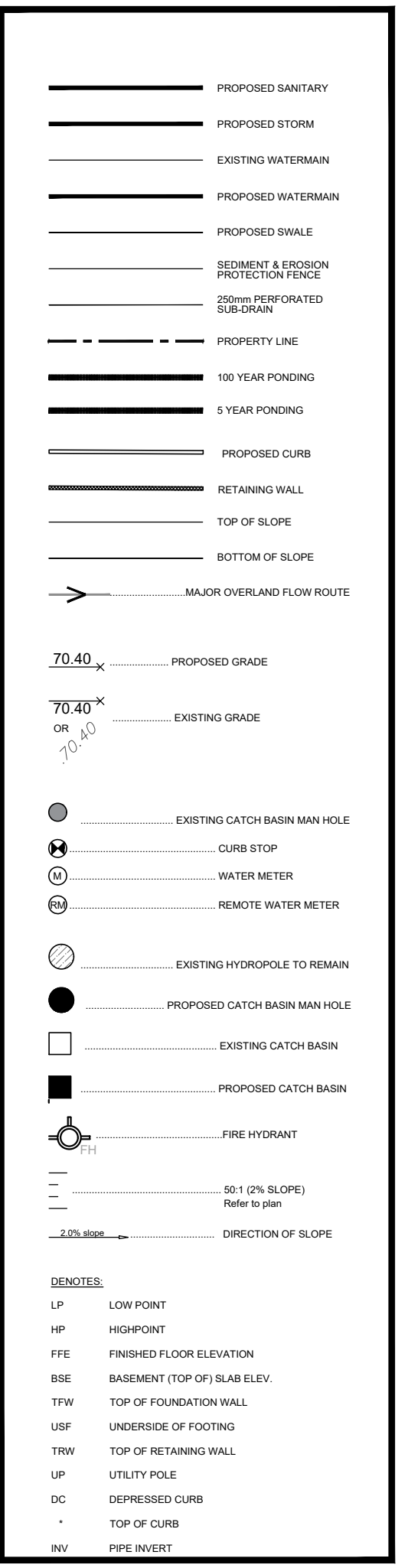
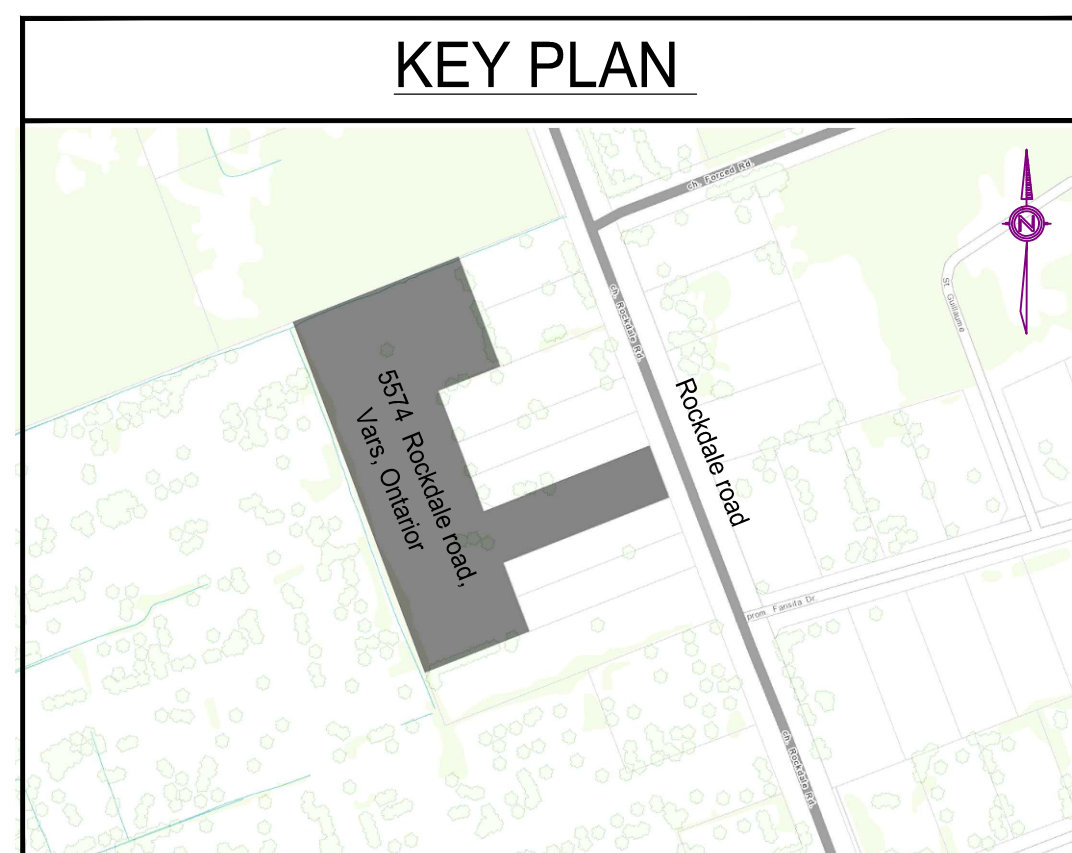
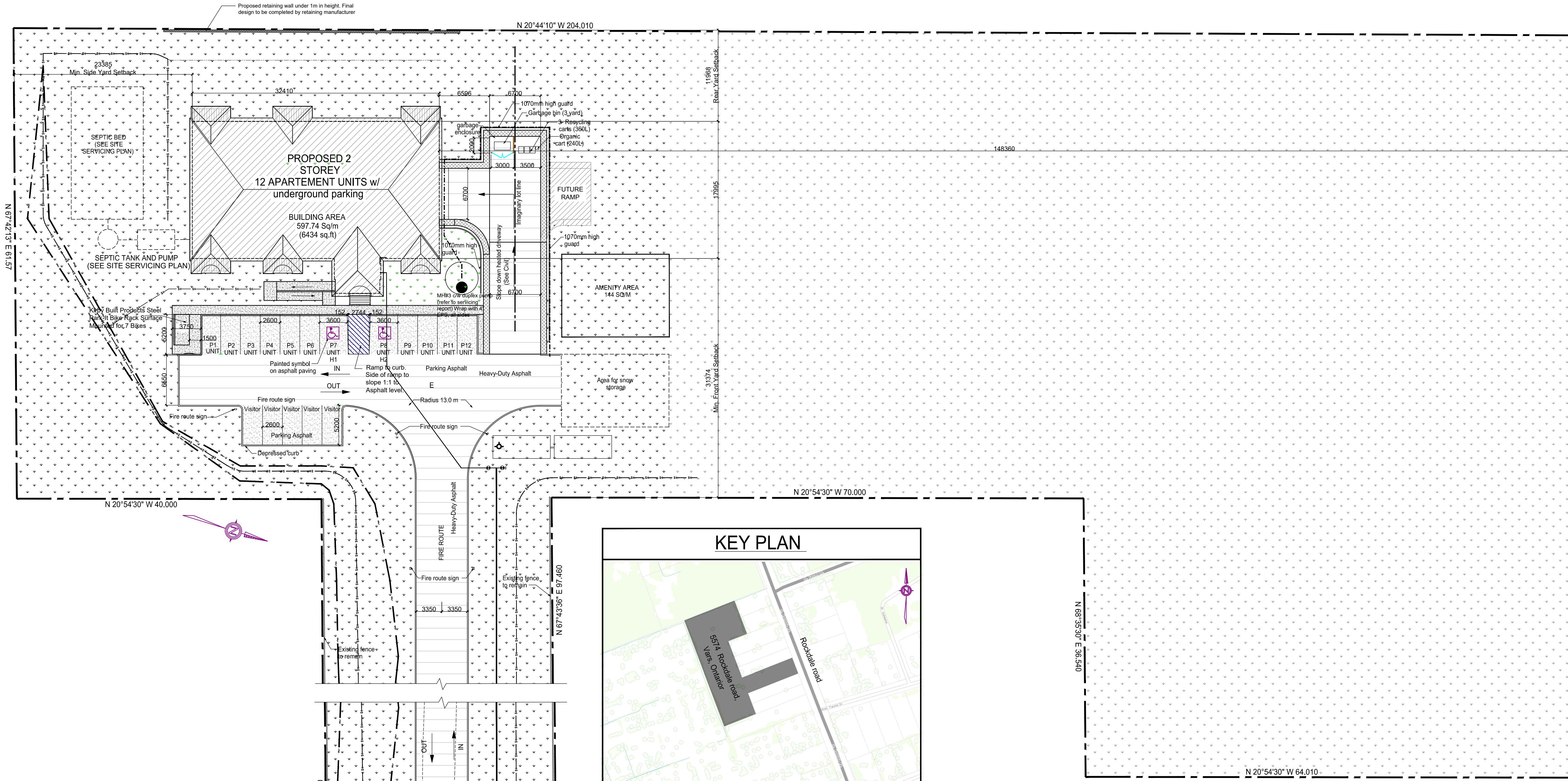


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ENGINEERING STAMP

#8		
#7		
#6		
#5		
#4		
#3		
#2		
#1	FOR CITY COMMENTS 7	24 / 08 / 2020
NO. / REVISION		DATE (DDMMYYYY)

BLANCHARD LETENDRE ENGINEERING
 767, Notre Dame, Local 42, Embrun, Ontario, (613) 693-0700
 K0A 1W1, blengr.com

CLIENT:
BERGERON CONSTRUCTION
 172 ST. THOMAS ROAD
 VARS, ON, K0A 3H0

PROJECT:
12 UNIT APARTMENT BUILDING
 5574 ROCKDALE ROAD
 VARS, ON

DRAWING:
SITE PLAN

PAPER FORMAT: 610x915
DRAWN BY: XX
CHECKED BY: XX
DATE: 08-2020
SCALE: AS SHOWN
PROJECT NUMBER: 19-276

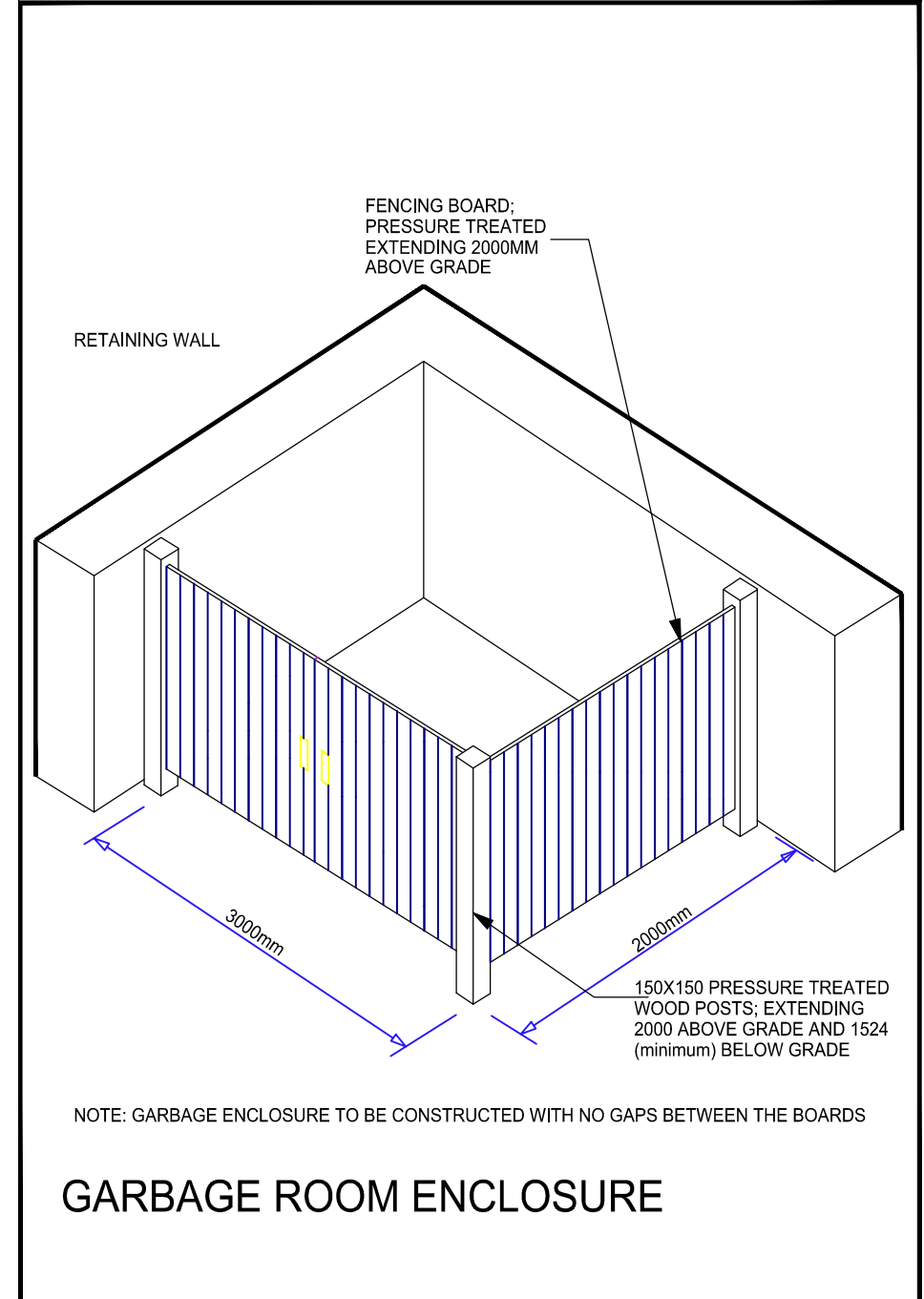
PAGE:
SP1

NOTE: ALL LANDSCAPING SHALL BE AS SHOWN ON L1

DATA	
PROJECT : BUILDING OF 12 RESIDENTIAL APARTEMENT UNITS 2 storey + elevator with basement garage (15 parkings)	
ZONING	- V3E
BUILDING SIZE	- 32,410 m x 17,995 m (irregular)
BUILDING AREA	- 6453 SQ/FT (599.50 m2)
LOT AREA -	17765.7 sq.m
MIN. LOT AREA REQ'D -	900 sq.m
LOT WIDTH -	Irregular: min. 29.952m
MIN. LOT WIDTH REQ'D -	24.0 m
FRONT YARD -	Irregular: Min. 31.374m
MIN. FRONT YARD REQ'D -	9.0 m
SIDE YARD -	34,310 m
MIN. SIDE YARD REQ'D -	3.5 m
REAR YARD -	11,968 m
MIN. REAR YARD REQ'D -	11.0 m
LANDSCAPE OPEN SPACE -	35.37 %
LANDSCAPE OPEN SPACE REQ. -	25 %
LOT COVERAGE -	3.36 %
MAX. LOT COVERAGE -	25 %
BUILDING HEIGHT -	10.103m
MAX. BUILDING HEIGHT -	15.0 m
DENSITY -	6.75 units per hectare
MAXIMUM DENSITY -	99 units per hectare
AMENITY AREA PROVIDED	416 sq/m
SIDE YARD AMENITY	235 sq/m
REAR YARD AMENITY	181 sq/m

AMENITY AREA REQUIRED	6 sq/m per unit (20 x 12 units = 240 sq/m) 10% of gross floor area (10% x 597.94 = 59.79 sq/m) Total - 240 sq/m + 59.79 sq/m = 299.79 sq/m
NUMBER OF PARKING FOR UNITS	GARAGE 16 parking in building + 12 exterior parking = 28 Parking
NUMBER OF PARKING REQUIRED FOR UNITS-	1 Parking x 12 = 12 Parkings
NUMBER OF VISITOR PARKING	5 Parkings
NUMBER OF VISITOR PARKING REQUIRED	0.2 Parking x 12 = 2.4 Parkings
TOTAL NUMBER OF PROVIDED PARKINGS	28 + 5 = 33 Parkings
TOTAL NUMBER OF REQUIRED PARKINGS	12 + 2.4 = 14.4 Parkings

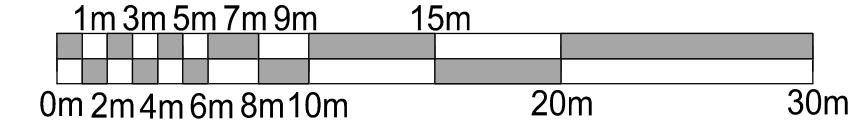
LEGEND :	
PROPOSED BUILDING	GREEN (SOD & SEED)
BALCONY	HEAVY ASPHALT PAVEMENT
SIDEWALK CONCRETE OR INTERLOCK	LIGHT ASPHALT PAVEMENT
	RETAINING WALL



SITE PLAN

Scale: 1:300

PROPERTY BOUNDARY DERIVES FROM SURVEY DONE BY DUTRISAC SURVEYING INC. DATED JULY 5TH 2005



SCALE BAR

PART 5 OF LOT 24
 CONCESSION 7
 REGISTERED PLAN 4R20412
 CUMBERLAND
 CITY OF OTTAWA

Note: All Landscaping to be as per L1 by Others