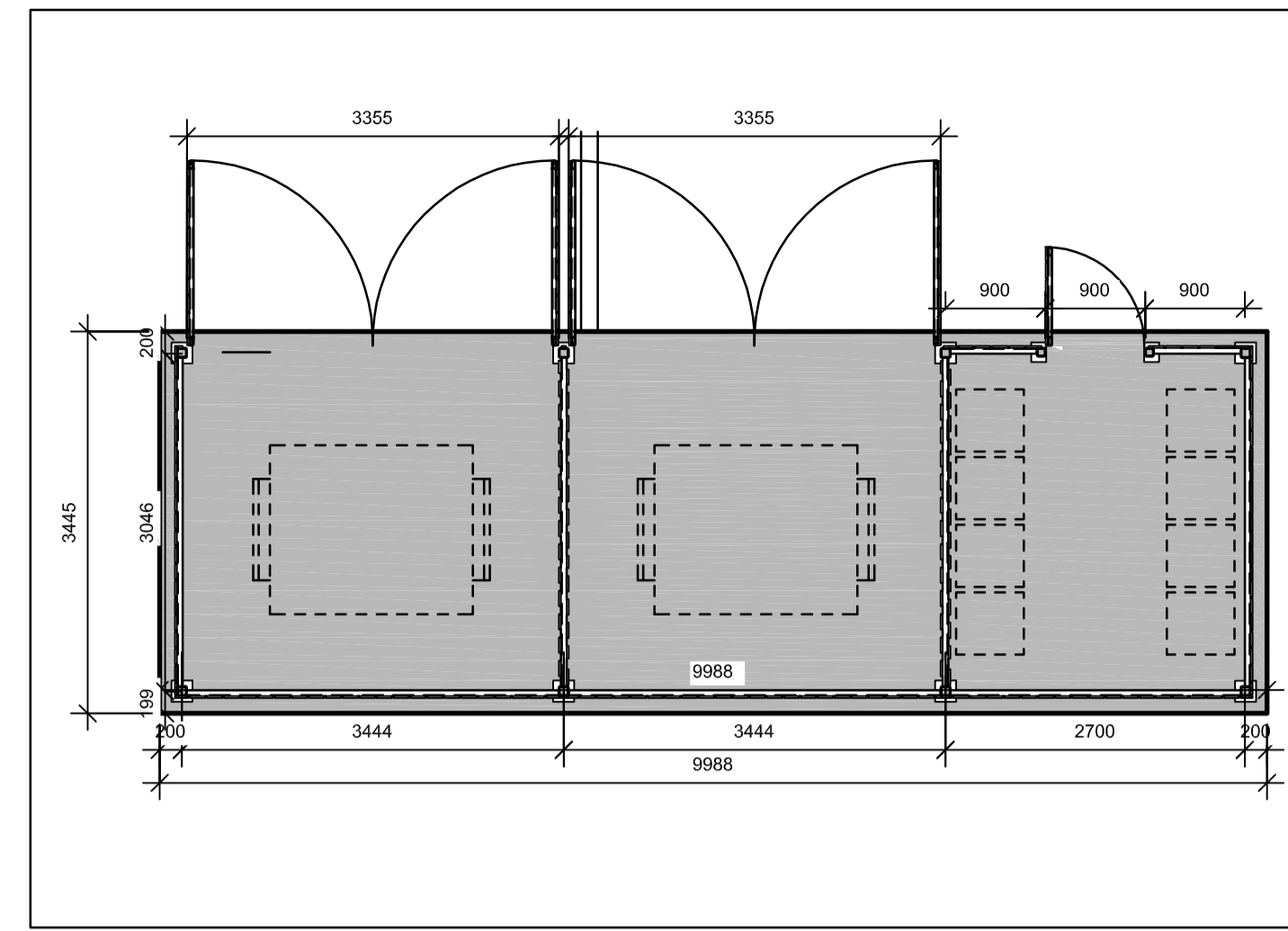


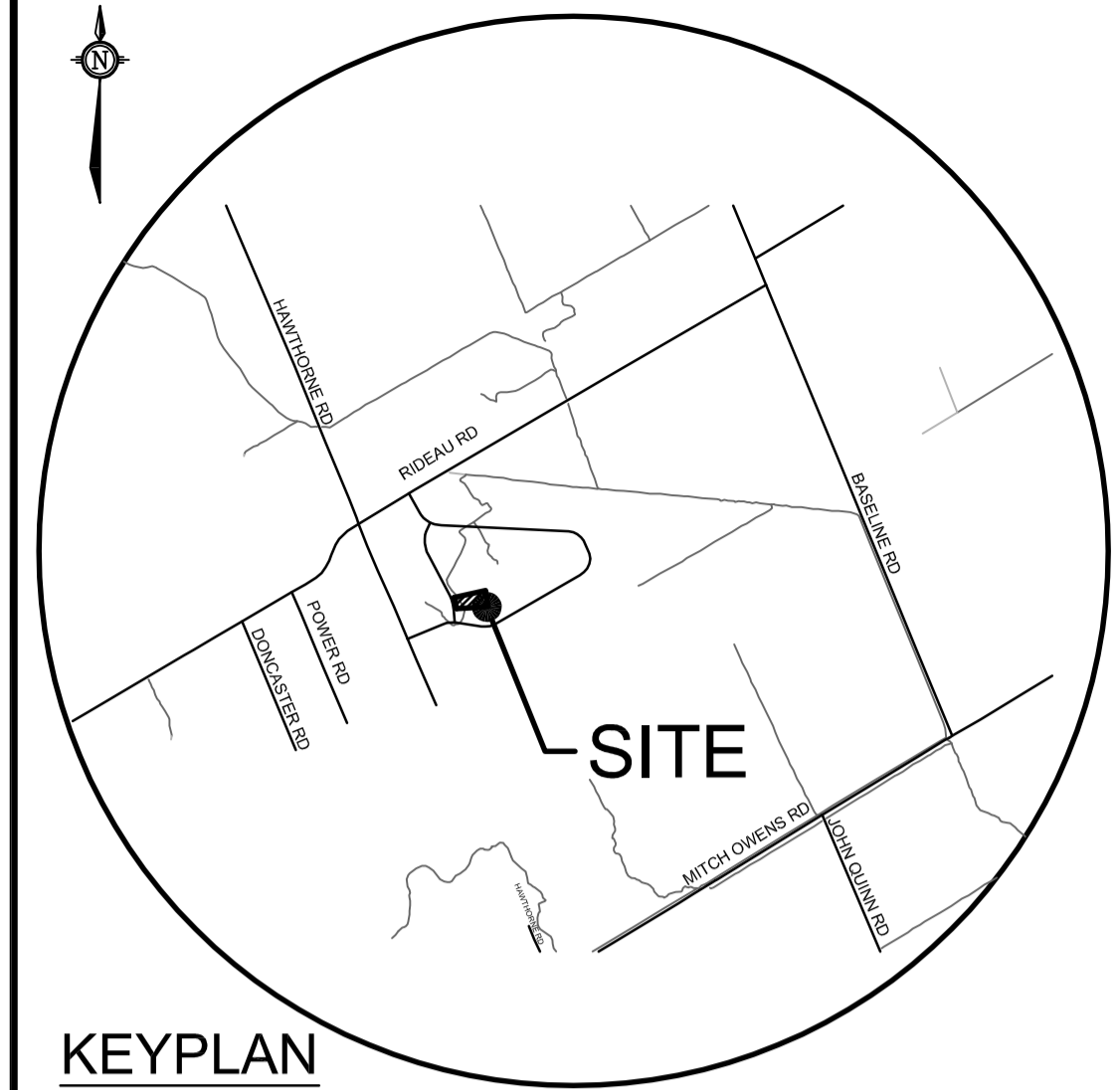
**DEVELOPMENT INFO/ ZONING TABLE**  
 ZONING: RH (Rural Heavy Industrial)  
 FLOOR AREA: TOTAL- 2297.2 m<sup>2</sup>  
 Building A: 708.8 m<sup>2</sup> (7629 sq.ft)  
 Building B: 789.6 m<sup>2</sup> (8499 sq.ft)  
 Building C: 798.8 m<sup>2</sup> (8598 sq.ft)

	Required	Provided
Minimum Lot Area	8000 m <sup>2</sup>	8020 m <sup>2</sup>
Minimum Lot frontage	50m	50.77 m <sup>2</sup>
Minimum Front Yard Setback	15m	37.2m
Minimum Rear Yard Setback	15m	15m
Minimum Interior Side Yard Setback	3m	3m (North Side) 11.3m (South Side)
Maximum Building Height (m)	15m	8.5m
Maximum Lot Coverage	50%	28.6 %
Parking (Heavy Industrial Use)	0.8 spaces per 100m <sup>2</sup> (gla) = 65 spaces	61 spaces
Parking (Accessible)	1	2
Parking Lot Landscaping	Not Required	Not Applicable
Bicycle Parking	Not Required	Not Applicable

**ZONING PROVISIONS**



**GARBAGE PAD DETAIL**



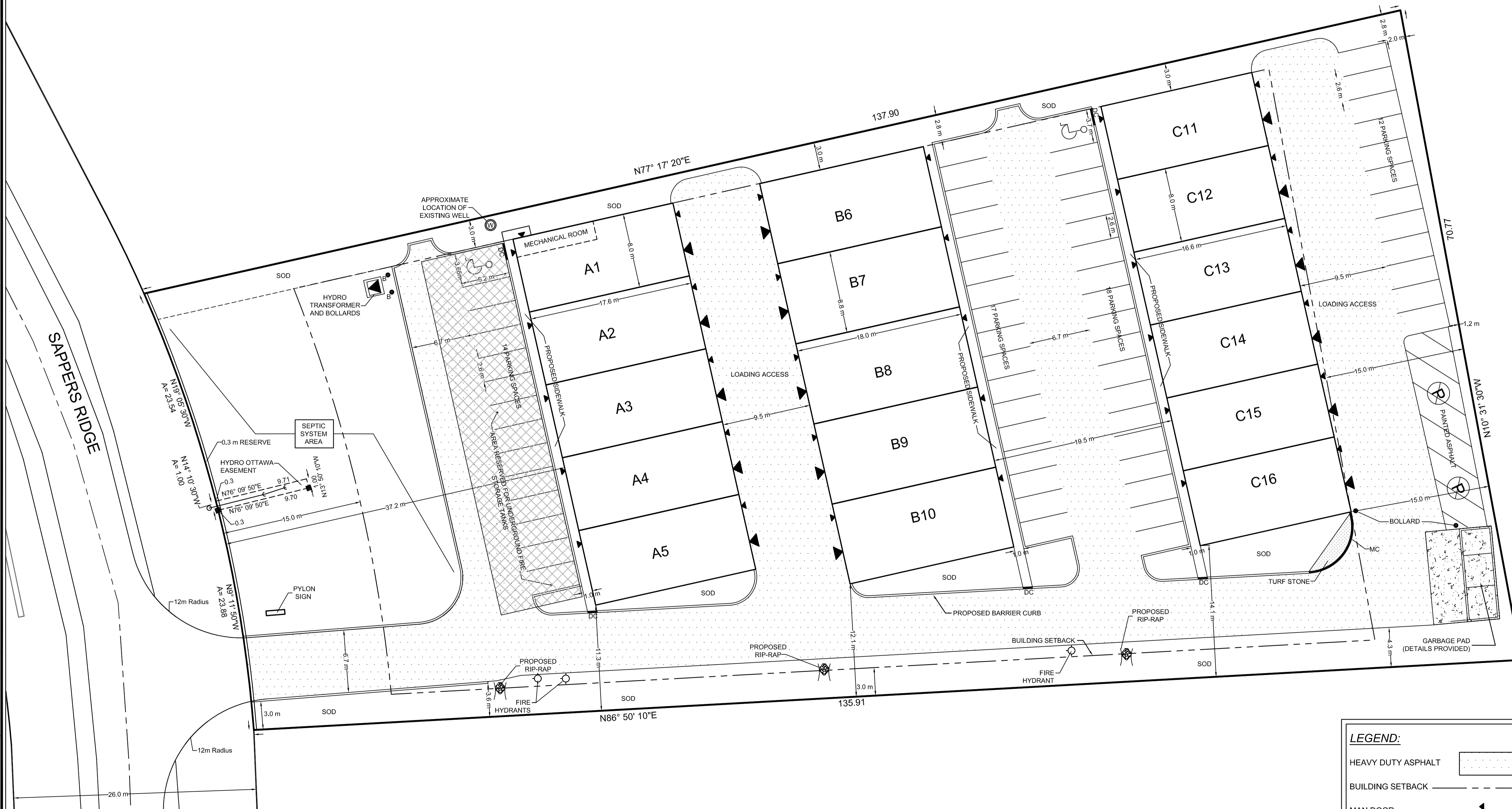
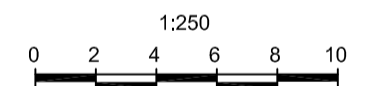
**KEYPLAN**  
NOT TO SCALE

# SITE PLAN

## 35 SAPPERS RIDGE

PART OF BLOCK 6  
 PLAN 4M 1388,  
 PARTS 3 AND 4  
 PLAN 4R26208  
 Now CITY OF OTTAWA

### APEX SOUTH BUSINESS CENTRE



**LEGEND:**

HEAVY DUTY ASPHALT	
BUILDING SETBACK	
MAN DOOR	
OVERHEAD DOOR	
DEPRESSED CURB	DC
MOUNTABLE CURB	MC

NOTE:  
 THIS PLAN HAS BEEN COMPILED USING LEGAL INFORMATION OBTAINED FROM  
 H.A.KEN SHIPMAN SURVEYING LTD., ONTARIO LAND SURVEYORS  
 PLAN OF SURVEY(4R-26208); DATED MAY 22, 2012  
 JOB No. 12-10089.

No.	REVISION	DATE	BY
2	Issued for Site Plan Approval	Feb.10/2014	AT
1	Issued for Client Review	May,15/2013	AT

 ENGINEERS & PLANNERS Suite 200, 240 Michael Cowpland Drive Ottawa, Ontario, Canada K2M 1P6 Telephone: (613) 254-5643 Facsimile: (613) 254-5667 Email: novainfo@novatech-eng.com	ISSUED
	FEBRUARY 2014
PROJECT No.	112034
DRAWING No.	112034-SP

M:\2012\112034-SP\112034-SP.dwg, SP-A1, Feb 10, 2014, 5:00pm, mmodar