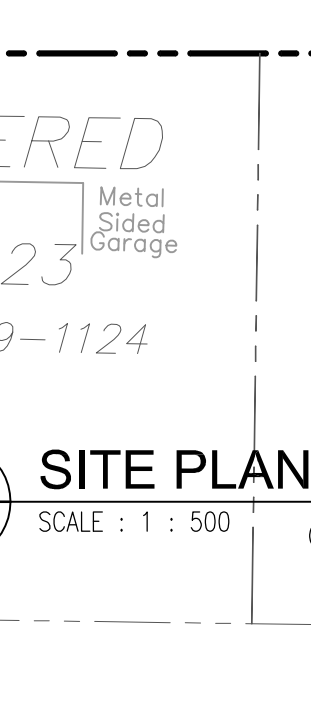
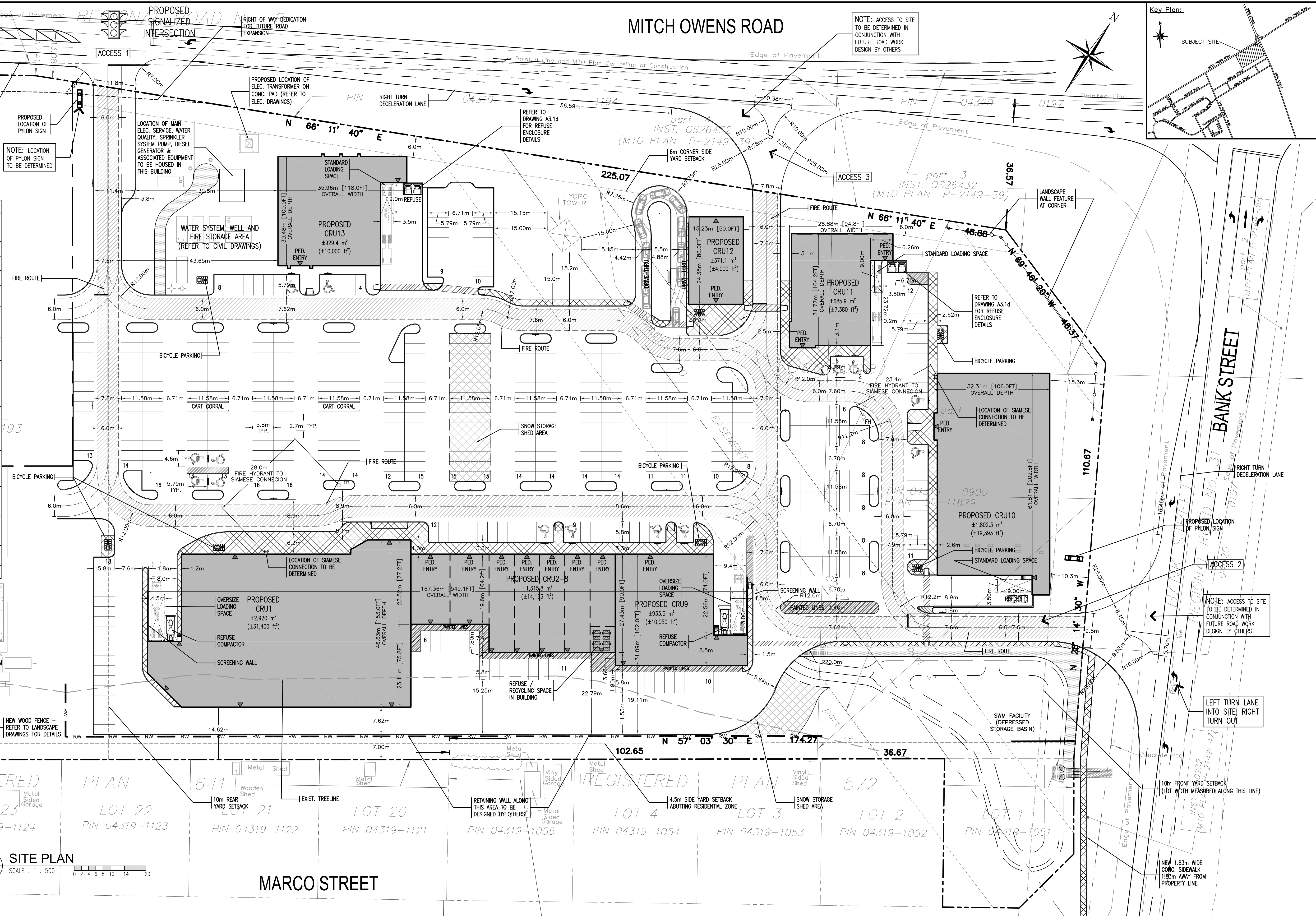
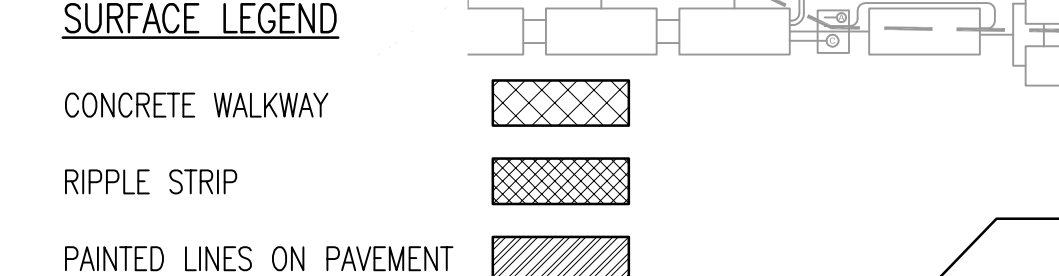
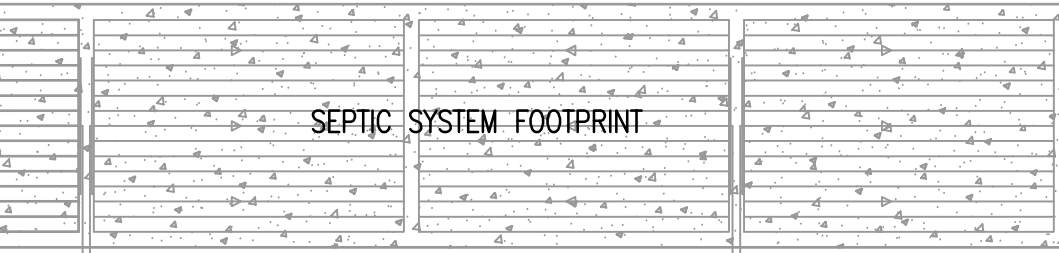


SIGNAGE:

SIGN	NEW QUANTITY REQUIRED	COLOURS
	9	(300mmx450mm) RED REFL. INTERIOREX SYMBOL, BLACK SYMBOL, WHITE REFL. "FIRE ROUTE" ON BLACK BACKGROUND, BLACK LEGEND & BORDER, WHITE REFL. BACKGROUND.
	17	(300mmx450mm) HELVETICA BOLD CONDENSED INTERIOREX SYMBOL - RED REFLECTIVE SYMBOL OF ACCESS AND SYMBOL, BORDER - BLUE REFLECTIVE LEGEND & BORDER - BLACK BACKGROUND - WHITE REFLECTIVE

ALL SIGNS ARE STEEL POST-MOUNTED, UNLESS OTHERWISE INDICATED.
 UNDERSIDES OF ALL SIGNS TO BE LOCATED 2.0m MINIMUM ABOVE TOP OF PAVEMENT OR TOP OF SIDEWALK, AS THE CASE MAY BE.
 REFER TO MUNICIPALITY FOR CURRENT SIGN REQUIREMENTS AND "ONTARIO TRAFFIC MANUAL".

SITE STATISTICS	REQUIRED	PROPOSED
SITE AREA	4,000 m ² MIN. (±0.988 ACRES/±1,040 FT)	55,639 m ² (±13.75 ACRES/±598,900 FT)
MIN. LOT WIDTH	30.0 m (98.4 FT)	162.6 m (533.5 FT)
BUILDING HEIGHT	11.0 m (36.1 FT) MAX.	VARIES, T.B.D. (11.0 m MAX.)
BUILDING LOT COVERAGE	25.0% MAX.	16.1%
BUILDING AREA CRU 1-13 (GROSS FLOOR AREA OUTSIDE WALLS)	10,000 m ² (107,600 FT ²) MAX.	±8,957.9 m ² (±96,422 FT ²)
LEASEABLE FLOOR AREA CRU 1-13 (BASED ON 83% TO INTERIOR OF PERIMETER WALLS)	N/A	±8,330.8 m ² (±89,639 FT ²)
LANDSCAPE	15%	42.0% (23,256 m ² / 250,325 FT ²)
PARKING STANDARD SIZE (BASED ON LEASEABLE FLOOR AREA)	3.4 SPACES / 100 m ² (1 SPACE / 316.5 FT ²) = 284 SPACES	5.1 SPACES / 100 m ² (1 SPACE / 197 FT ²) = 455 SPACES (INCLUDES 14 H.C. SPACES)
H.C. ACCESSIBLE	200-299 = 4 SPACES	= 14 SPACES
PARKING STALL SIZE STANDARD	WIDTH 2.6 m MIN. 2.75 m MAX. LENGTH 5.2 m MIN.	STANDARD 2.74 m x 5.8 m (9'-0" x 19'-0")
HANDICAP ACCESSIBLE	WIDTH 3.0 m x LENGTH 3.0 m	4.57 m x 5.8 m (15'-0" x 19'-0") UNLESS OTHERWISE NOTED
LOADING SPACES STANDARD	(V) 5,000-9,999 m ² = 2 SPACES 1/2 OF THE REQUIRED SPACES = 1 SPACE	= 3 SPACES = 2 SPACES
OVERSIZED		
LOADING SPACE SIZE STANDARD	WIDTH 3.5 m x LENGTH 9.0 m	= WIDTH 3.5 m x LENGTH 9.0 m
OVERSIZED	WIDTH 4.3 m x LENGTH 13.0 m	= WIDTH 3.5 m x LENGTH 13.0 m
BICYCLE PARKING (BASED ON GROSS FLOOR AREA) SIZE = WIDTH 0.61 m x LENGTH 1.83 m	1 SPACE / 500 m ² = 18 SPACES	1.98 SPACES / 500 m ² = 35 SPACES
MANEUVERING AISLE	6.7 m (22'-0")	6.7 m (22'-0")
TRAFFIC AISLE	N/A	7.6 m (25'-0")



SITE PLAN
 SCALE: 1 : 500

NOTE: SITE PLAN DEVELOPED USING TOPOGRAPHIC SURVEY.
 PART 1 CONCESSION 5
 GEOGRAPHIC TOWNSHIP OF OSGOODE
 CITY OF OTTAWA
 DATED MAY 31, 2012
 BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 SURVEYORS



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date (mm/dd/yy):	issued for:
10/15/15	SITE PLAN CONTROL RESUBMISSION
09/15/15	LEFT TURN LANE ADDED TO ACCESS 2
05/25/15	SITE PLAN CONTROL RESUBMISSION
09/11/14	REVISED SITE PLAN TO CITY COMMENTS
06/20/14	TENANT REVIEW
02/11/14	SITE PLAN CONTROL SUBMISSION
12/06/13	REVISED SITE PLAN
09/16/13	REVISED SITE PLAN

general notes:
 1. THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ARCHITECT.
 2. DRAWINGS SHALL NOT BE SCALED.
 3. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN BY THESE DRAWINGS.
 4. ATTENTION IS DIRECTED TO PROVISIONS IN THE GENERAL CONDITIONS REGARDING CONTRACTOR'S RESPONSIBILITIES IN REGARD TO SUBMISSION OF SHOP DRAWINGS.
 5. IN THE EVENT THE ARCHITECT IS RETAINED TO REVIEW SHOP DRAWINGS, SUCH REVIEW IS ONLY TO CHECK FOR CONFORMANCE WITH DESIGN CONCEPT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS.
 6. CONTRACTORS SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR BY-LAWS.
 7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES IN THE CONSTRUCTION OF THIS FACILITY.

project:
 COMMERCIAL DEVELOPMENT, MITCH OWENS RD. & BANK ST., GREELY (OTTAWA), ONT.
client:
 OTIS GROUP OF COMPANIES
drawing title:
 SITE PLAN

scale: AS SHOWN
drawn by: TC
checked by: SMB / TC
date: SEPT. 2014
comm. no.: 2010-060
sheet no.:

A1.1