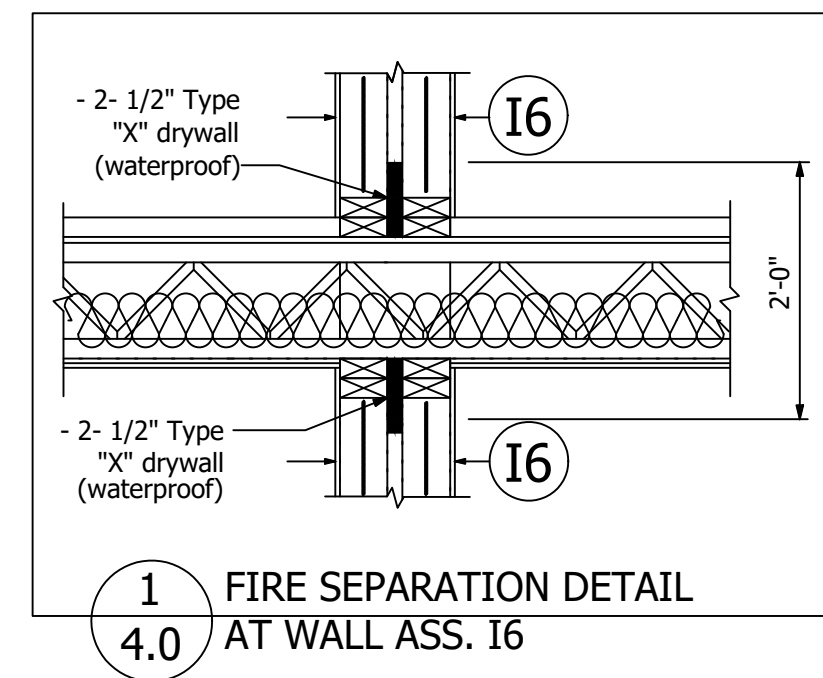
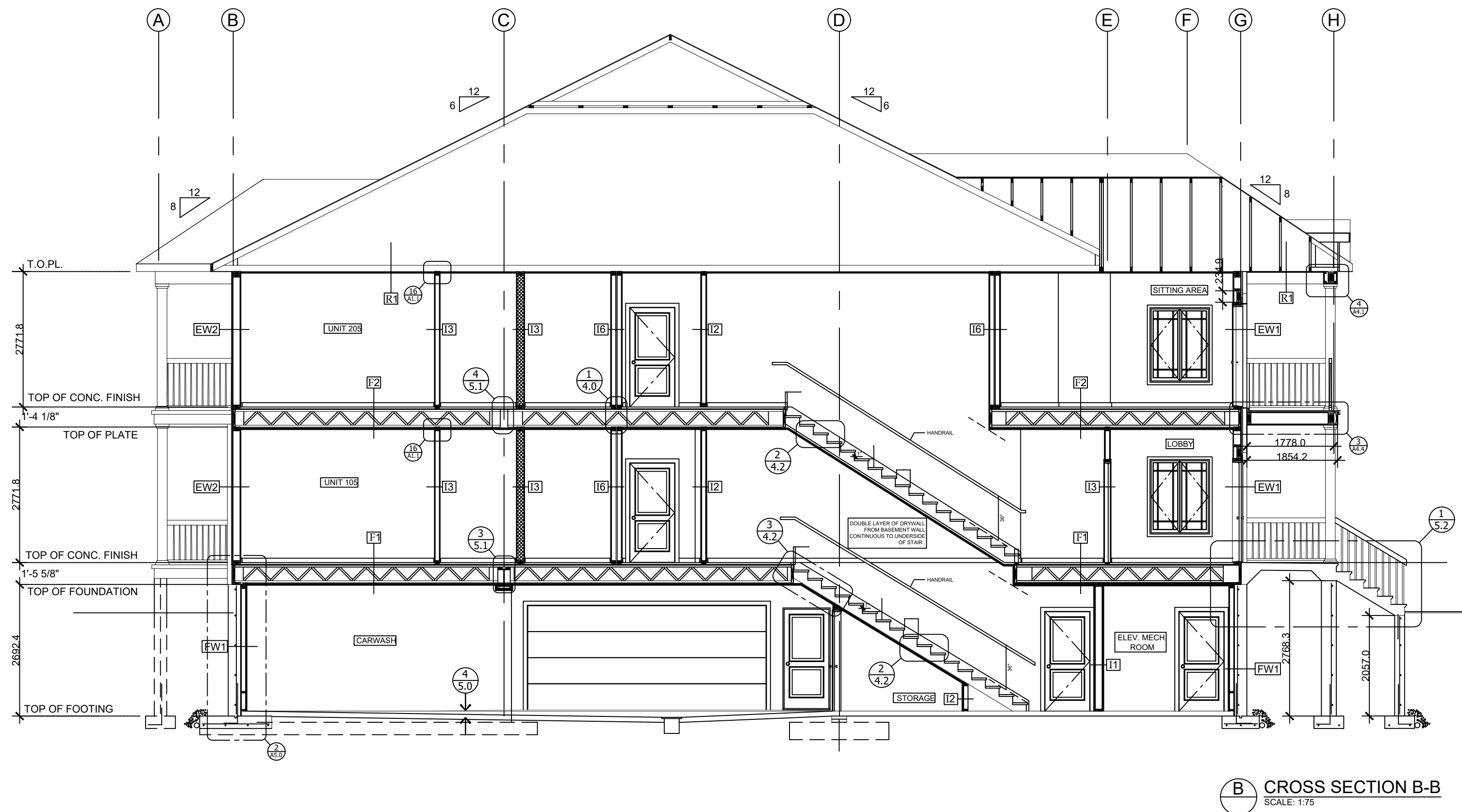
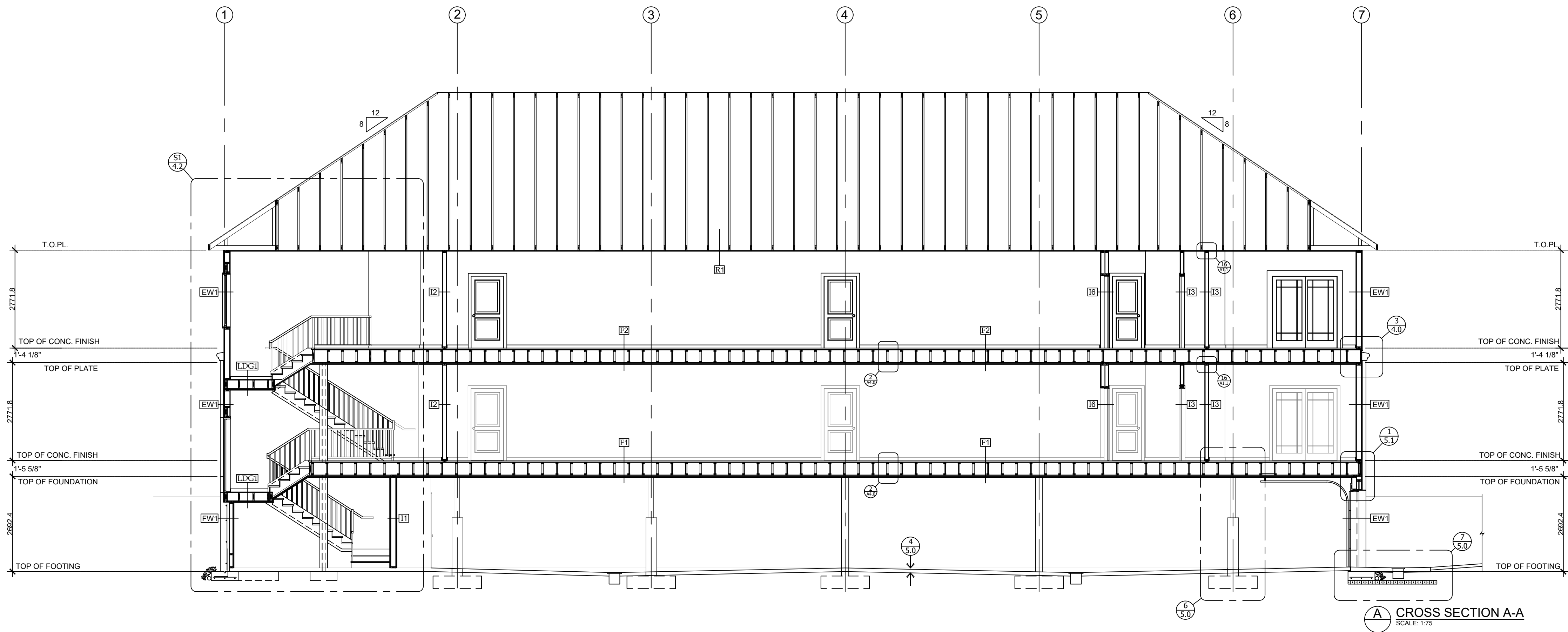


PTabel
architecte

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabel architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabel Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabel Architect is forbidden.

2232 rue Saint-Louis
Gatineau, Q.C. J8T 5L6
t.: 819.568.3994
c.: 819.779.7537
pierretabelarchitecte.com

Project		12 UNIT APARTMENT BUILDING	
5574 Rockdale Road, Vars, ON		Client: 2394011 ONTARIO INC.	
Title	FLOOR PLAN	Scale:	AS SHOWN
Date: 2022/05/16	Drawn: Y.Wolfe	Sheet:	8 of 17
Revision: 1.2	Verify: P.Tabel	Drawing No.	A-330



ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.

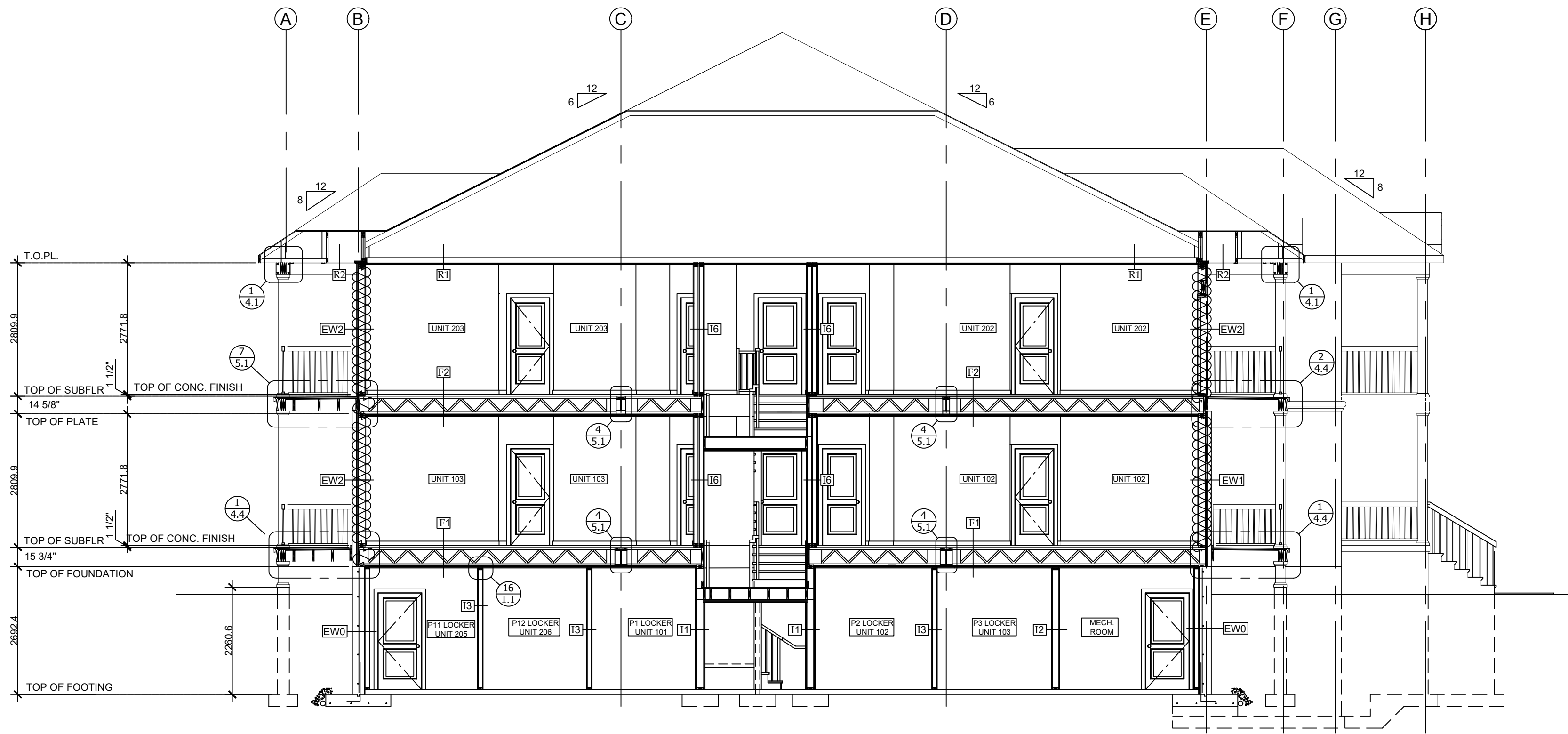


PTabet
architecte

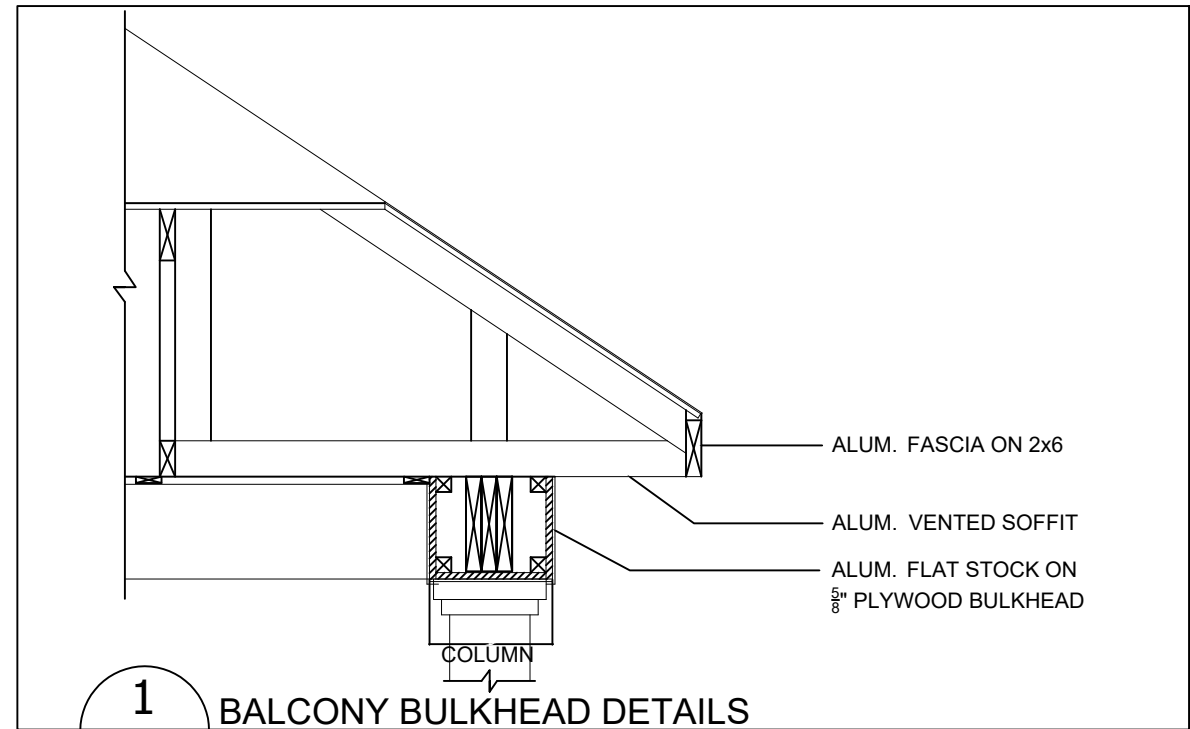
2232 rue Saint-Louis
Gatineau, Q.C. J8T 5L6
t.: 819.568.3994
c.: 819.779.7537
pierre@pierrearchitecte.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

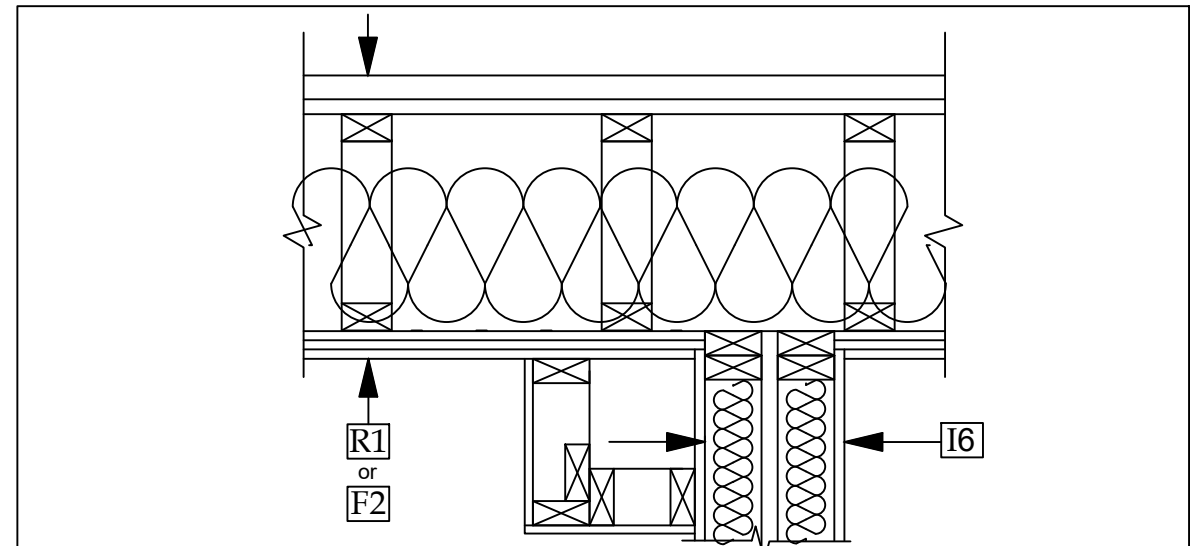
Project 12 UNIT APARTMENT BUILDING 5574 Rockdale Road, Vars, ON Client: 2394011 ONTARIO INC.			
Title CROSS SECTIONS A-A & B-B		Scale: AS SHOWN	
Date: 2022/05/16	Drawn: Y.Wolfe	Sheet: 9 of 17	Drawing No. A-400
Revision: 1.2	Verify: P.Tabet		



C CROSS SECTION C-C
SCALE: 3/16"=1'-0"

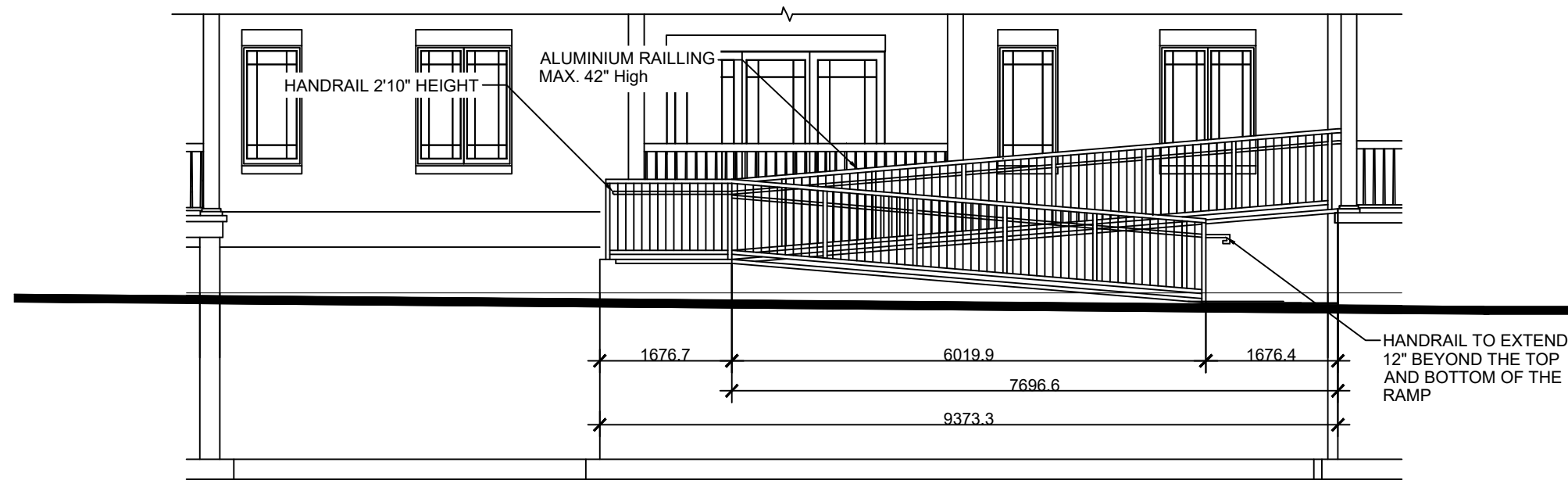


1 BALCONY BULKHEAD DETAILS
4.1

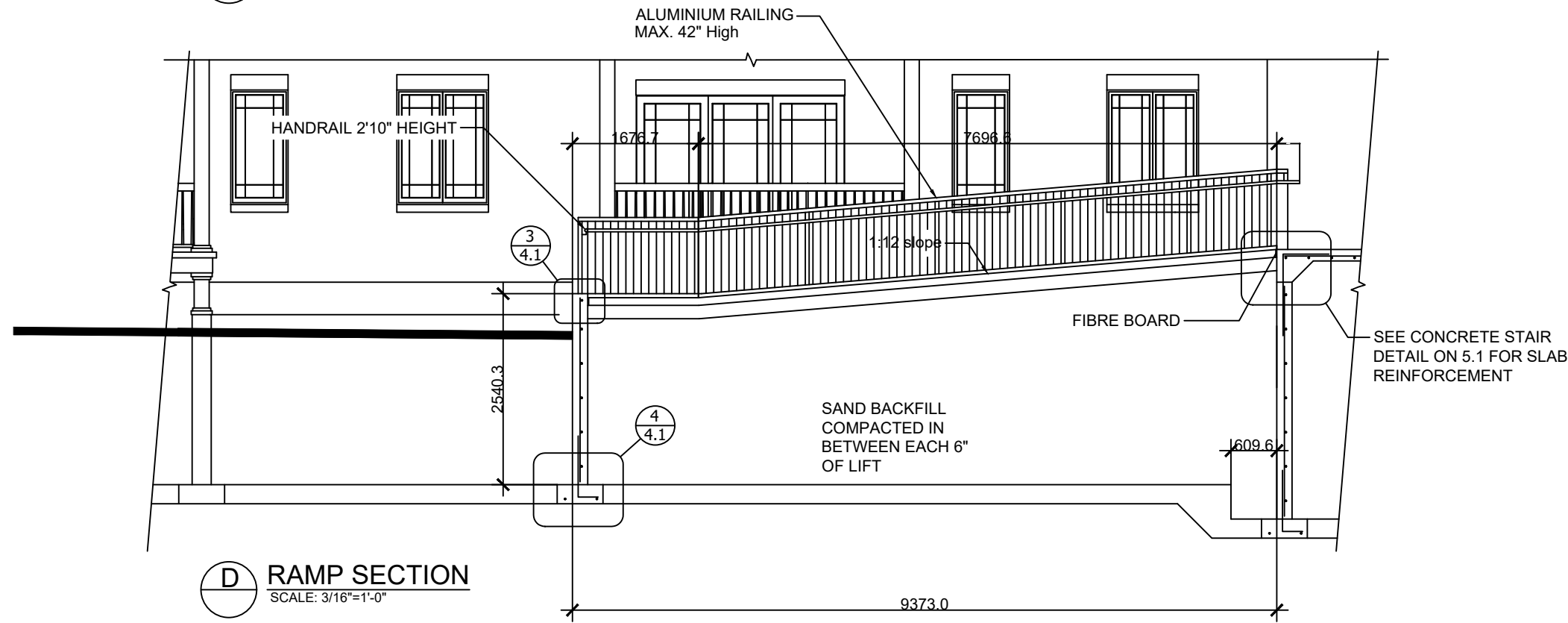


** Horizontal mechanical shaft to be installed
after fire rating of floor & wall is installed **

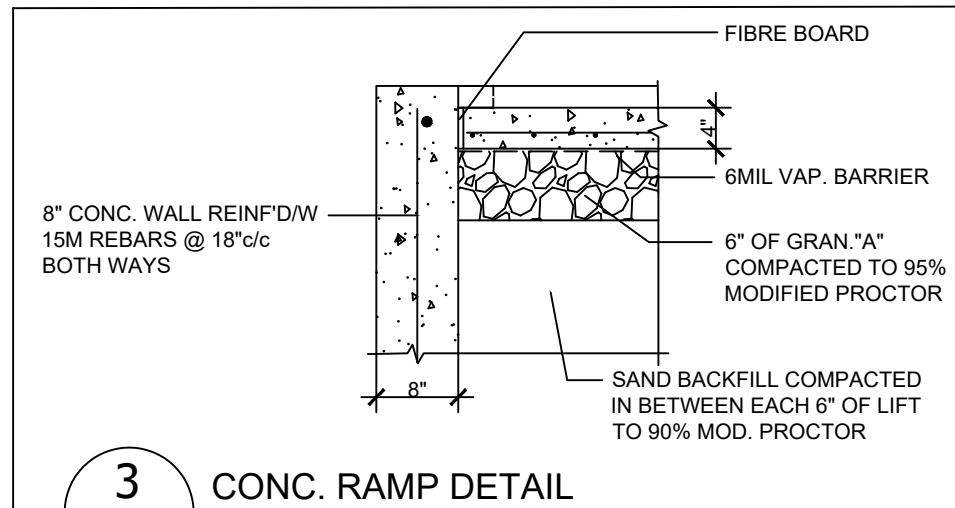
2 HORIZONTAL MEC. SHAFT BULKHEADS
4.1



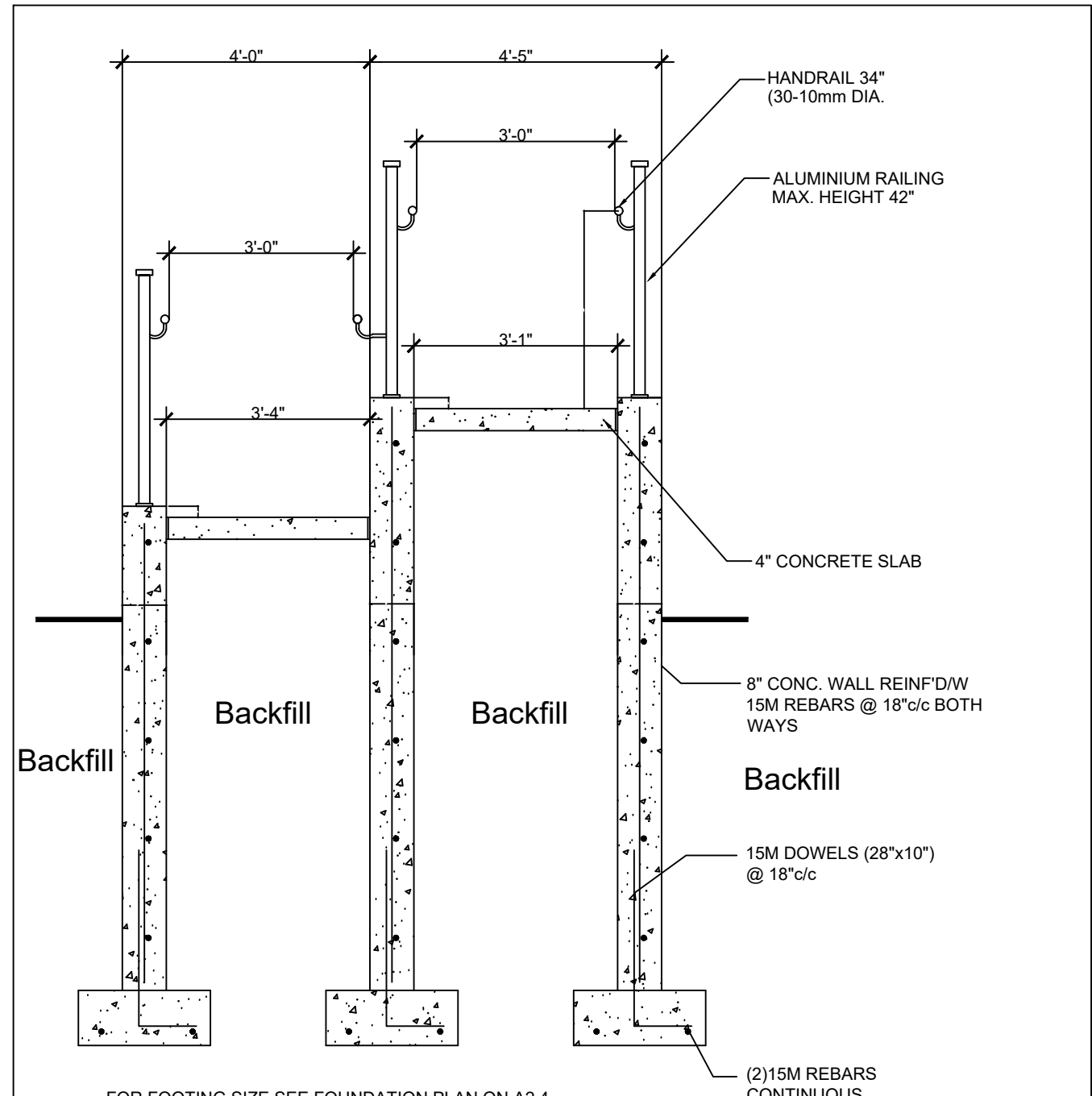
RAMP ELEVATION
SCALE: 3/16"=1'-0"



D RAMP SECTION
SCALE: 3/16"=1'-0"

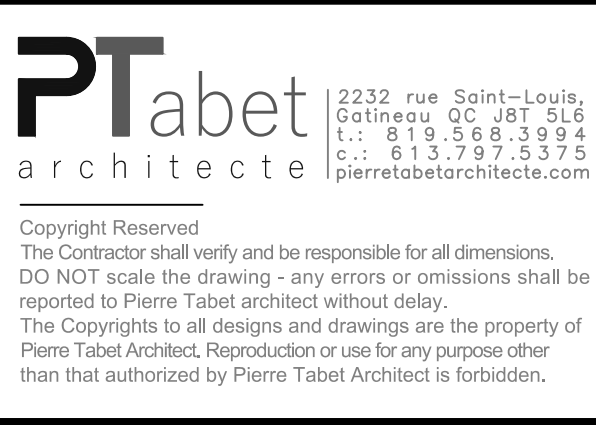


3 CONC. RAMP DETAIL
4.1



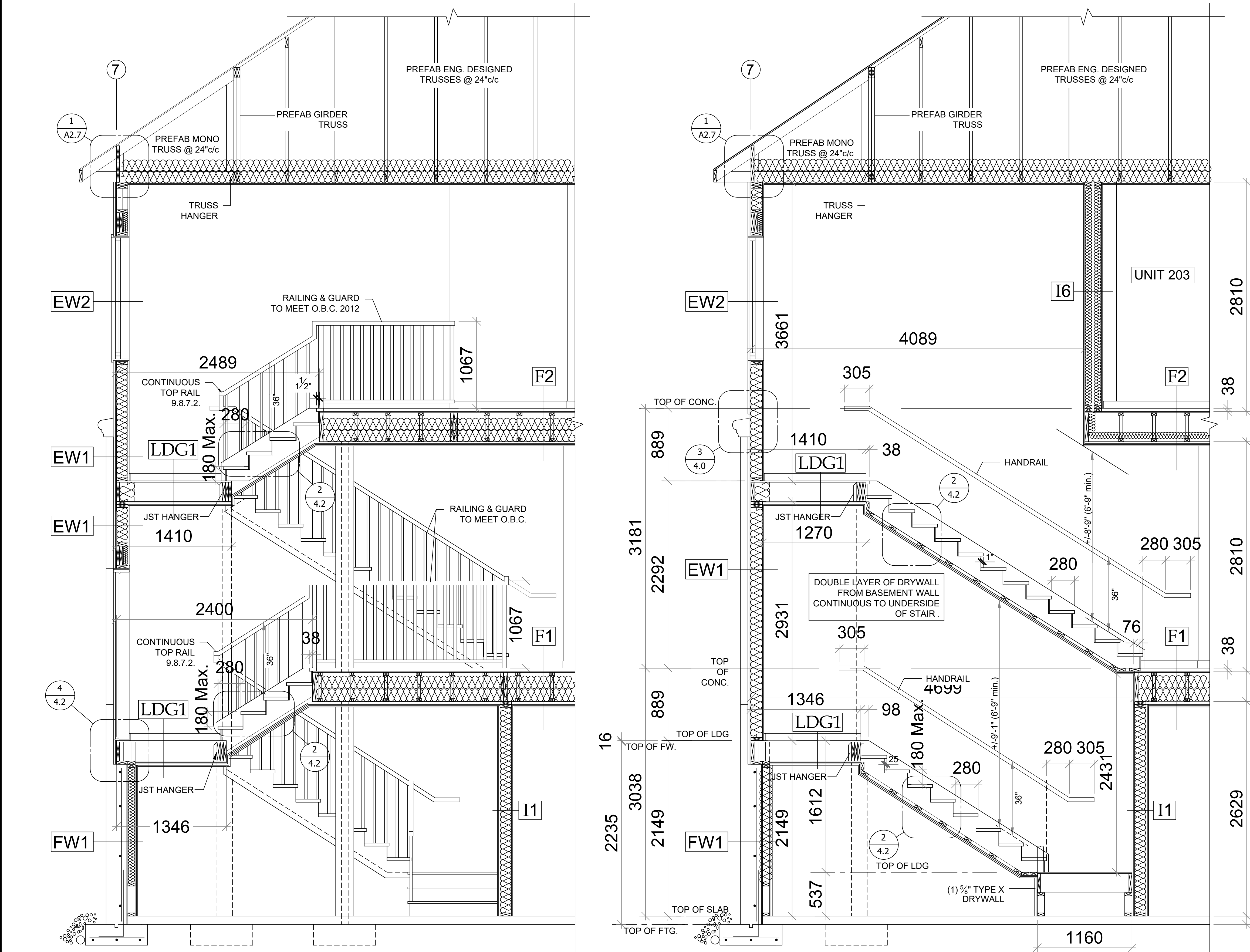
4 SECTION OF RAMP
4.1

ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.

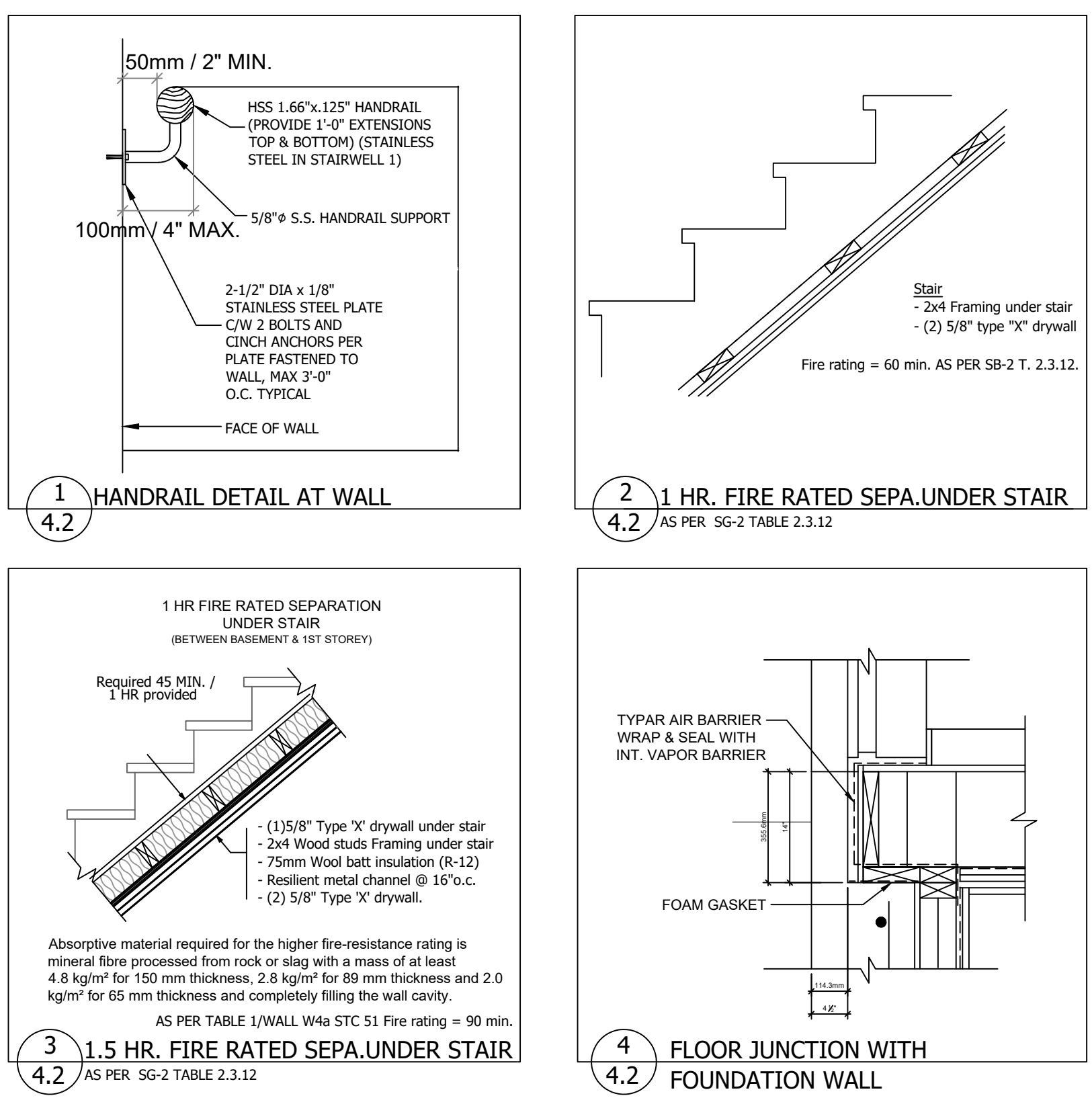


Project			
12 UNIT APARTMENT BUILDING			
5574 Rockdale Road, Vars, ON			
Client: 2394011 ONTARIO INC.			
Title		Scale: AS SHOWN	
CROSS SECTIONS A-A & B-B		Sheet: 10 of 17	
Date: 2022/05/16	Drawn: Y.Wolfe	Drawing No. A-410	
Revision: 1.2	Verify: P.Tabet		

U:\Users\Pierre Yonick\W 2025\architecture\Multi-logis\Projet Bergeron\2025\CAU\2025-04-28 - Project Bergeron - Architecture.dwg



S1 STAIR SECTION
SCALE: 1:50



ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.

Stamps

ONTARIO ASSOCIATION OF ARCHITECTS
PIERRE J. TABET
LICENCE 5047

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

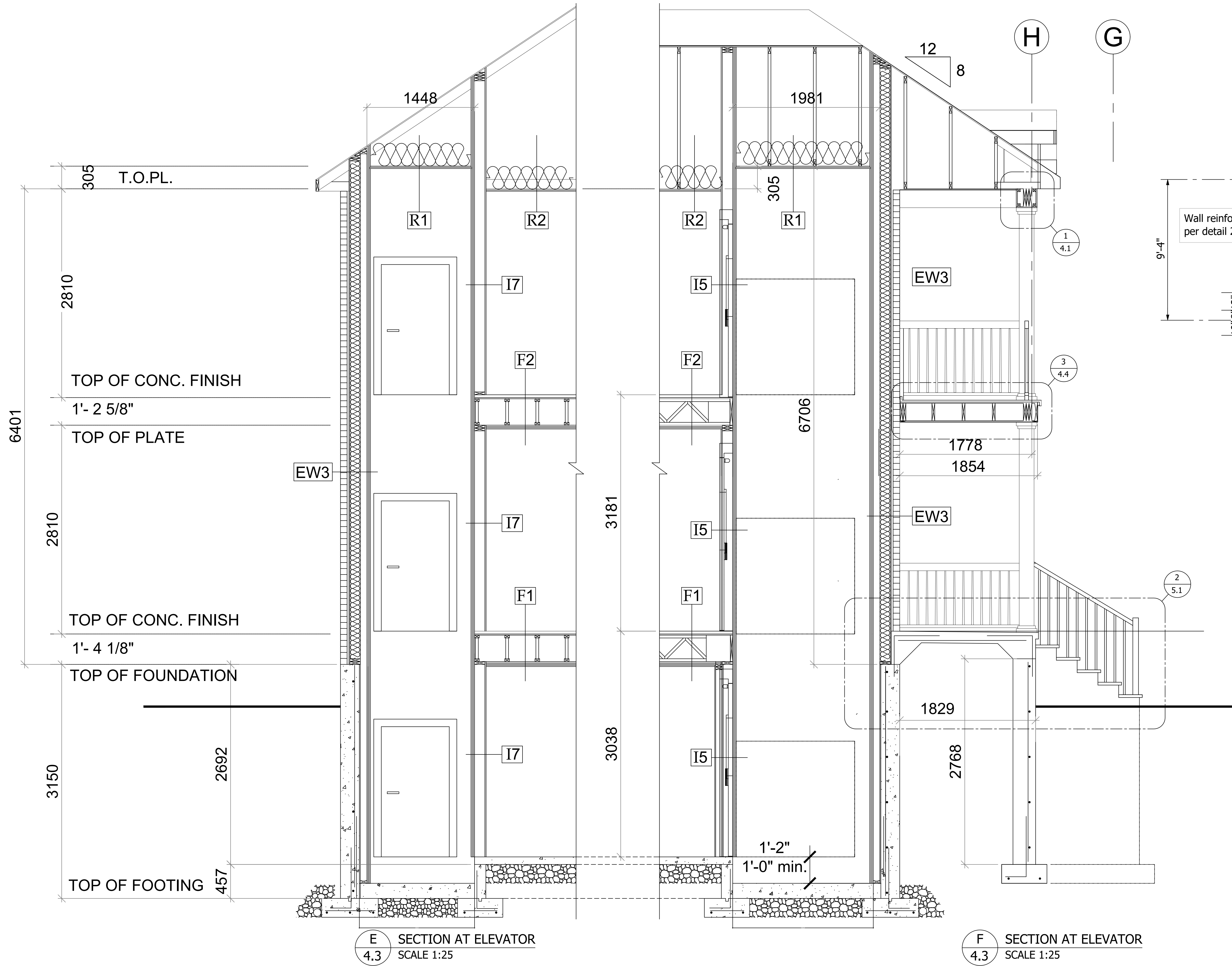
PTabet
architecte

2232 rue Saint-Louis
Gatineau, Q.C. J8T 5L6
t.: 819.568.3594
c.: 613.797.6375
pierre@ptabetarchitecte.com

Project
12 UNIT APARTMENT BUILDING
5574 Rockdale Road, Vars, ON
Client: 2394011 ONTARIO INC.

Title	Scale: 1:25
STAIR CROSS SECTION	Sheet: 11 of 17
Date: 2022/05/16	Drawn: Y.Wolfe
Revision: 1.2	Verify: P.Tabet
	Drawing No. A-420

U:\Users\Pierre.Yanick W 2025\architecture\Multi-logis\Projet Bergeron\2025\CAU\2025-04-28 - Project Bergeron - Architecture.dwg



E SECTION AT ELEVATOR
4.3 SCALE 1:25

F SECTION AT ELEVATOR
4.3 SCALE 1:25

ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.

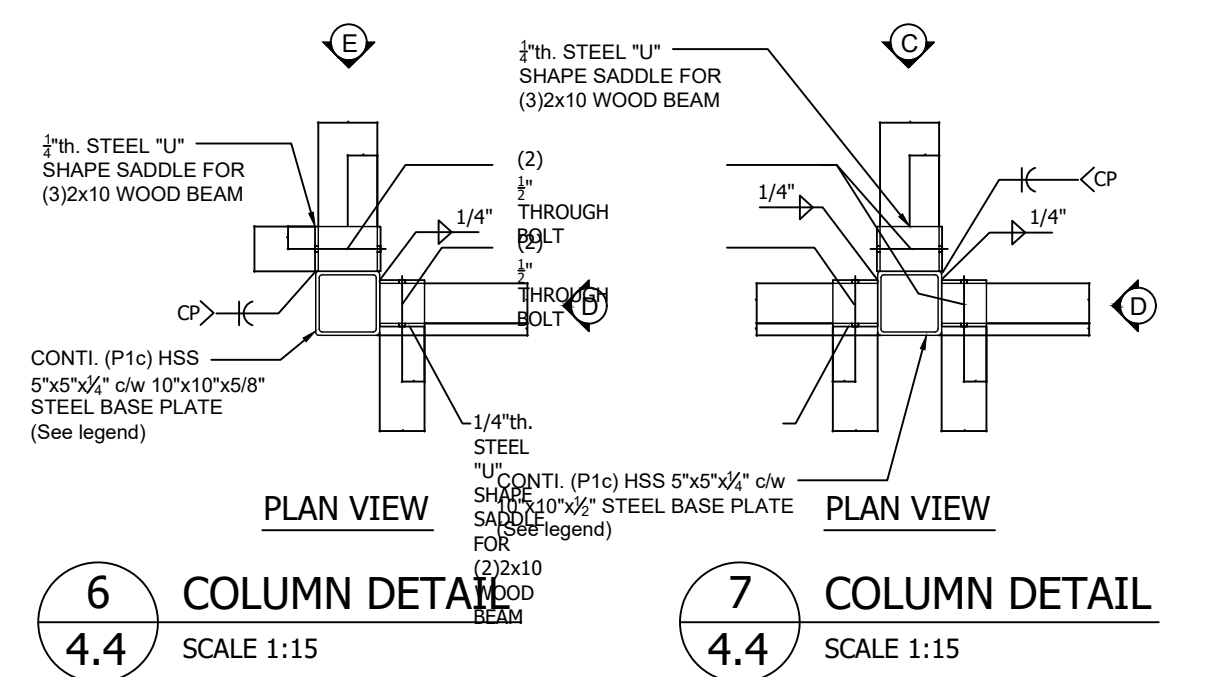
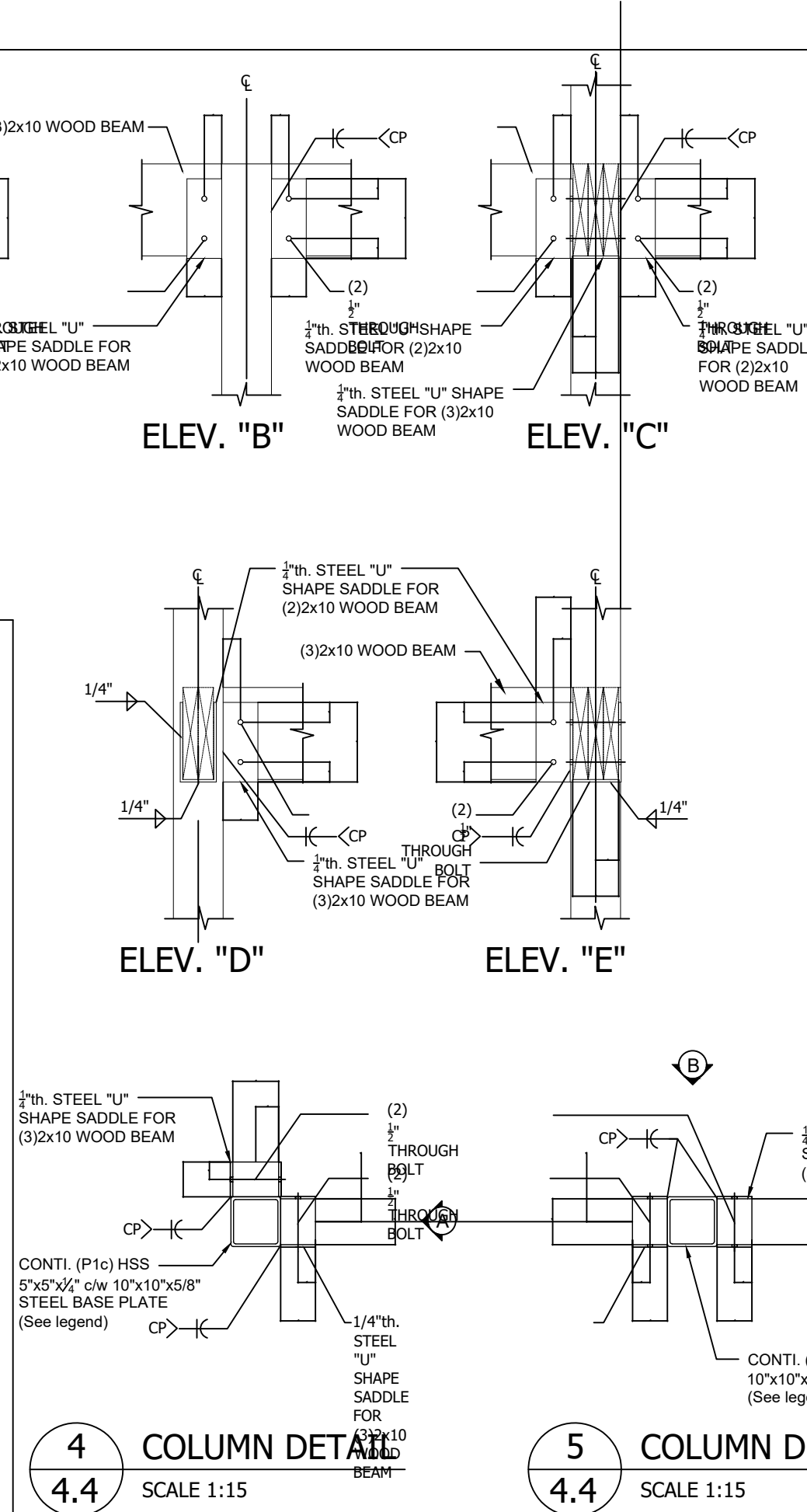
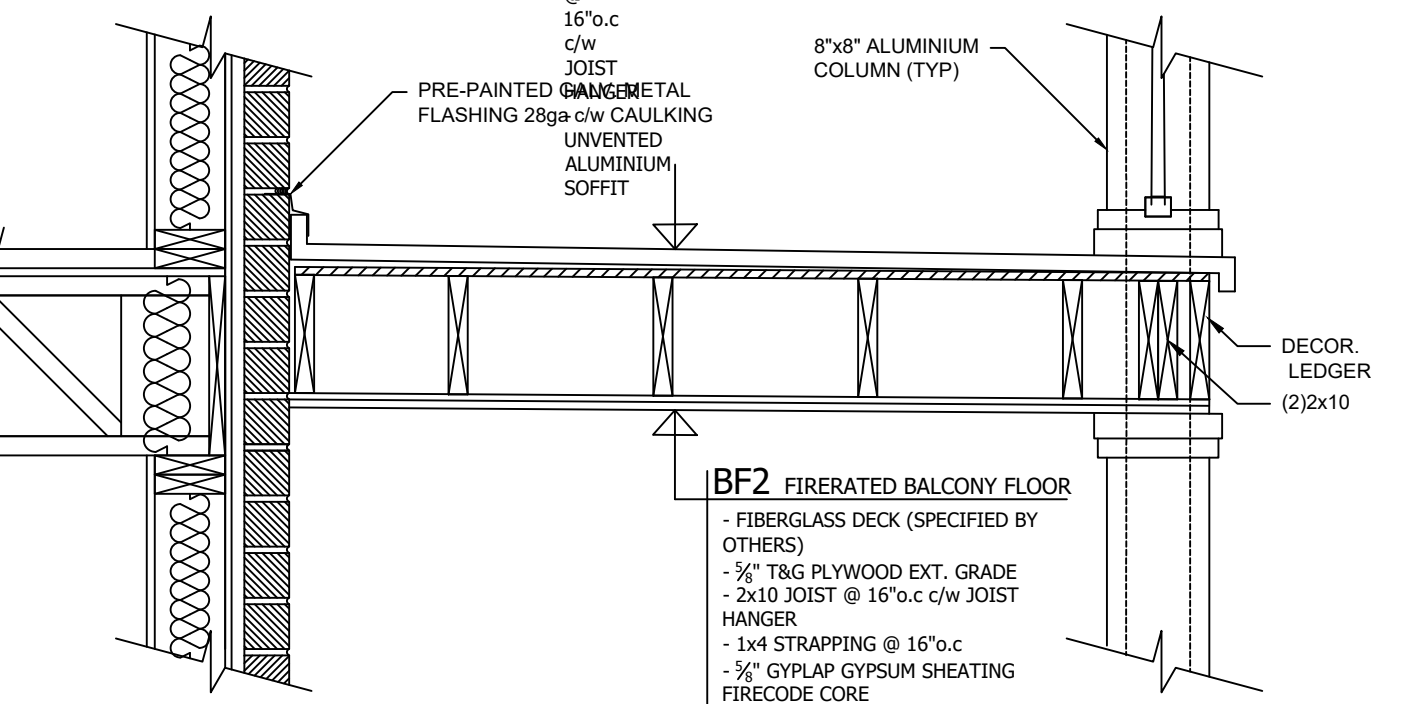
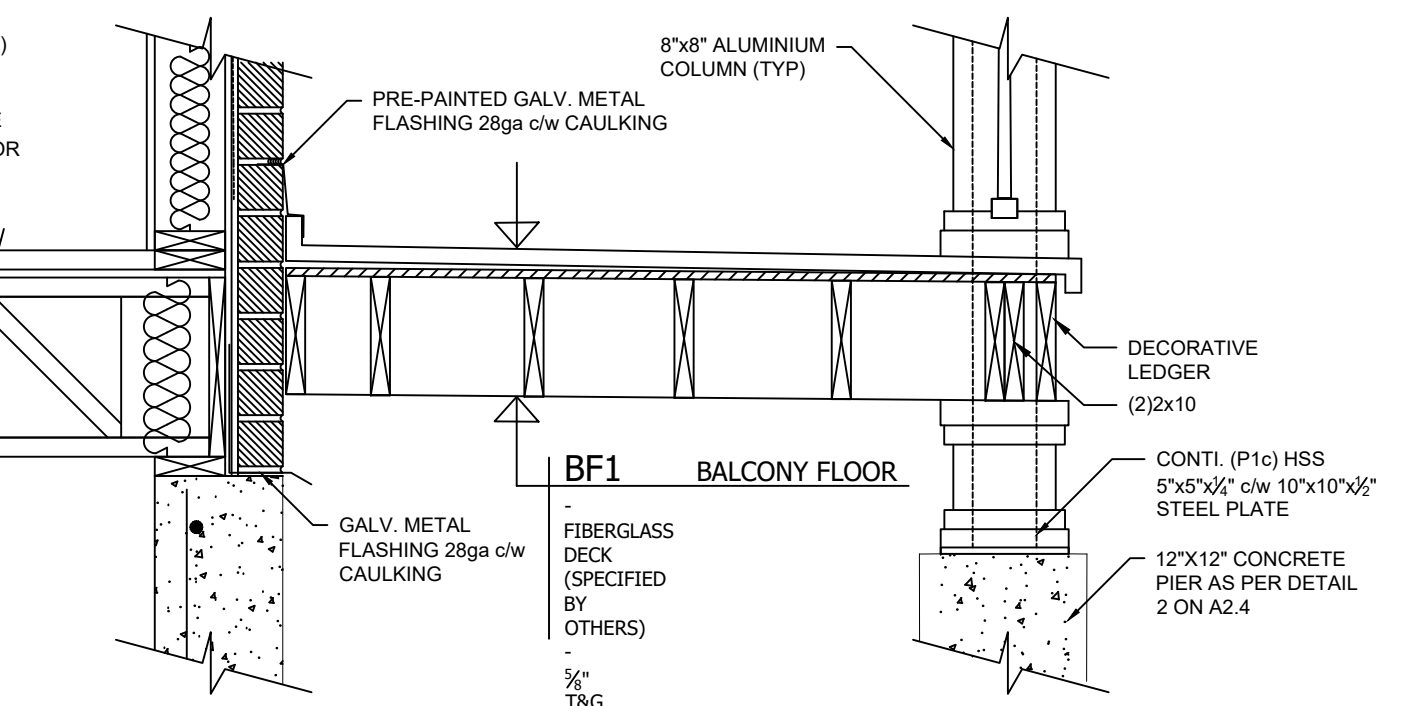
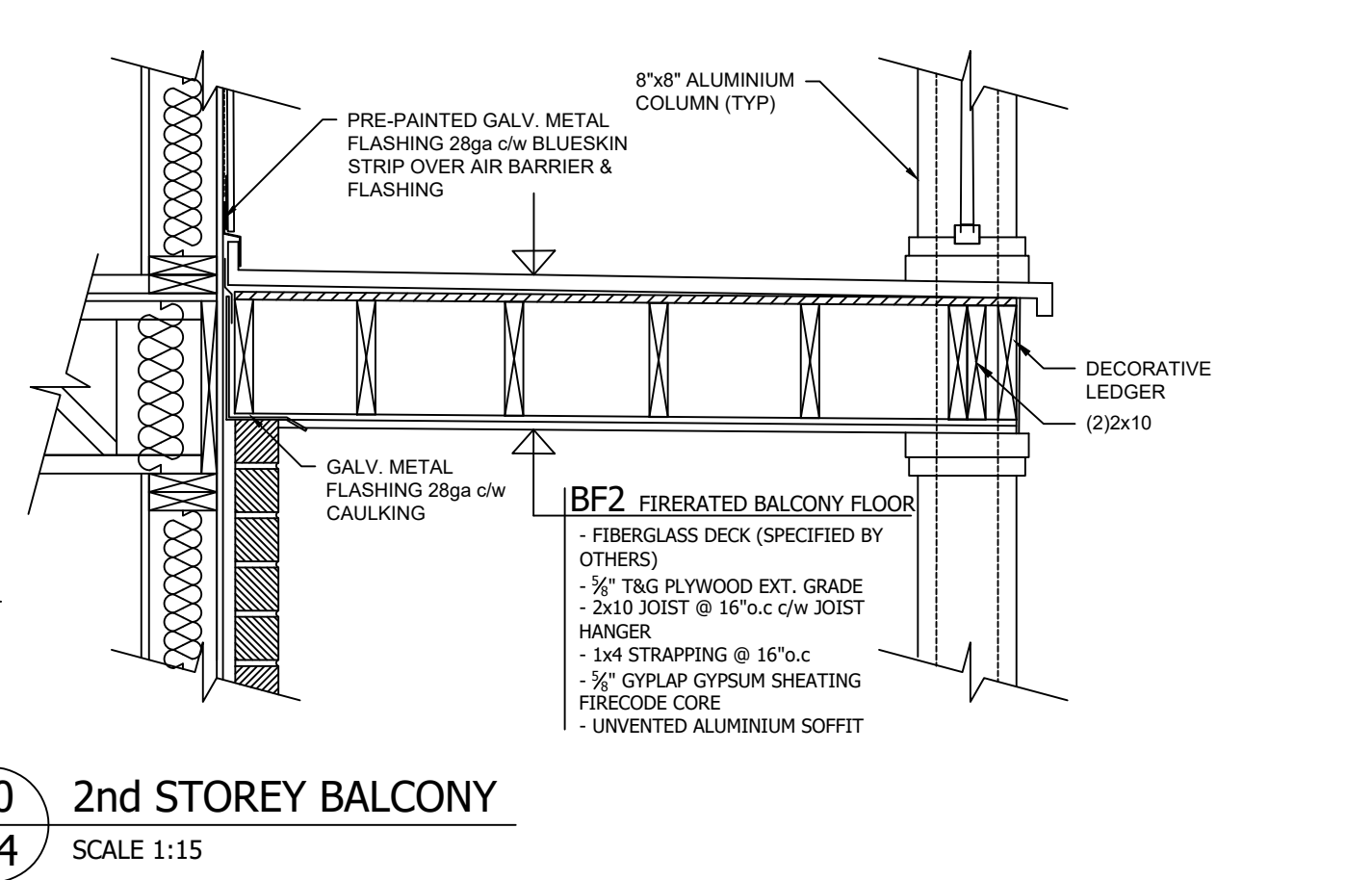
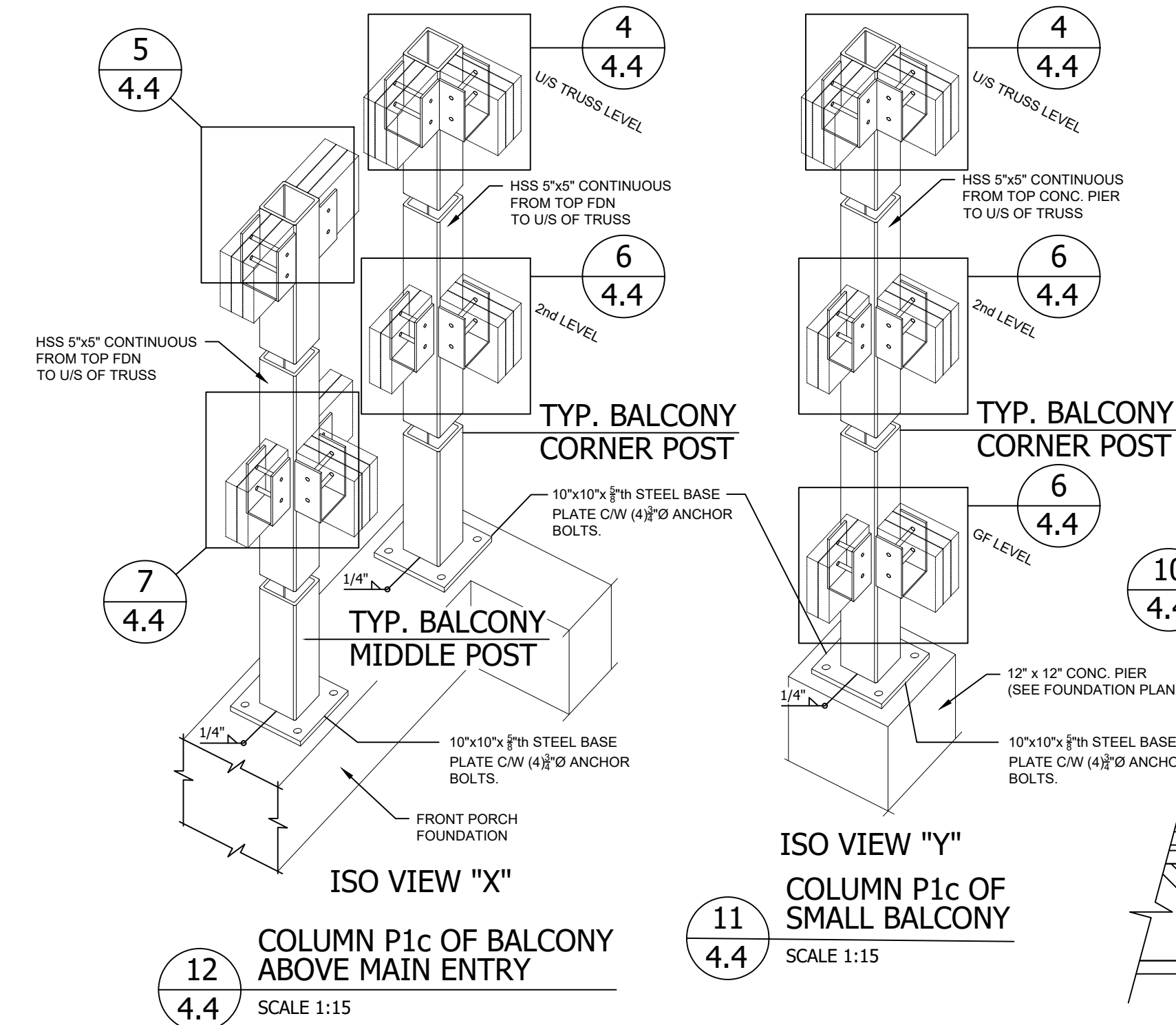
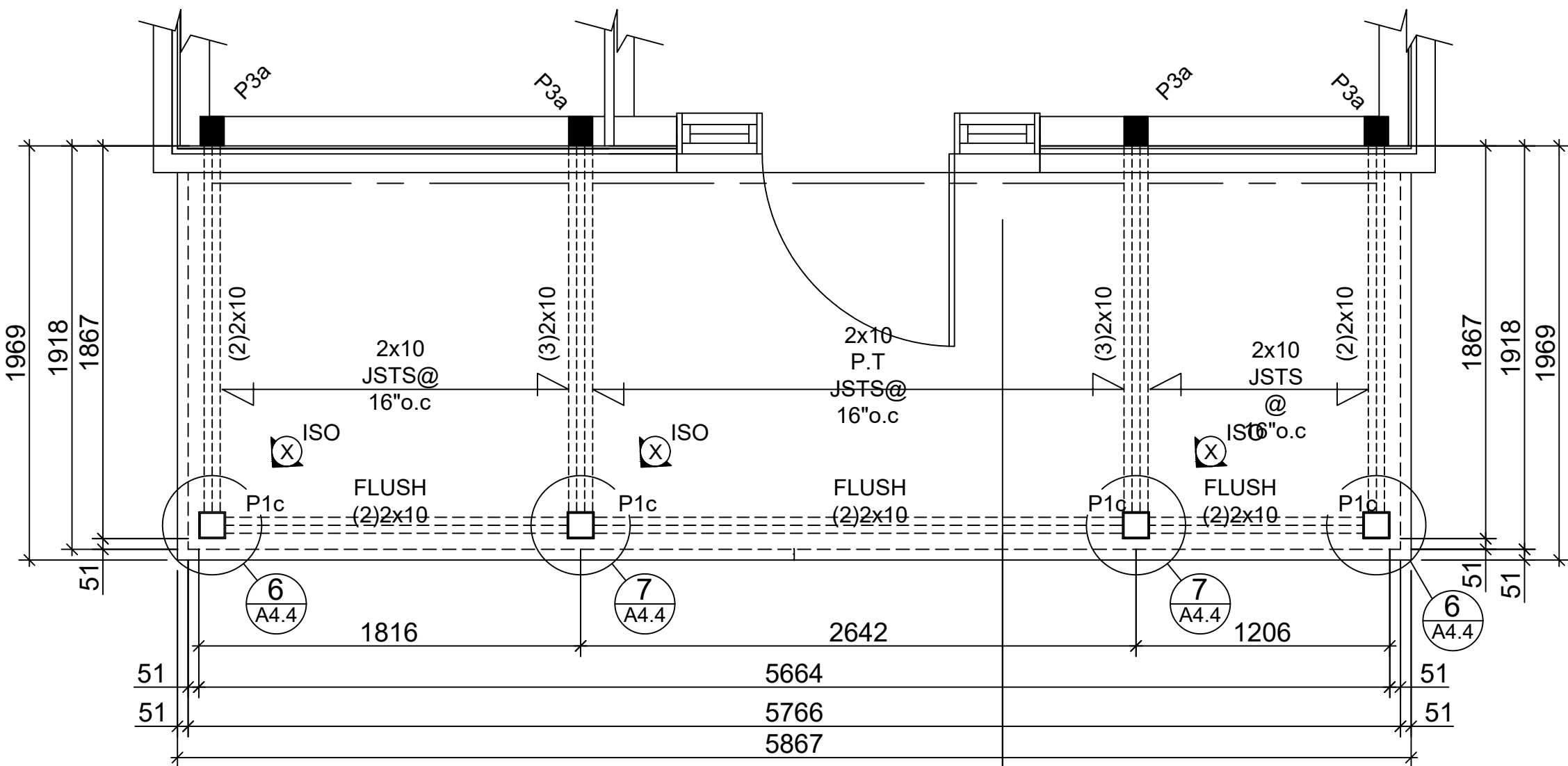
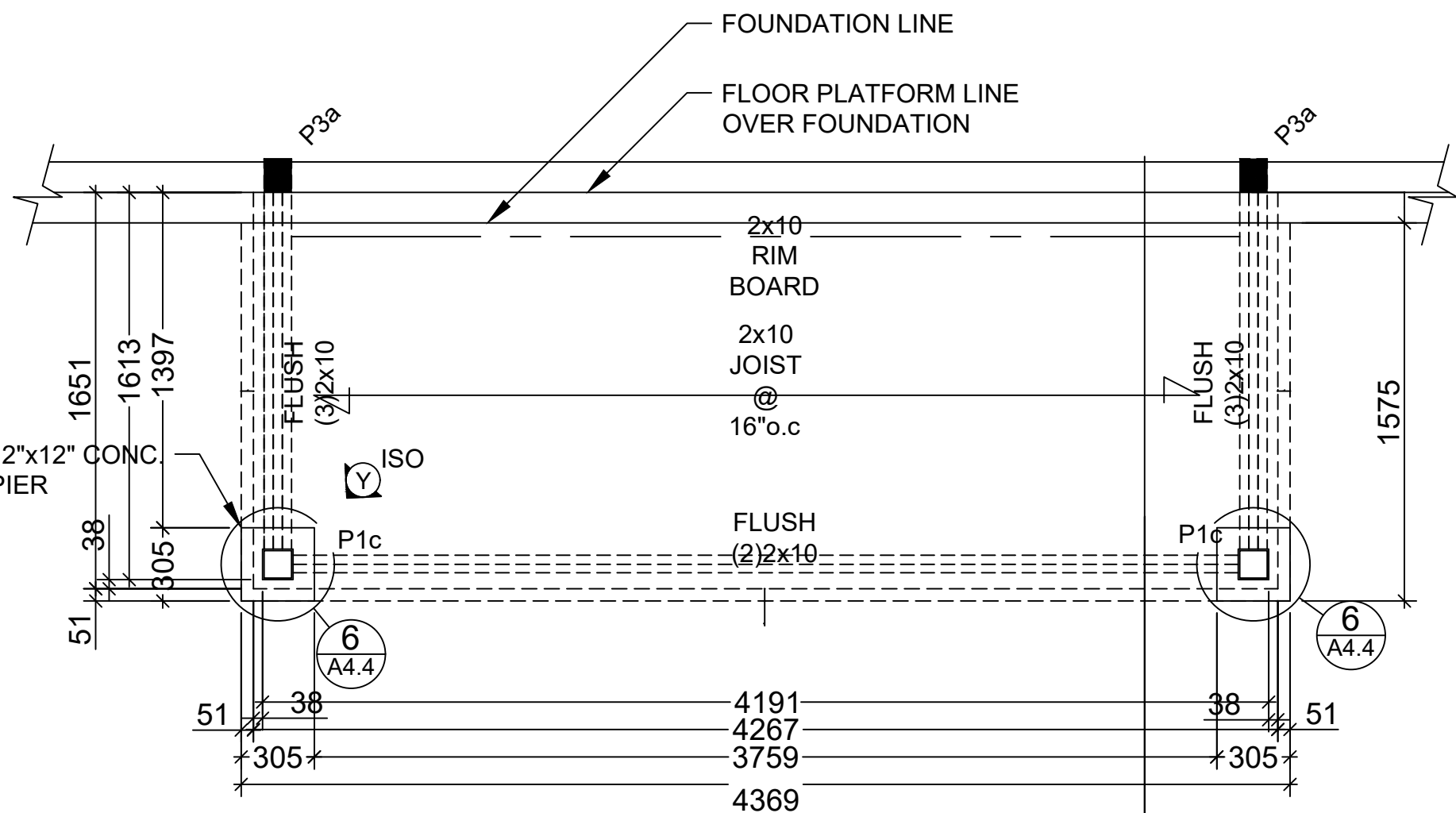
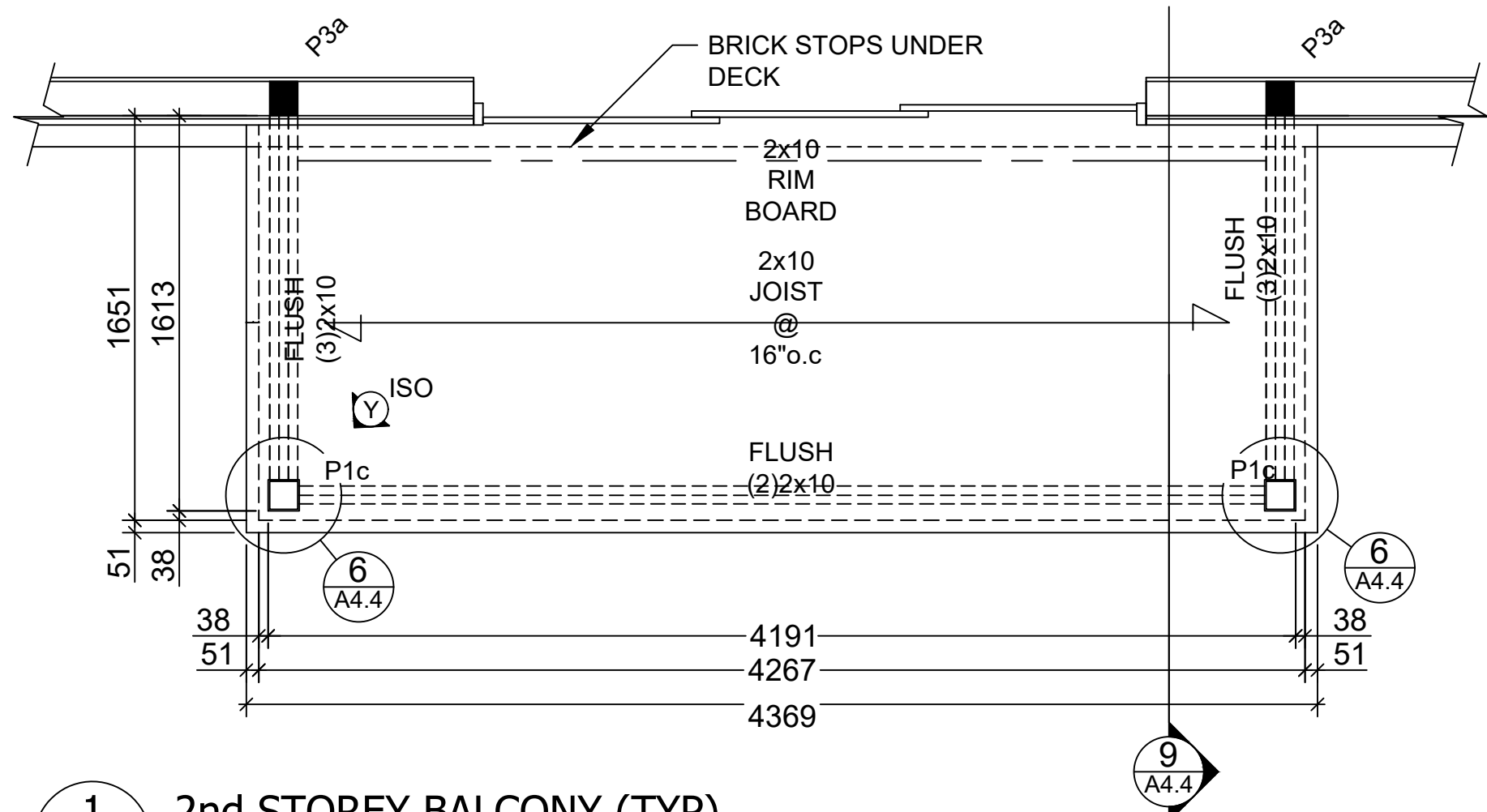


PTabet
architecte

2232 rue Saint-Louis
Gatineau, QC J8T 8L6
t.: 819.568.3994
c.: 819.797.5375
pierre@ptabetarchitecte.com

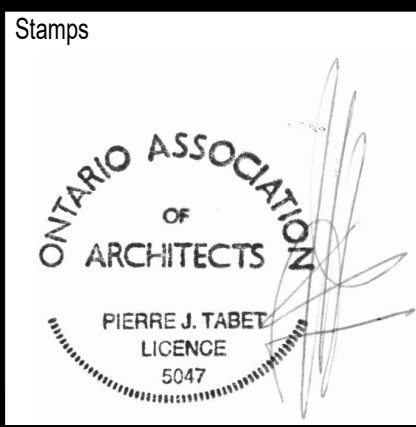
Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be
reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of
Pierre Tabet Architect. Reproduction or use for any purpose other
than that authorized by Pierre Tabet Architect is forbidden.

Project			
12 UNIT APARTMENT BUILDING			
5574 Rockdale Road, Vars, ON			
Client: 2394011 ONTARIO INC.			
Title		Scale:	AS SHOWN
ELEVATOR SECTIONS & DETAILS		Sheet:	12 of 17
Date: 2022/05/16	Drawn: Y.Wolfe	Drawing No.	
Revision: 1.2	Verify: P.Tabet	A-430	



ISSUED FOR			REVISION		
No	DATE	DESCRIPTION	App.	No	DATE
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29
				1.2	2025.05.13

No	DATE	DESCRIPTION	App.
		RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
		RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.



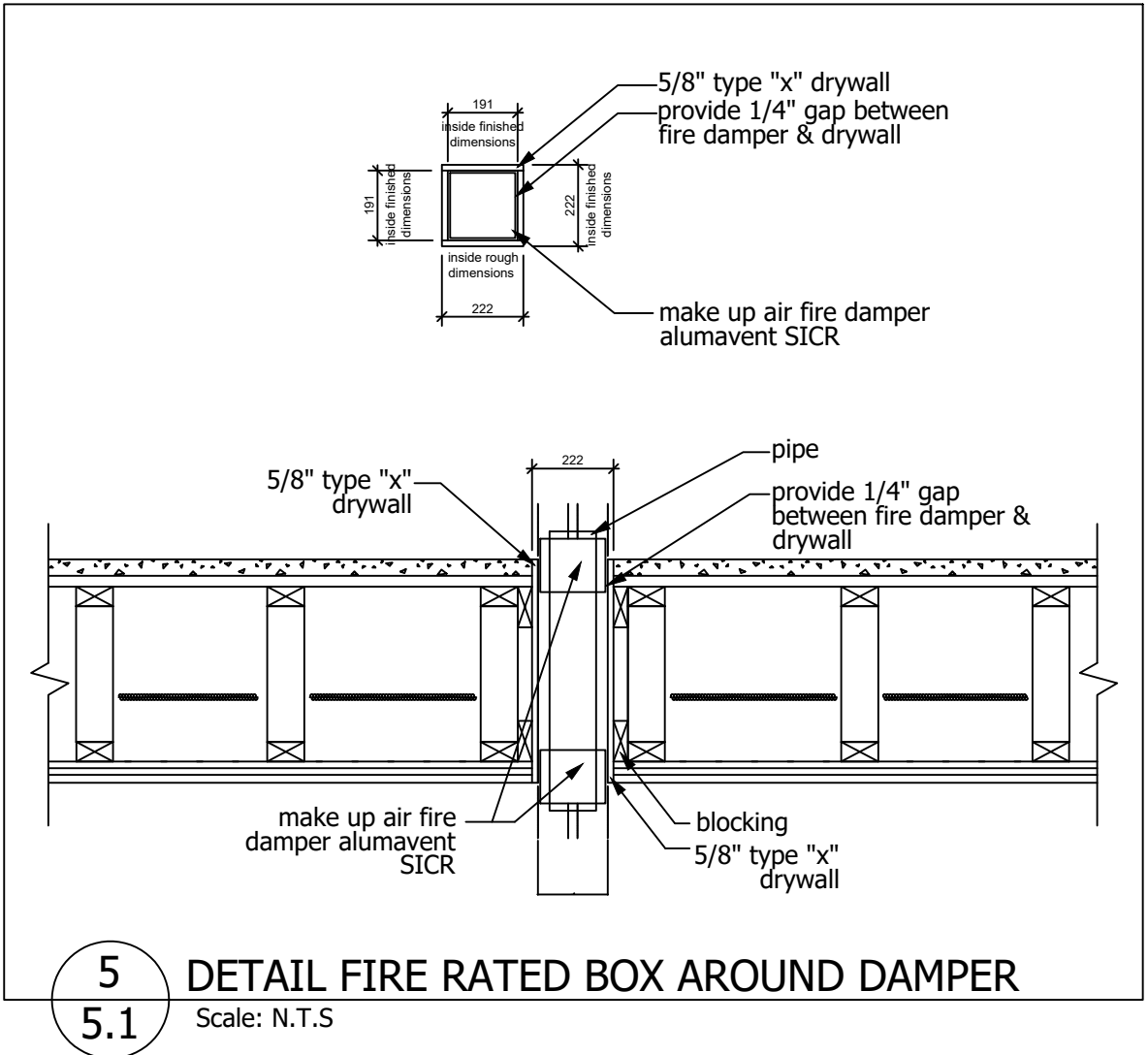
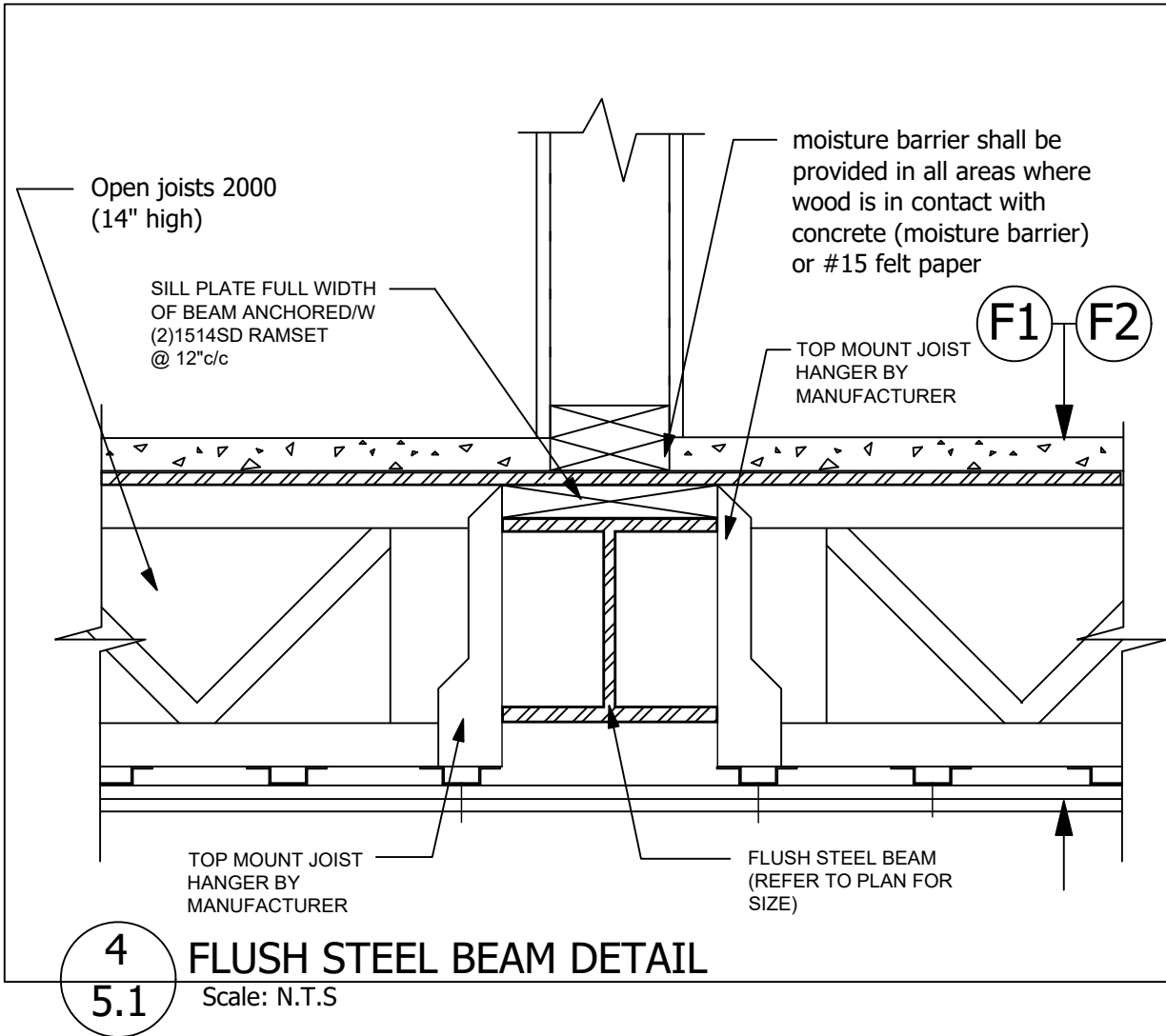
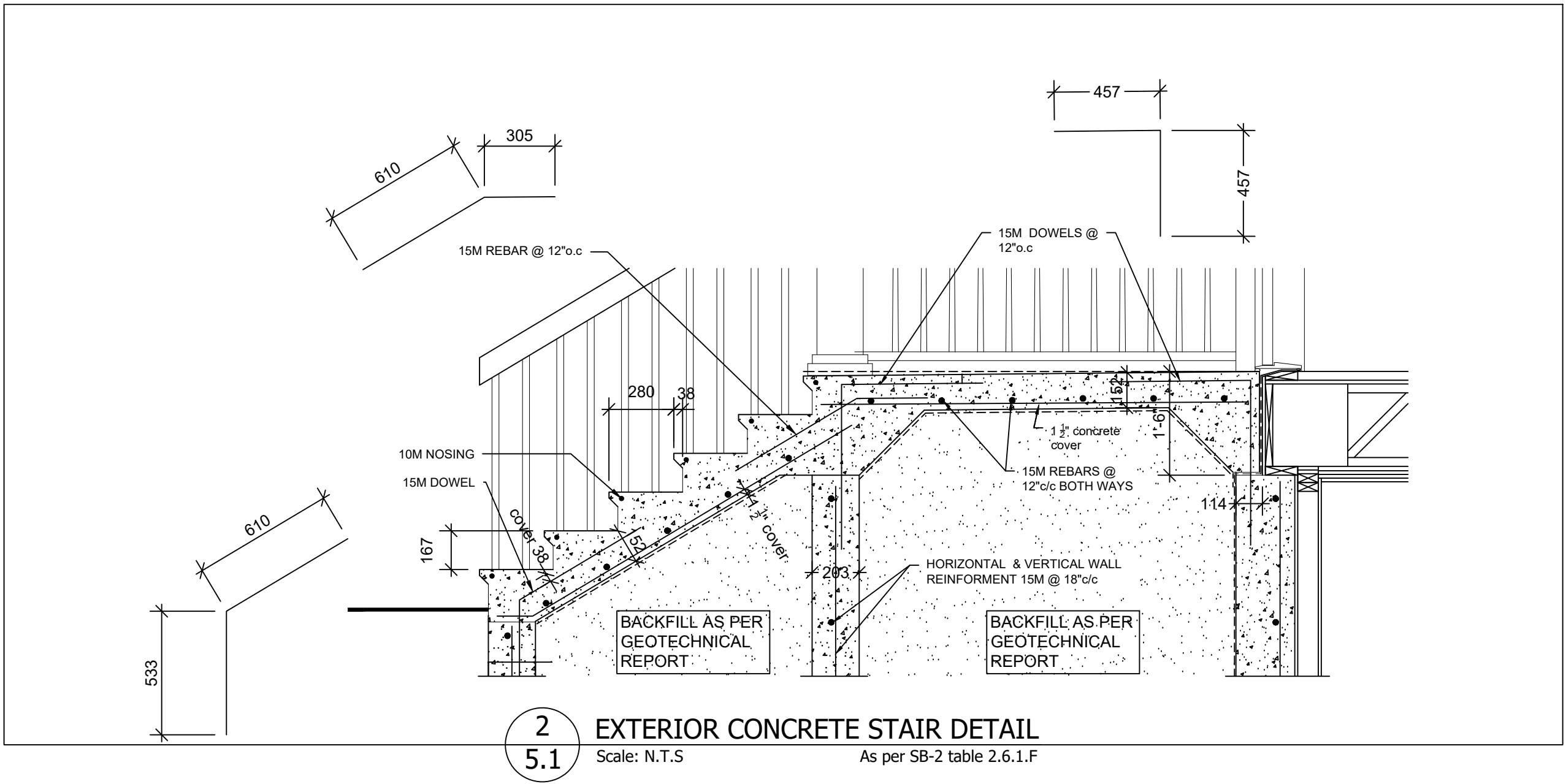
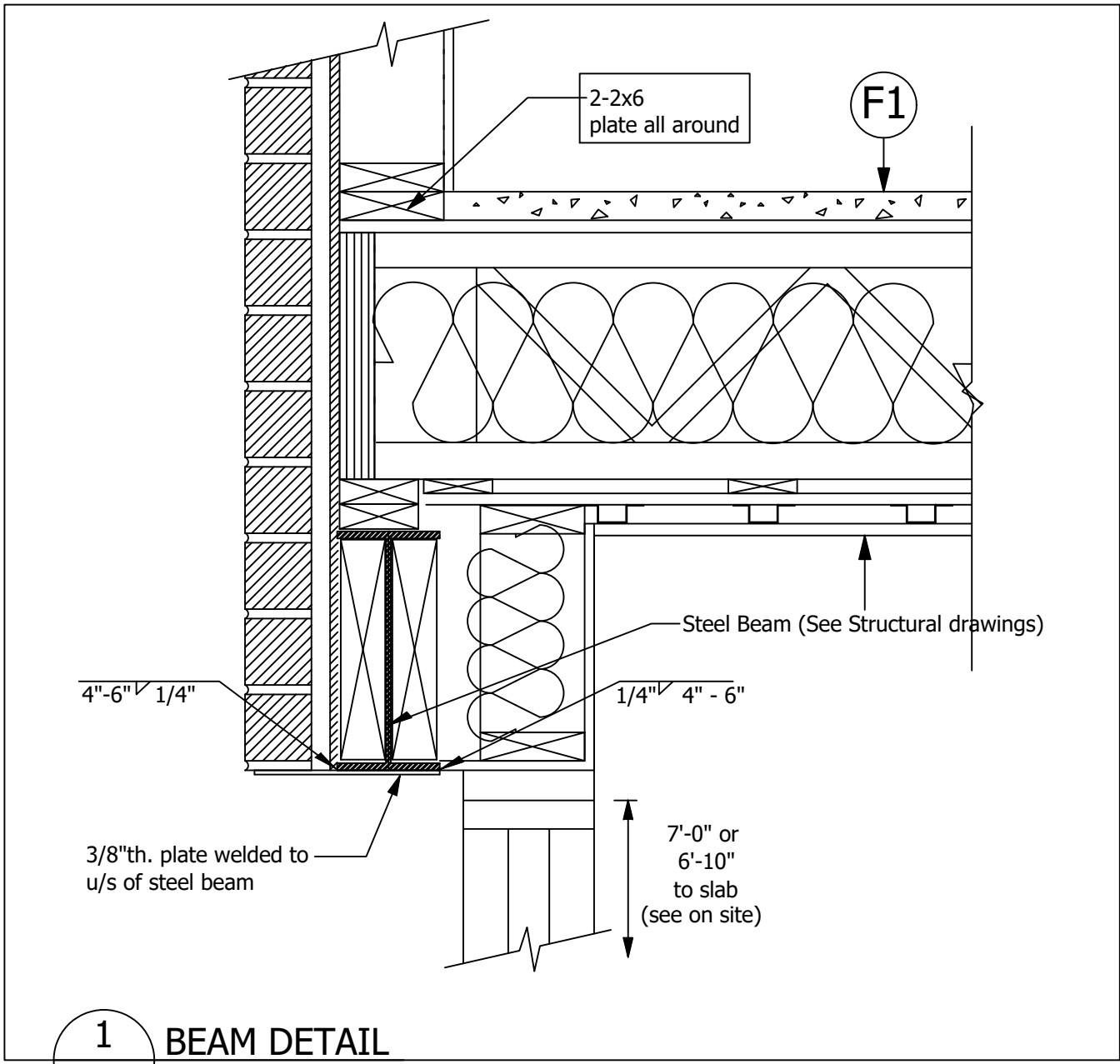
PTabet
architecte

2232 rue Saint-Louis
Gatineau, QC J8T 5L6
T: 819.568.3994
C: 819.797.0375
pierre@tabetarchitecte.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

Project 12 UNIT APARTMENT BUILDING 5574 Rockdale Road, Vars, ON Client: 2394011 ONTARIO INC.		
Title BALCONIES PLANS & DETAILS	Scale: AS SHOWN	Sheet: 13 of 17
Date: 2022/05/16	Drawn: Y.Wolfe	Drawing No. A-500
Revision: 1.2	Verify: P.Tabet	

L:\Users\Pierre Yonick\W 2025\architecture\Multi-logis\Projet Bergeron\2025\CAU\2025-04-28 - Project Bergeron - Architecture.dwg



ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.



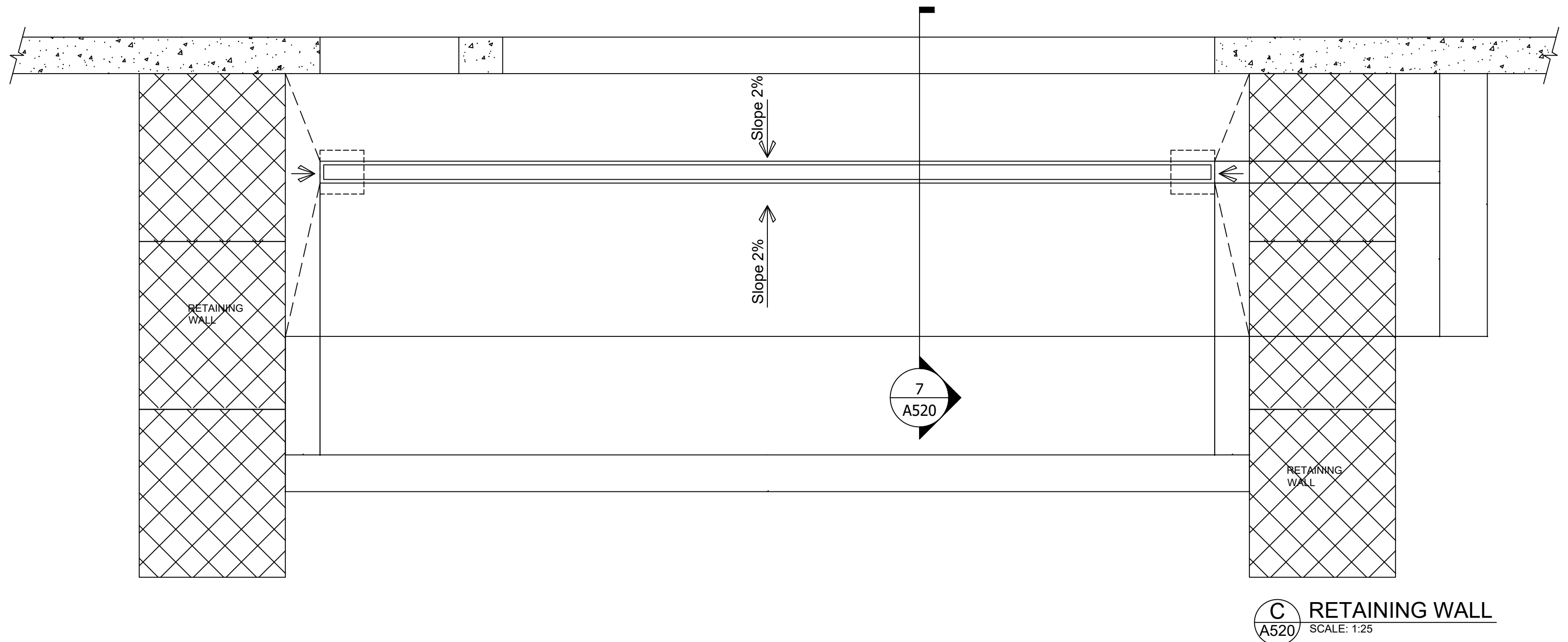
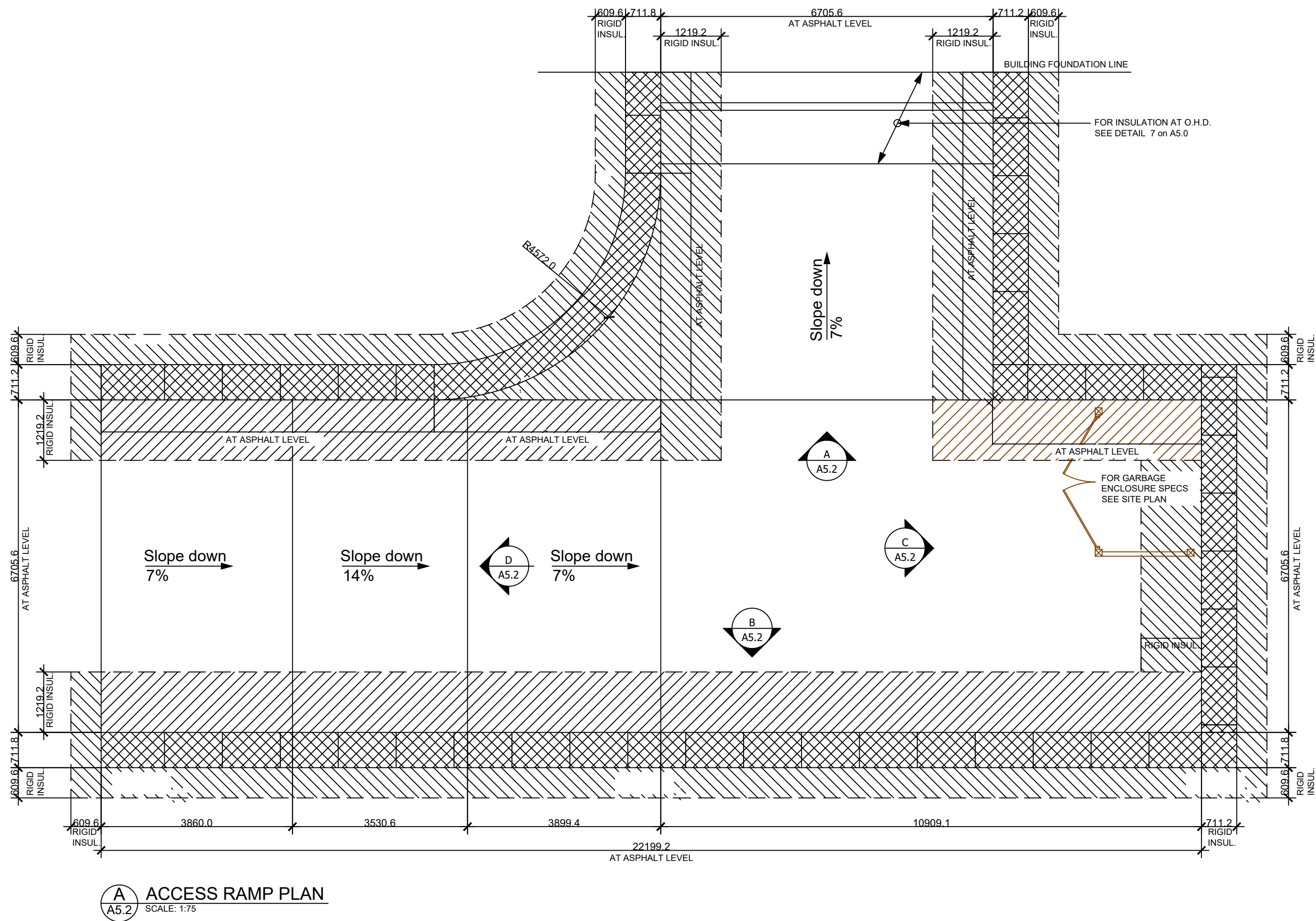
PTabet
architecte

2232 rue Saint-Louis
Gatineau, QC J8T 5L6
t.: 819.568.3594
c.: 613.797.5375
pierretabetarchitecte.com

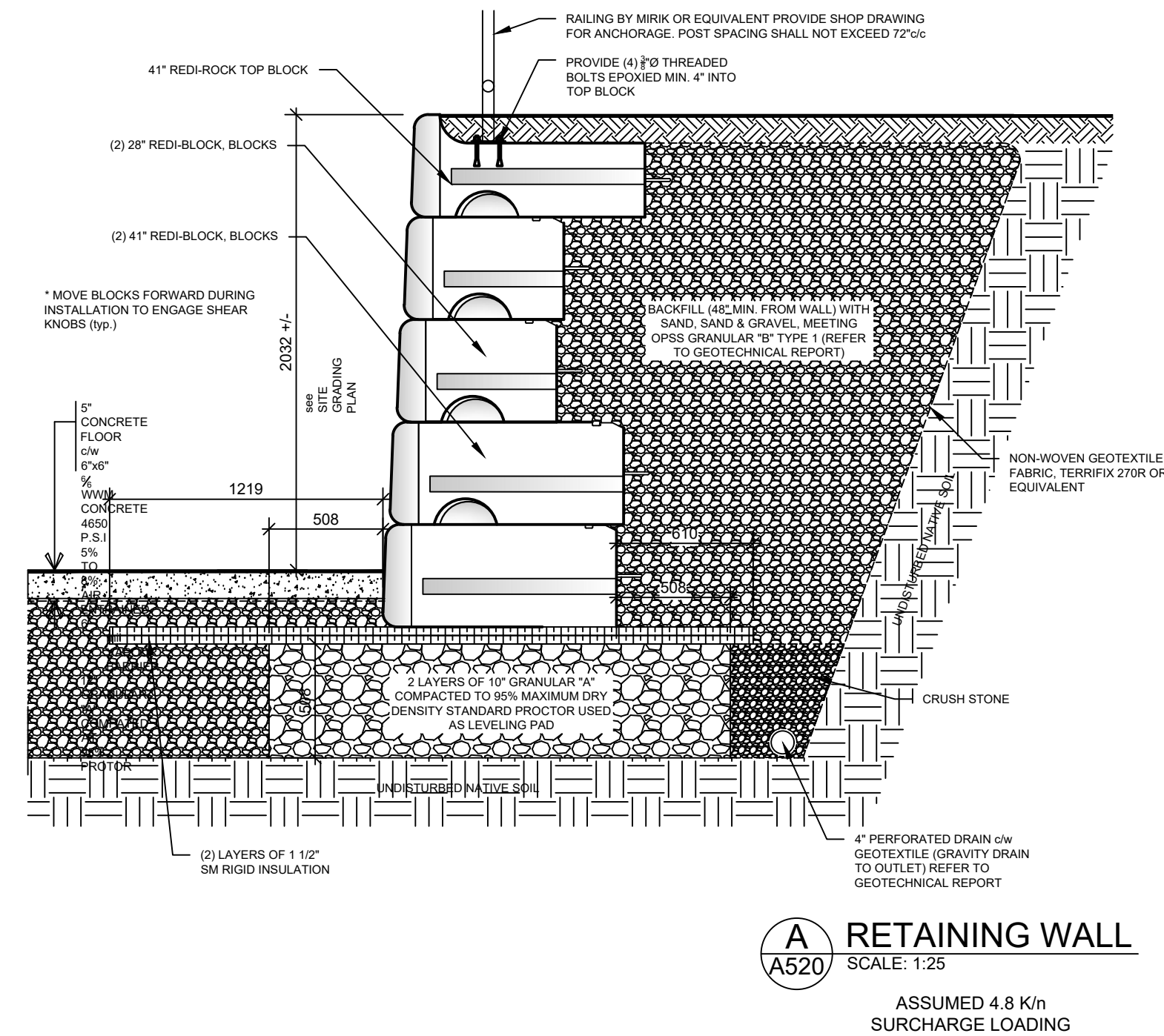
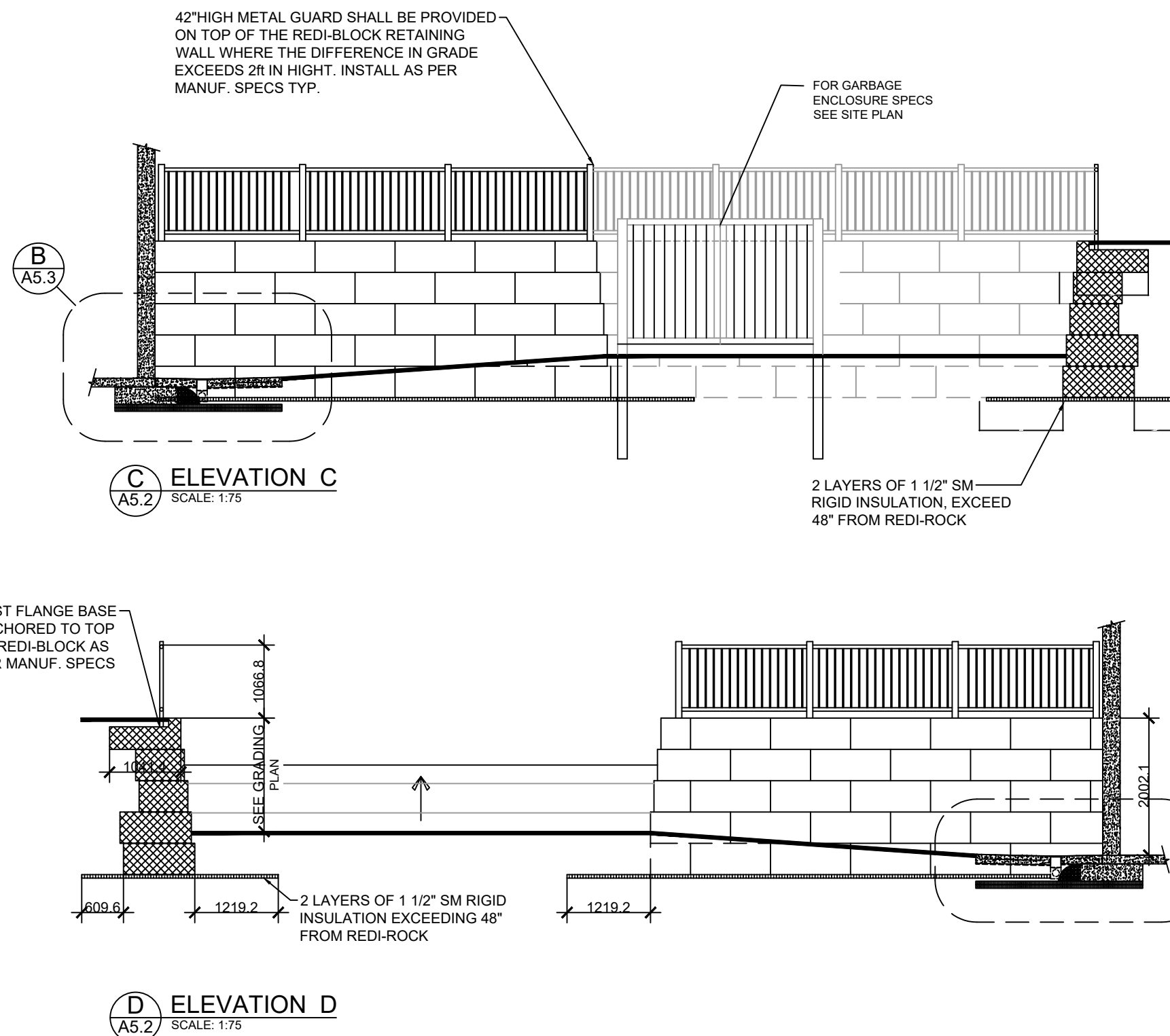
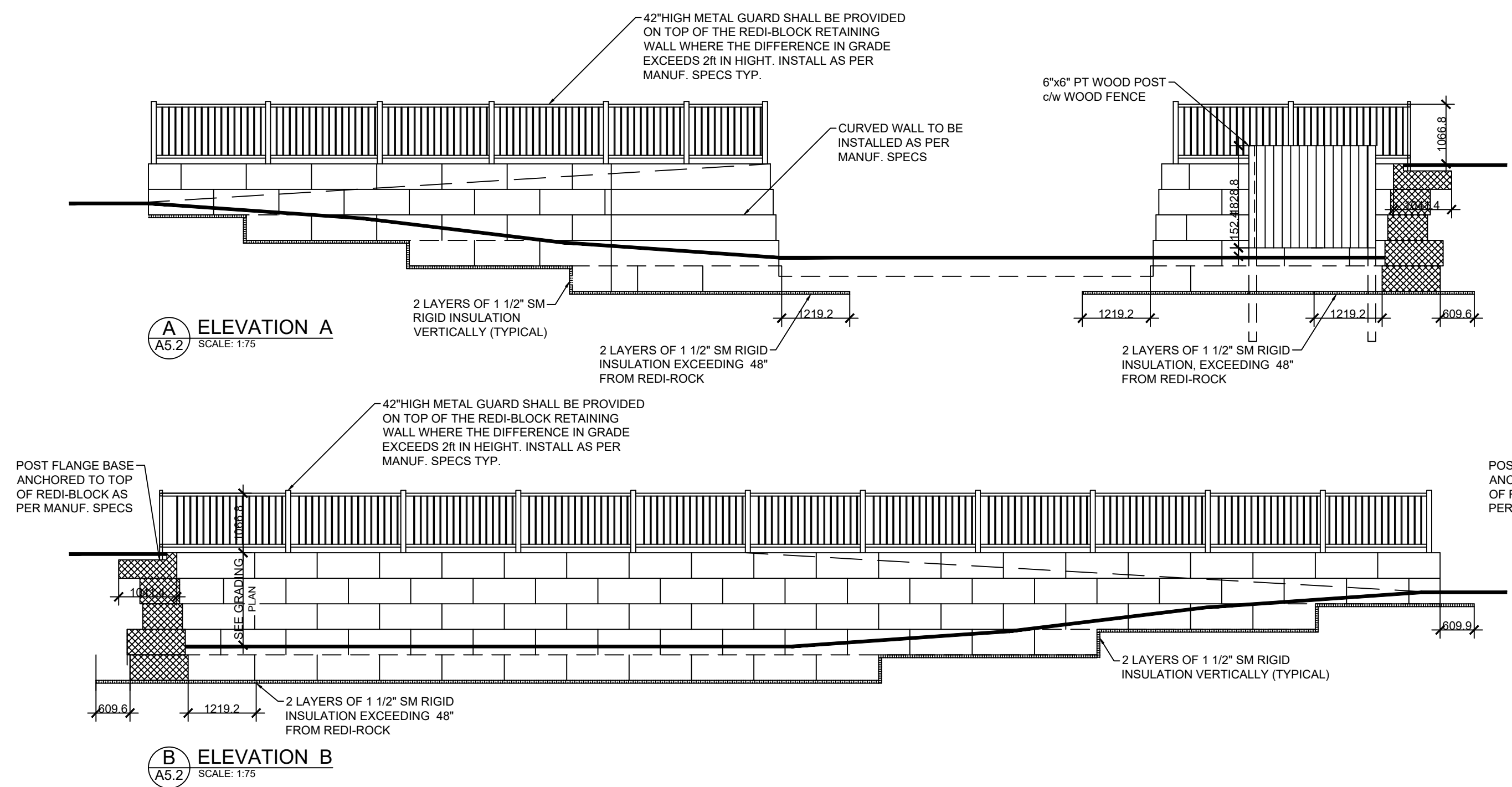
Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

Project 12 UNIT APARTMENT BUILDING 5574 Rockdale Road, Vars, ON Client: 2394011 ONTARIO INC.			
Title CONSTRUCTION DETAILS		Scale: AS SHOWN	
Date: 2022/05/16	Drawn: Y.Wolfe	Drawing No. A-510	
Revision: 1.2	Verify: P.Tabet		

U:\Users\Pierre Yonick\w 2025\architecture\Multi-logis\Projet Bergeron\2025\DAU\2025-04-28 - Project Bergeron - Architecture.dwg



ALL ELEVATIONS OF RETAINING WALL & FINISH GRADE SHALL BE READ IN CONJUNCTION WITH SITE GRADING PLAN



ISSUED FOR			REVISION		
No	DATE	DESCRIPTION	App.	No	DATE
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29
				1.2	2025.05.13

DESCRIPTION	App.	DATE
RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.	2025.04.29
RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.	2025.05.13



PTabet
architecte

2232 rue Saint-Louis
Gatineau, Q.C. J8T 5L6
T.: 819-568-3994
C.: 819-797-0375
pierretabetarchitecte.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be reported to Pierre Tabet architect without delay.
The Copyrights to all designs and drawings are the property of Pierre Tabet Architect. Reproduction or use for any purpose other than that authorized by Pierre Tabet Architect is forbidden.

Project		12 UNIT APARTMENT BUILDING	
5574 Rockdale Road, Vars, ON		Client: 2394011 ONTARIO INC.	
Title	CONSTRUCTION DETAILS	Scale:	AS SHOWN
Date: 2022.05.16	Drawn: Y.Wolfe	Sheet:	15 of 17
Revision: 1.2	Verify: P.Tabet	Drawing No.	A-511

R1 MAIN BUILDING ROOF (1H. FIRE RATING)
as per SB3 Table 2 Ass. M2

- R2 BALCONY ROOF (NO FIRE RATING)

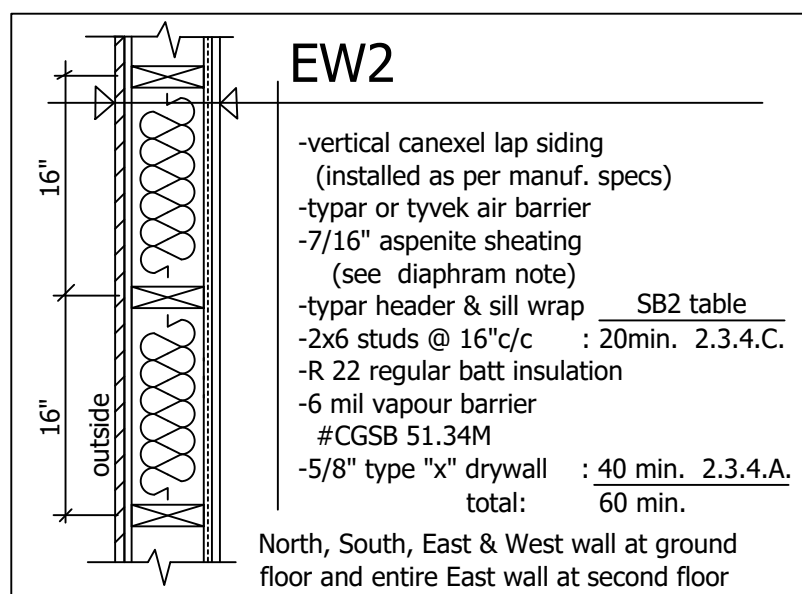
- | | | |
|-----|--|-------------------|
| FW1 | 10" FOUNDATION WALL (1H, FIRE RATING) as per SB2 in parking garage | SB2 Table |
| | - MONOLITHIC CONCRETE 10" THICK. | 240 min. 2.1.1.1. |
| | - PARGING (SAND FINISH) ABOVE GRADE | |
| | - DRAINAGE LAYER SEE DETAIL | |
| | - 2 COATS OF DAMPROOFING BELOW GRADE | |
| | REINFORCED POURED CONC. FOUNDATION WALL (SEE STRUCTURAL DRAWINGS) | |
| | - FELT PAPER BELOW GRADE DOWN TO SLAB | |
| | - 3.5 INCHES RIGID FOAM INSULATION R21.7 | |
| | - 6 MIL VAPOR BARRIER "CGSB 51.34 M | |
| | - 1x4 STRAPPING @ 16" c/c (on moisture barrier mat) | |
| | - 4" TYPE "X" DRYWALL (wall height 8'-0") | 40 min. 2.3.4.A |
| | (Drywall from floor up to 4'-0" to be moisture resistant) | |
| | TOTAL | 280 min. |

EW1

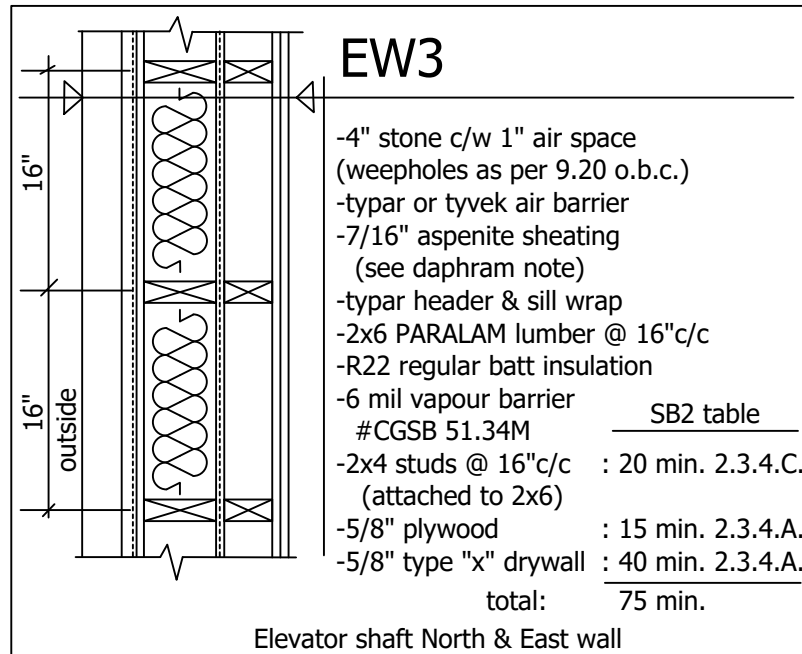
16" air space (weepholes as per 9.20 o.b.c.) or
 -tyvar or tyvek air barrier
 -7/16" asphaltene sheathing
 (see diaphragm note)
 -tyvek header & sill wrap SB2 table
 -2x6 studs @ 16" c/c : 20min. 2.3.4.C.
 -R 24 batt insulation
 -6 mill vapour barrier
 #CGSB 51.34M
 -5/8" type "x" drywall : 40 min. 2.3.4.A.
 total: 60 min.

North, South & West wall at ground floor
 and partial West wall second floor

1.1 AS PER SB2 & SB-3 TABLE 1 Ass. # EW1a



1.1 AS PER SB2 or SB-3 TABLE 1 / WALL # EW1a



1.1 75 min. PROVIDED AS PER SB2

Technical drawing of a wall cross-section. The wall is 16" thick. It consists of a heated side (indicated by a wavy line) and a cold side (indicated by a dashed line). The wall is constructed of 2x6 studs at 16" c/c. The insulation is R-22 regular batt insulation. A 6 mil vapour barrier is shown as a solid line. The wall is labeled I1.

16"

heated side

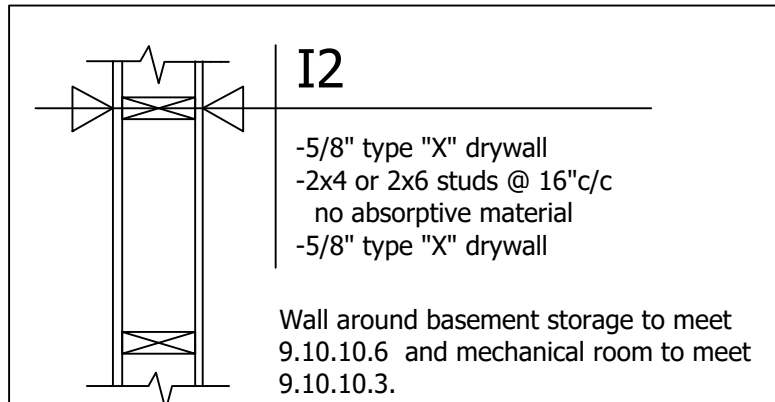
I1

- (2)5/8" type "X" drywall (Garage side)
- 2x6 studs @ 16" c/c
- R22 regular batt insulation
- 6 mil vapour barrier #CG58 51.34M
- (2)5/8" type "X" drywall

Walls around staircase in parking garage, 1.5 hr. fire rating req'd as per 9.10.9.16.(1)

7 1.5H. FIRE RATED WALL

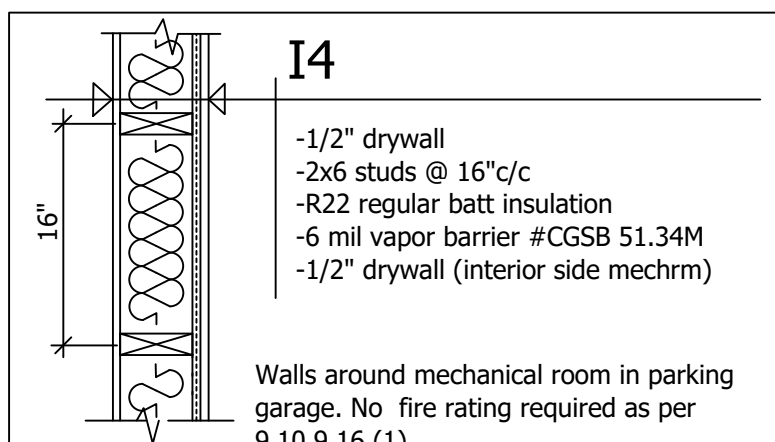
1.1 AS PER SB-3 TABLE 1 WALL Ass.- W2d



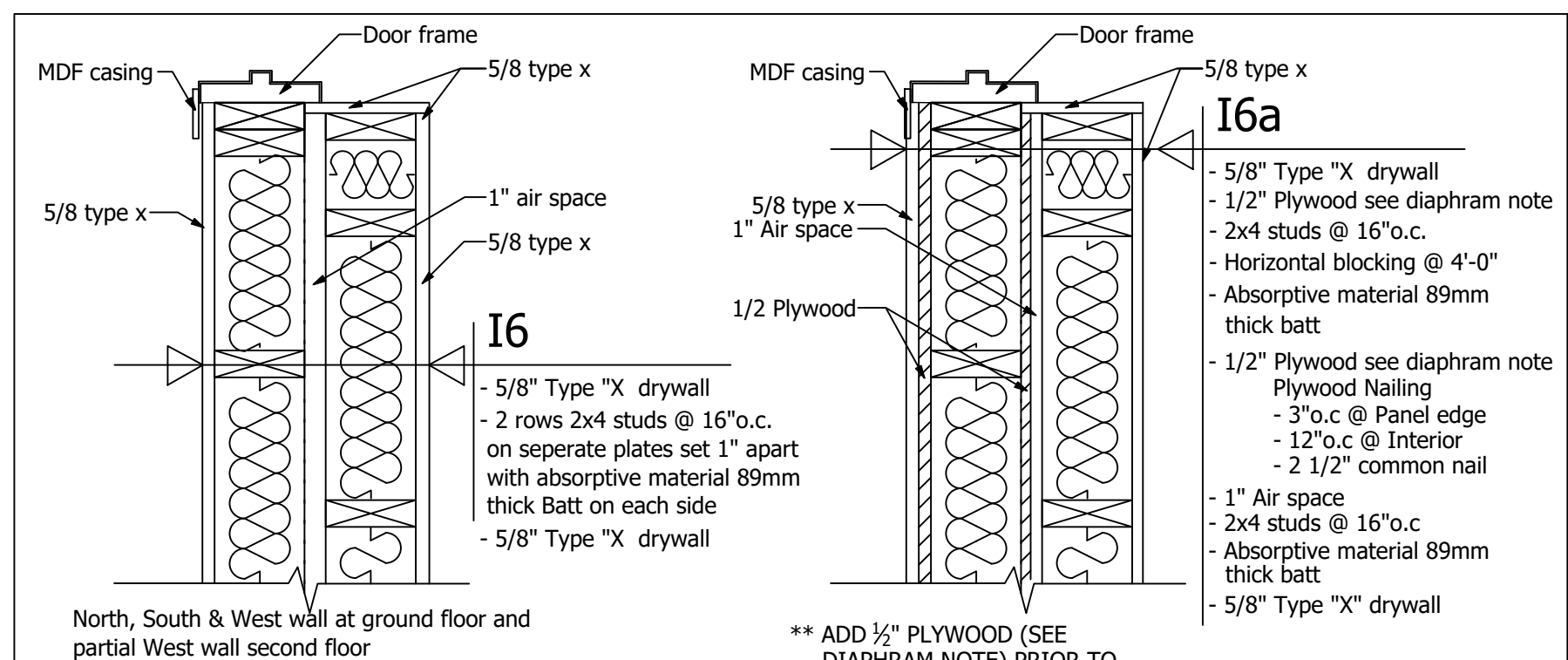
1.1 AS PER SB3 TABLE 1 Wall Ass. - W10
STC 32

NO FIRE RATING REQUIRED

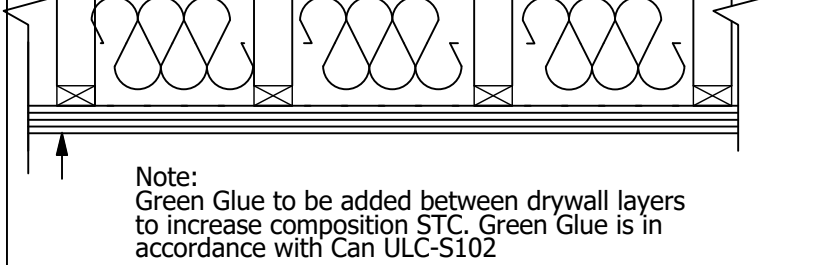
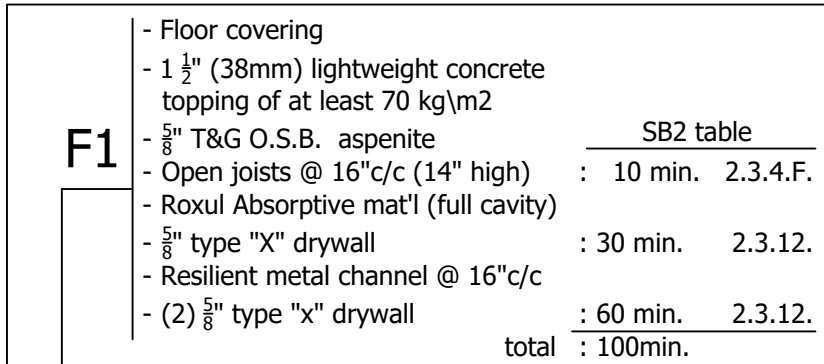
- 1/2" drywall
- 2x4 or 2x6 @ 16"c/c no absorptive material where washer in apartment
- 1/2" drywall



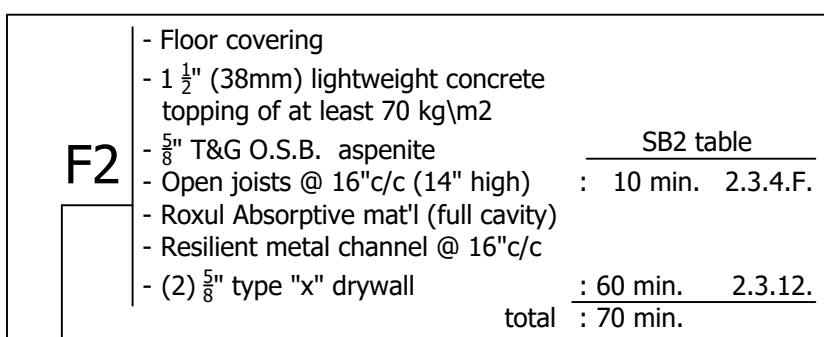
1.1



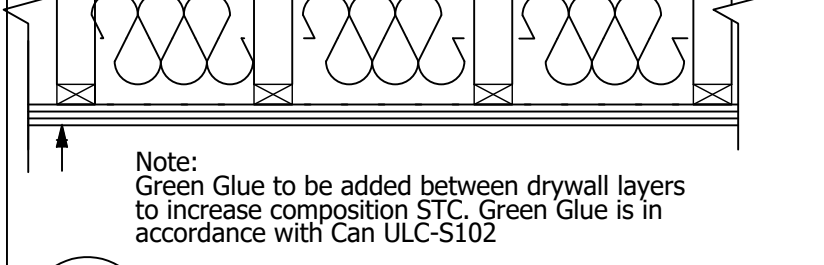
AS PER SB-3 TABLE 1 WALL Ass. W13a - STC 57
See also detail 1/4.0



1.1 AS PER SB3 TABLE 2 Ass. F38C - STC 69



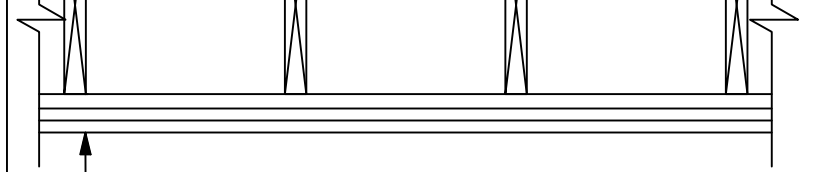
The diagram shows a horizontal beam with four supports, represented by squares with an 'X' inside. The beam is divided into three equal segments by these supports. A distributed load, represented by a series of small downward-pointing triangles, is applied along the entire length of the beam.



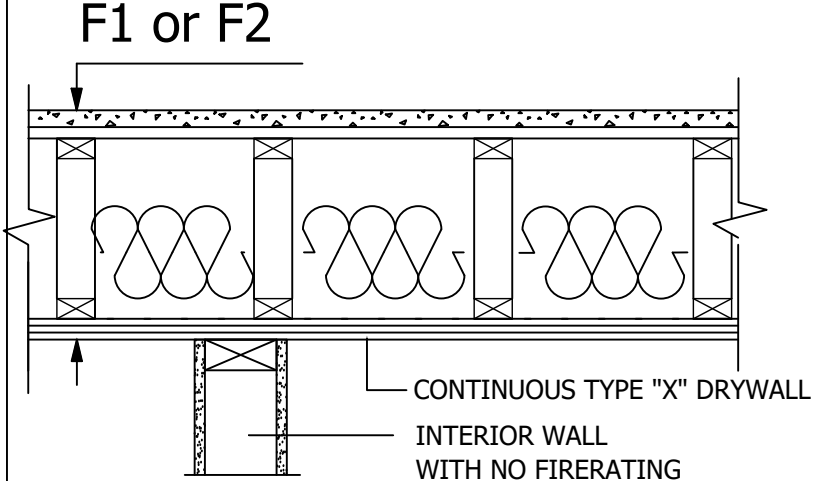
1.1 AS PER SB3 TABLE 2 Ass. F38c - STC 6

LDG1

- Floor covering
- 5/8" Tongue & groove O.S.B. aspenite
- 2x10 joists @ 16" o.c
- Min. 6" of absorptive material in cavity
- (2)5/8" Type "x" drywall SB-2 T.2.3.12. 60 min.

[illegible]

1.2 AS PER SB3 TABLE 2 Ass. F6a - STC 41 but not req'd



1.1 AS PER SB3 TABLE 2 Ass. F38c - No STC req'd

ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.

Stamps

ONTARIO ASSOCIATION
OF
ARCHITECTS

PIERRE J. TABET
LICENCE
5347

PTabet
architecte

2232 rue Saint-Louis,
Gatineau QC J8T 5S4
tél. : 819.568.3996
fax : 819.568.3996
e-mail : pierre@pierretabletarchitecte.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawing - any errors or omissions shall be
reported to Pierre Tabet Architect without delay.
The Copyrights to all designs and drawings are the property of
Pierre Tabet Architect. Reproduction or use for any purpose other
than that authorized by Pierre Tabet Architect is forbidden.

Project	
12 UNIT APARTMENT BUILDING	
5574 Rockdale Road, Vars, ON	
Client: 2394011 ONTARIO INC.	
Title	Scale: 1:20
WALLS SCHEDULE	Sheet: 16 of 17
Date: 2022.05.16	Drawing No.
Revision: 1.2	A-600
Drawn: Y.Wolfe	
Verify: P.Tabet	

U:\Users\Pierre Yonick\W 2025\architecture\Multi-logis\Projet Bergeron\2025\CAU\2025-04-28 - Project Bergeron - Architecture.dwg

GROUND FLOOR					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D1	1	68" WIDE 36" x 84" leaf	A	N/A	METAL DOOR INSULATED C/W (2) SIDE LIGHTS C/W WEATHERSTRIP, SELF CLOSER, PANIC BAR SET WITH PASSAGE LEVER TYPE, POWER DOOR OPERATOR AND BEVEL THRESHOLD OF 1:2 SLOPE, 1 1/2" THICK MAX. (SEE NOTE A)
D2	1	74" WIDE 36" x 84" leaf	B	N/A	METAL DOOR C/W (2) SIDE LIGHTS, SELF CLOSER, PANIC BAR SET WITH PASSAGE LEVER TYPE (SEE NOTE A)
D3	3	36" x 84" leaf	D	45 MIN.	METAL DOOR WITH STEEL FRAME C/W WIRED GLASS, SELF CLOSER & PASSAGE LEVER TYPE SET (NOTE A & B)
D4	1	36" x 84" leaf	C	N/A	METAL DOOR INSULATED C/W WEATHERSTRIP, SELF CLOSER, PANIC BAR SET WITH PASSAGE LEVER TYPE (NOTE A)

BASEMENT FLOOR					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D5	2	36" x 84" leaf	E	1 HR	METAL DOOR WITH STEEL FRAME C/W SELF CLOSER, PANIC BAR SET & PASSAGE LEVER TYPE (SEE NOTE A & B)
D5a	1	36" x 84" leaf	F	1 HR	METAL DOOR WITH STEEL FRAME C/W SELF CLOSER & PASSAGE LOCKSET (SEE NOTE A & B)
D6	7	36" x 84" leaf	F	45 MIN.	METAL DOOR WITH STEEL FRAME C/W SELF CLOSER & PASSAGE LOCKSET (SEE NOTE A & B)
D7	10	36" x 84" leaf	G	N/A	SOLID WOOD CORE DOOR WITH WOOD OR STEEL FRAME C/W PASSAGE LOCKSET
D8	1	36" x 84" leaf	D	1 HR	METAL DOOR WITH STEEL FRAME C/W SELF CLOSER & PASSAGE LEVER TYPE SET (SEE NOTE A)
D20	1	192" x 84"		N/A	ALUMINUM INSULATED OVER HEAD DOOR C/W DOOR OPENER
D21	1	36" x 84" leaf	C	N/A	METAL DOOR INSULATED C/W WEATHERSTRIP, SELF CLOSER, PANIC BAR FOR EXIT AND NO DOOR HANDLE ON EXTERIOR SIDE

SECOND FLOOR					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D3	3	36" x 84" leaf	D	45 MIN.	METAL DOOR WITH STEEL FRAME C/W WIRED GLASS, SELF CLOSER & PASSAGE LEVER TYPE SET (NOTE A & B)
D19	1	(2)36" x 84" leaf	J	N/A	DOUBLE METAL DOOR INSULATED C/W WEATHERSTRIP, SELF CLOSER AND PASSAGE LEVER TYPE LOCKSET

UNIT 101, 201					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D9	1	36" x 84" leaf	H	20 MIN.	"CLASSIC" SOLID WOOD CORE DOOR WITH METAL FRAME, SELF CLOSER, DOOR VIEWER INSTALLED WITH DEADBOLT LOCK, SMOKE AND SOUND SEAL AROUND DOOR (SEE NOTE A & B)
D10	5	32" x 84" leaf	I		HOLLOW CORE C/W PASSAGE SET
D11	2	(2)24" x 84"leaf	I		HOLLOW CORE C/W KNOB HANDLE
D12	1	32" x 84" leaf	I		HOLLOW CORE C/W PRIVACY SET
D13	1	108" x 84"	K		TRIPLE PATIO DOOR

UNIT 102, 202					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D9	1	36" x 84" leaf	H	20 MIN.	"CLASSIC" SOLID WOOD CORE DOOR WITH METAL FRAME, SELF CLOSER, DOOR VIEWER INSTALLED WITH DEADBOLT LOCK, SMOKE AND SOUND SEAL AROUND DOOR (SEE NOTE A & B)
D10	5	32" x 84" leaf	I		HOLLOW CORE C/W PASSAGE SET
D11	2	(2)24" x 84"leaf	I		HOLLOW CORE C/W KNOB HANDLE
D12	1	32" x 84" leaf	I		HOLLOW CORE C/W PRIVACY SET
D13	1	108" x 84"	K		TRIPLE PATIO DOOR

UNIT 103, 203					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D9	1	36" x 84" leaf	H	20 MIN.	"CLASSIC" SOLID WOOD CORE DOOR WITH METAL FRAME, SELF CLOSER, DOOR VIEWER INSTALLED WITH DEADBOLT LOCK, SMOKE AND SOUND SEAL AROUND DOOR (SEE NOTE A & B)
D10	5	32" x 84" leaf	I		HOLLOW CORE C/W PASSAGE SET
D12	1	32" x 84" leaf	I		HOLLOW CORE C/W PRIVACY SET
D14	1	72" x 84"	L		DOUBLE PATIO DOOR
D17	1	(2)18" x 84"	I		DBL HOLLOW CORE C/W KNOB HANDLE

NOTE A:
PANIC BAR & SELF CLOSER BACKING SHALL BE PROVIDED FOR EXTERIOR DOORS.

NOTE B:
EVERY FIRE DOOR AND WINDOW SHALL BE INSTALLED IN CONFORMANCE WITH CHAPTERS 2 TO 14 OF NFPA 80 "FIRE DOORS AND WINDOWS" AND WHERE REQUIRED TO HAVE A FIRE-PROTECTION RATING, IT SHALL HAVE LABELS ON ALL ITEMS OR CLASSIFICATION MARKS TO IDENTIFY THE TESTING LABORATORY.

UNIT 104, 204					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D9	1	36" x 84" leaf	H	20 MIN.	"CLASSIC" SOLID WOOD CORE DOOR WITH METAL FRAME, SELF CLOSER, DOOR VIEWER INSTALLED WITH DEADBOLT LOCK, SMOKE AND SOUND SEAL AROUND DOOR (SEE NOTE A & B)
D10	5	32" x 84" leaf	I		HOLLOW CORE C/W PASSAGE SET
D11	2	24" x 84"	I		HOLLOW CORE C/W KNOB HANDLE
D12	1	32" x 84" leaf	I		HOLLOW CORE C/W PRIVACY SET
D14	1	72" x 84"	L		DOUBLE PATIO DOOR

UNIT 105, 205					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D9	1	36" x 84" leaf	H	20 MIN	"CLASSIC" SOLID WOOD CORE DOOR WITH METAL FRAME 20min. SELF CLOSER, DOOR VIEWER INSTALLED WITH DEADBOLD LOCK, SMOKE AND SOUND SEAL AROUND DOOR (SEE NOTE A & B)
D10	5	32" x 84" leaf	I		HOLLOW CORE C/W PASSAGE SET
D11	2	(2)24" x 84"leaf	I		DBL HOLLOW CORE C/W KNOB HANDLE
D12	1	32" x 84" leaf	I		HOLLOW CORE C/W PRIVACY SET
D14	1	72" x 84"	L		DOUBLE PATIO DOOR
D15	1	16" x 84" leaf	I		HOLLOW CORE C/W PASSAGE SET
D16	1	(2)20" x 84"leaf	I		DBL HOLLOW CORE C/W KNOB HANDLE

UNIT 106, 206					
	QTY PER UNIT	DOOR DIMENSION	TYPE	F.R.	COMMENTS
D9	1	36" x 84" leaf	H	20 MIN.	"CLASSIC" SOLID WOOD CORE DOOR WITH METAL FRAME, SELF CLOSER, DOOR VIEWER INSTALLED WITH DEADBOLT LOCK, SMOKE AND SOUND SEAL AROUND DOOR (SEE NOTE A & B)
D10	5	32" x 84" leaf	I		HOLLOW CORE C/W PASSAGE SET
D11	2	(2)24" x 84"leaf	I		HOLLOW CORE C/W KNOB HANDLE
D12	1	32" x 84" leaf	I		HOLLOW CORE C/W PRIVACY SET
D13	1	108" x 84"	K		TRIPLE PATIO DOOR

DOOR TYPE											
A	B	C	D	E	F	G	H	I	J	K	L

ISSUED FOR				REVISION			
No	DATE	DESCRIPTION	App.	No	DATE	DESCRIPTION	App.
1	2022.05.16	BUILDING PERMIT APPLICATION	P.T.	1.1	2025.04.29	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.
				1.2	2025.05.13	RESPOND TO CITY COMMENTS DATED MAY 27 2022	P.T.



Project 12 UNIT APARTMENT BUILDING 5574 Rockdale Road, Vars, ON Client: 2394011 ONTARIO INC.		
Title DOOR & WINDOW SCHEDULE	Scale: AS SHOWN	
Date: 2022.05.16	Drawn: Y.Wolfe	Drawing No. A-610
Revision: 1.2	Verify : P.Tabet	