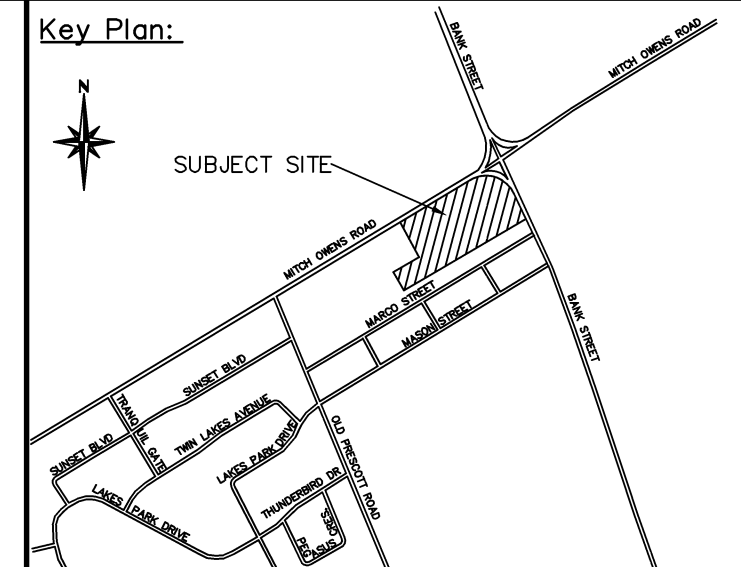


**Legend:**

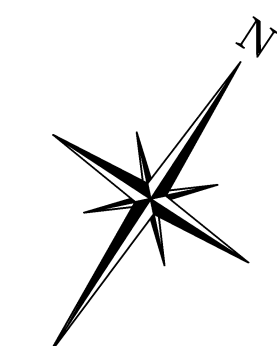
0.55 RUNOFF COEFFICIENT  
0.38 DRAINAGE AREA (ha)

— DRAINAGE BOUNDARY

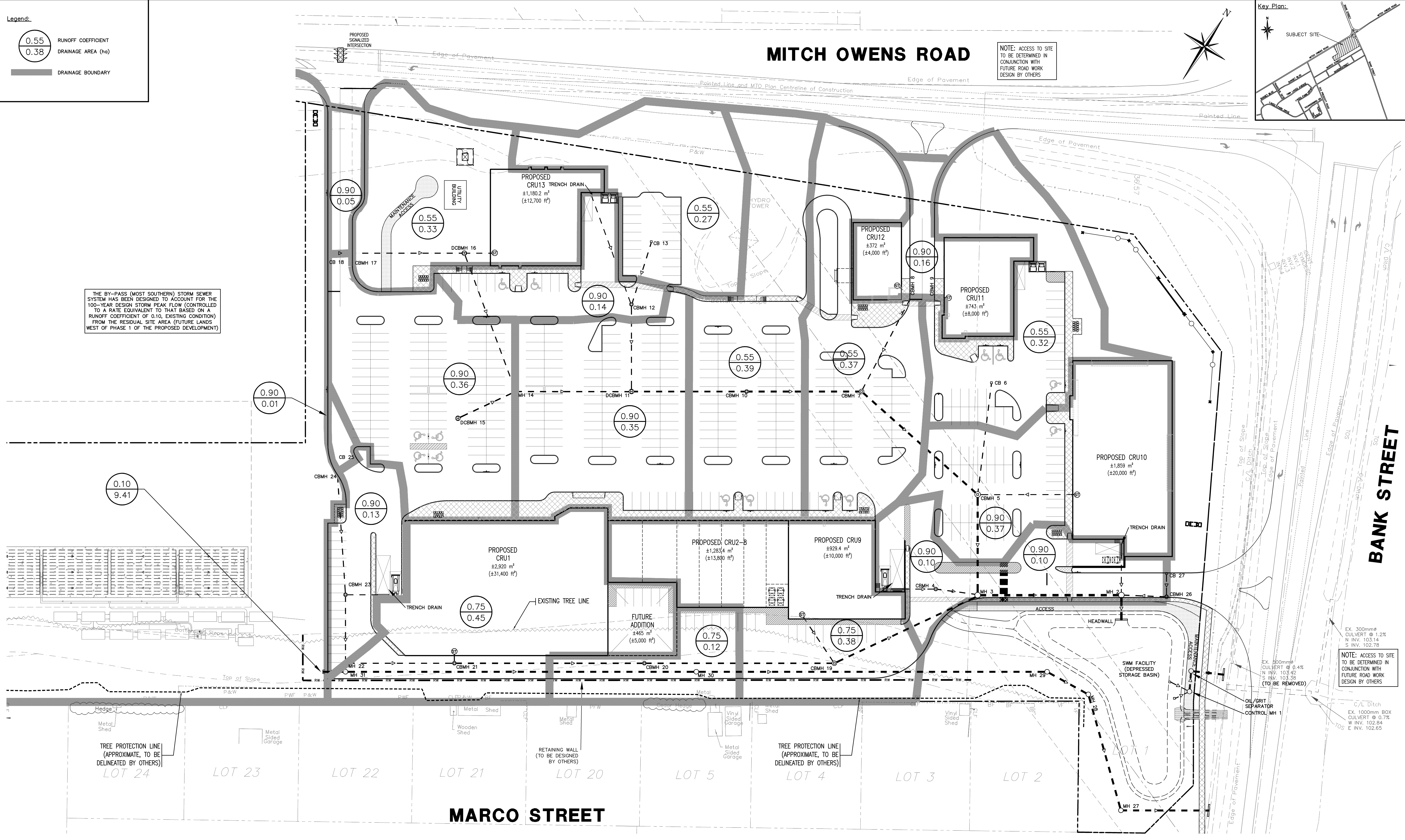


# MITCH OWENS ROAD

NOTE: ACCESS TO SITE TO BE DETERMINED IN CONJUNCTION WITH FUTURE ROAD WORK DESIGN BY OTHERS



THE BY-PASS (MOST SOUTHERN) STORM SEWER SYSTEM HAS BEEN DESIGNED TO ACCOUNT FOR THE 100-YEAR DESIGN STORM PEAK FLOW (CONTROLLED TO A RATE EQUIVALENT TO THAT BASED ON A RUNOFF COEFFICIENT OF 0.10, EXISTING CONDITION) FROM THE RESIDUAL SITE AREA (FUTURE LANDS WEST OF PHASE 1 OF THE PROPOSED DEVELOPMENT)



# BANK STREET

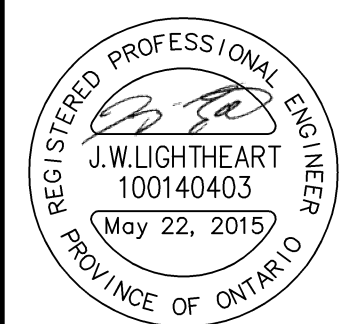
# MARCO STREET

**Notes:**

- Unless noted otherwise, the measurements and distances shown on this drawing are shown in meters.
- Do not scale drawings.
- It is the contractor's responsibility to verify all dimensions, levels and datums on site and report any discrepancies or omissions to WMI & Associates Ltd. prior to construction.
- This drawing is to be read and understood in conjunction with all other relevant documents applicable to this project.
- This drawing is the exclusive property of WMI & Associates Ltd. and the reproduction of any part of this document without prior written consent is strictly prohibited.

**Benchmark:** 113.99

#3 CONCRETE MONUMENT (001196530377), NORTH SIDE OF MITCH OWENS ROAD APPROXIMATELY 250m WEST OF THE INTERSECTION OF MITCH OWENS ROAD AND BANK STREET.



No.	Issue / Revision	Date
1	1st Submission	Feb. 4, 2014
2	2nd Submission	May 22, 2015

**Greely Commercial Center**  
**STORM DRAINAGE PLAN**

**Client:**  
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