

GENERAL NOTES:

- DEPRESSED CURB AND RAMP
- CONCRETE SIDEWALK 3.0 M WIDE (UNLESS NOTED OTHERWISE)
- CONCRETE SIDEWALK AT BUILDING SHALL BE CONSTRUCTED BY BUILDING CONTRACTOR REFER TO ARCH. DWGS. FOR EXTENT
- GUARDRAIL AS REQUIRED BY OBC
- SIAMSESE CONNECTION
- CONCRETE CURB
- HEAVY DUTY CONCRETE PAVING
- 90° PARKING STRIPING (TYP.)
- HANDICAP PAVEMENT MARKING AND SIGN (RC-6 TYP.)
- LANDSCAPE FEATURE (REFER TO LANDSCAPE DWGS)
- EDGE OF BUILDING SLAB FLUSH WITH ASPHALT
- STOP BAR
- FIRE LANE SIGN
- PLANTERS
- DO NOT ENTER SIGN
- BOLLARD PAINTED YELLOW
- LANDSCAPE AREA
- NO PARKING LOADING ZONE
- STOP SIGN (RA-1)
- BIKE RACKS
- ORNAMENTAL & MASONRY FENCE
- CONCRETE ISLAND/AREA (TYP.)
- LANDSCAPED ISLAND/AREA (TYP.)
- PAINTED ISLAND (TYP.)
- CONCRETE TRASH COMPACTOR PAD
- TRANSFORMER PAD (SEE ARCH. DWGS.)
- RETAINING WALLS AT TRUCK WELLS (SEE ARCH. DWGS.)
- SCREEN WALL
- TEXTURED PEDESTRIAN CROSSWALK
- PAINTED TRAFFIC FLOW ARROWS
- GAS METER
- WALL-MOUNTED FIRE LANE SIGN
- FIRE HYDRANT
- PYLON SIGN
- ONE-WAY SIGN (RB-21)
- YIELD SIGN

SITE STATISTICS

OVERALL SITE:
 TOTAL SITE AREA = 703,582.72 SF (16.15 ACRES) (6.53 HA.)
 TOTAL GR. FL. RETAIL AREA = 165,632 SF (15,387.72 SM)
 TOTAL 2ND FL. OFFICE AREA = 45,725 SF (4,247.99 SM)
 TOTAL PARKING PROVIDED = 757 CARS

PARKING RATIO EXCLUDES 2ND FL. OFFICE = 4.92/100 SM (4.57/1000 SF)

PHASE 1 STATS:
 PHASE 1 AREA = 544,733.13 SF (12.51 ACRES) (5.07 HA.)
 GR. FL. RETAIL AREA = 117,907 SF (10,953.92 SM)
 2ND FL. OFFICE AREA = 5,000 SF (464 SM)
 PARKING PROVIDED = 589 CARS

PARKING RATIO EXCLUDES 2ND FL. OFFICE = 5.39/100 SM (5.00/1000 SF)

PHASE 1 BUILDING AREAS:

BUILDING	GR. FL. RETAIL	2ND FL. OFFICE
BIG BOX RETAIL STORE A	58,000 SF	5,000 SF
BUILDING B	5,700 SF	-
BUILDING C	15,000 SF	-
BUILDING D	6,000 SF	-
BUILDING E	6,295 SF	-
BUILDING H	11,385 SF	-
BUILDING I	9,527 SF	-
BUILDING L	6,000 SF	-
TOTAL	117,907 SF	5,000 SF

PHASE 2 STATS:
 PHASE 2 AREA = 158,909.02 SF (3.64 ACRES) (1.48 HA.)
 GR. FL. RETAIL AREA = 47,725 SF (4,433.79 SM)
 2ND FL. OFFICE AREA = 40,725 SF (3,783.48 SM)
 PARKING PROVIDED = 168 CARS

PARKING RATIO EXCLUDES 2ND FL. OFFICE = 3.79/100 SM (3.52/1000 SF)

PHASE 2 BUILDING AREAS:

BUILDING	GR. FL. RETAIL	2ND FL. OFFICE
BUILDING E	22,466 SF	22,466 SF
BUILDING F	11,252 SF	11,252 SF
BUILDING J	7,007 SF	7,007 SF
BUILDING K	7,007 SF	7,007 SF
TOTAL	47,725 SF	40,725 SF

SP-100

DATE ISSUED: 14-08-11

CITY FILE NO.:

No.	REVISIONS	MARK	WHO	ALL	COPIES	PREPARED	DATE	DATE	BY
9	LIMEBANK ENTRANCE	14/08/11	AU						
8	RIGHT TURN LANES REVISED	14/07/10	AU						
7	BLDG A SHELL PLAN REVISED	14/07/10	AU						
6	RIGHT TURN LANES ADDED	14/07/10	AU						
5	COLLECTOR ROAD D REVISED	14/07/10	AU						
4	SUM 4 HYDRO EASEMENT NOTES	14/06/09	AU						
3	REVISED MEDIANS AND PROPOSED ROAD	14/06/09	AU						
2	ADDITIONAL EASEMENT INFORMATION	14/06/09	AU						
1	ISSUED FOR SITE PLAN APPROVAL	14/04/09	AU						

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.
 Do not scale the drawing.
 This drawing contains copyright material belonging to the Architect.
 This drawing was developed for a specific purpose; use for any other purpose is not permitted.
 This drawing shall not be reproduced in whole or in part without the written approval of the Architect.
 This drawing must be read in the context of all other drawings which constitute the document.

MASTER SITE PLAN

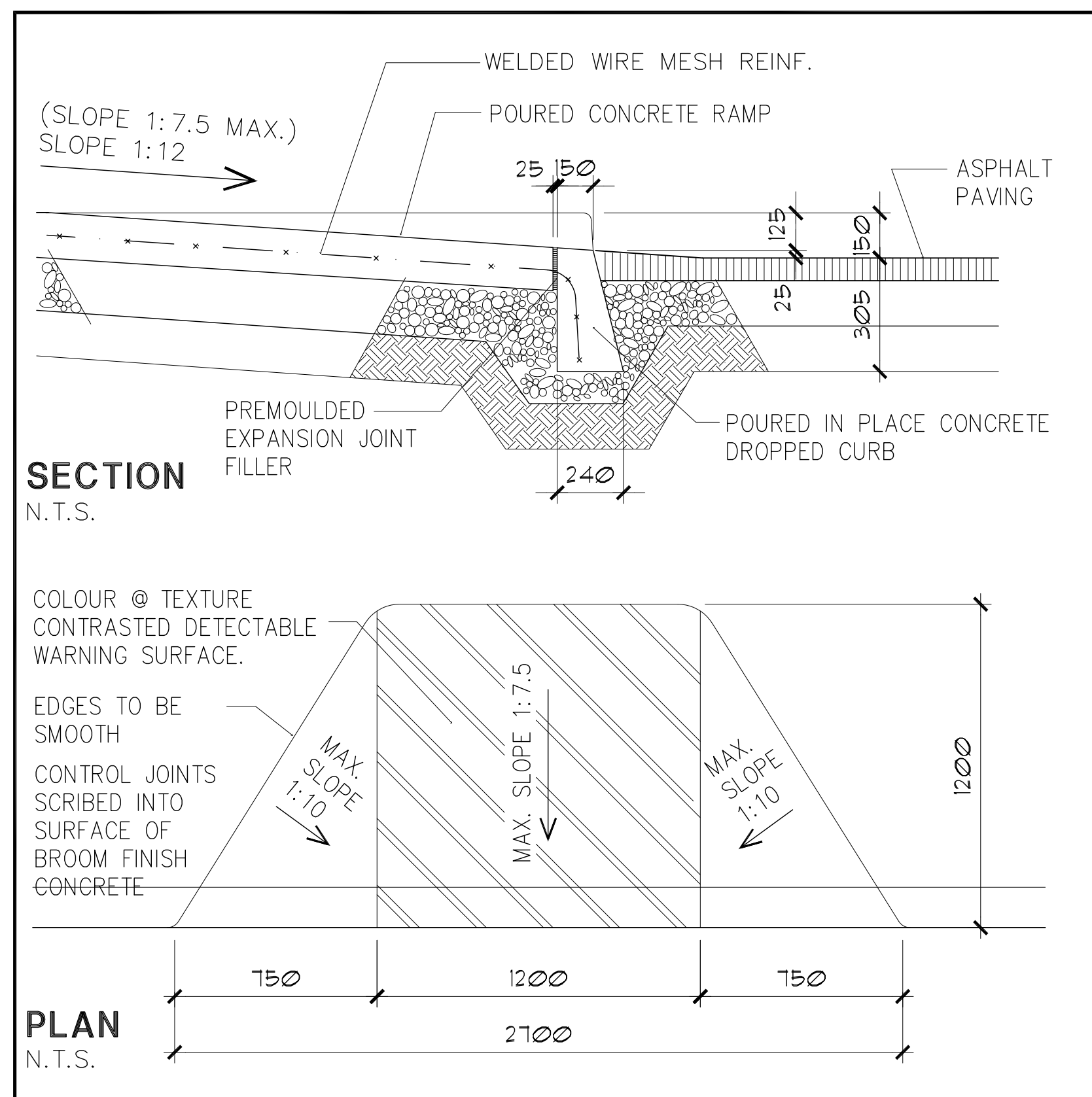
SCALE: 1:500

LIMEBANK & EARL ARMSTRONG
 LIMEBANK ROAD & EARL ARMSTRONG ROAD
 OTTAWA, ONTARIO
 FOR: OWNER

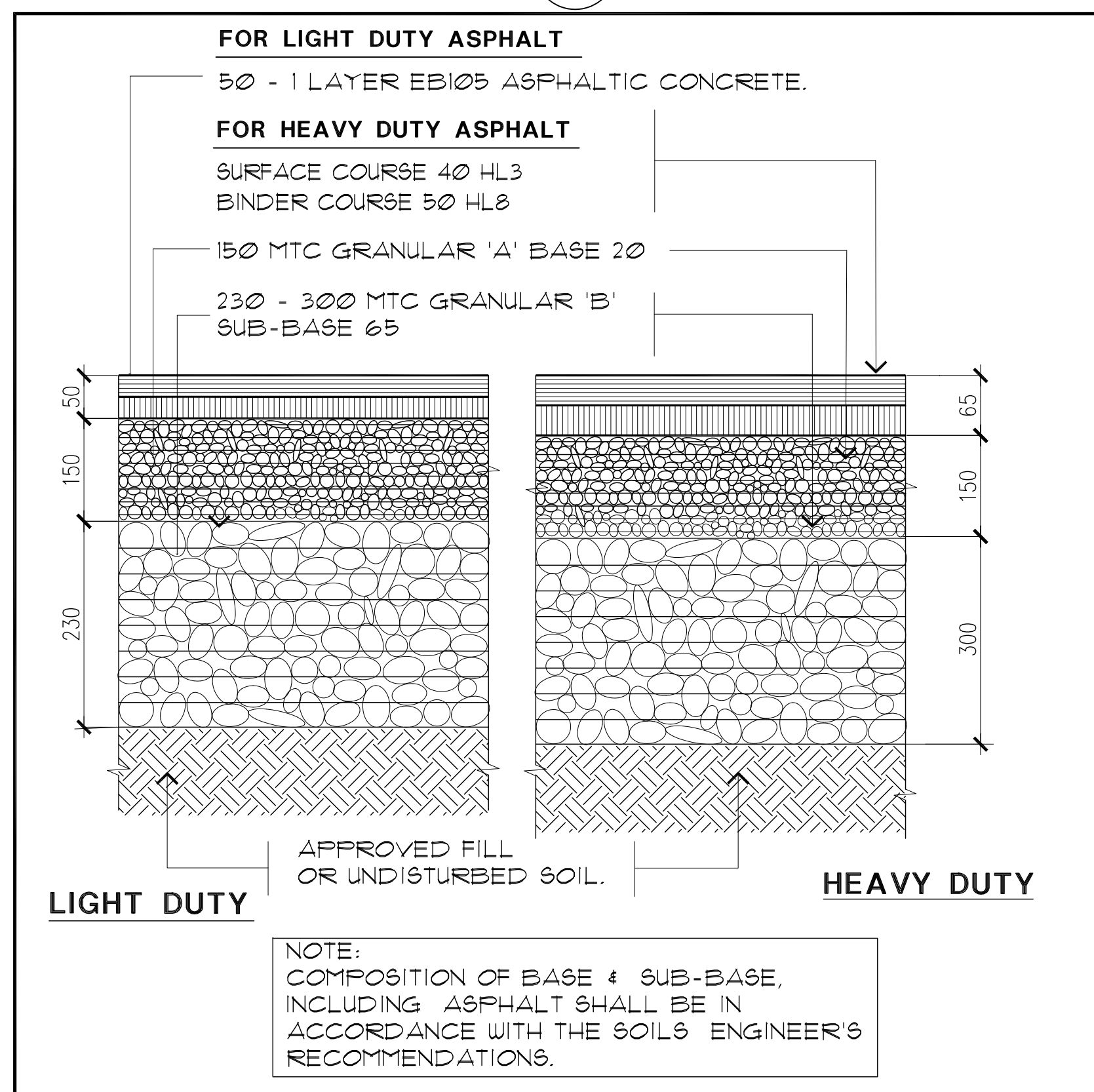
PETROFF PARTNERSHIP ARCHITECTS
PETROFF

260 TOWN CENTRE BLVD., SUITE 300
 MARKHAM ONTARIO CANADA L3R 8H8
 TEL. 905.470.7000 FAX. 905.470.2500

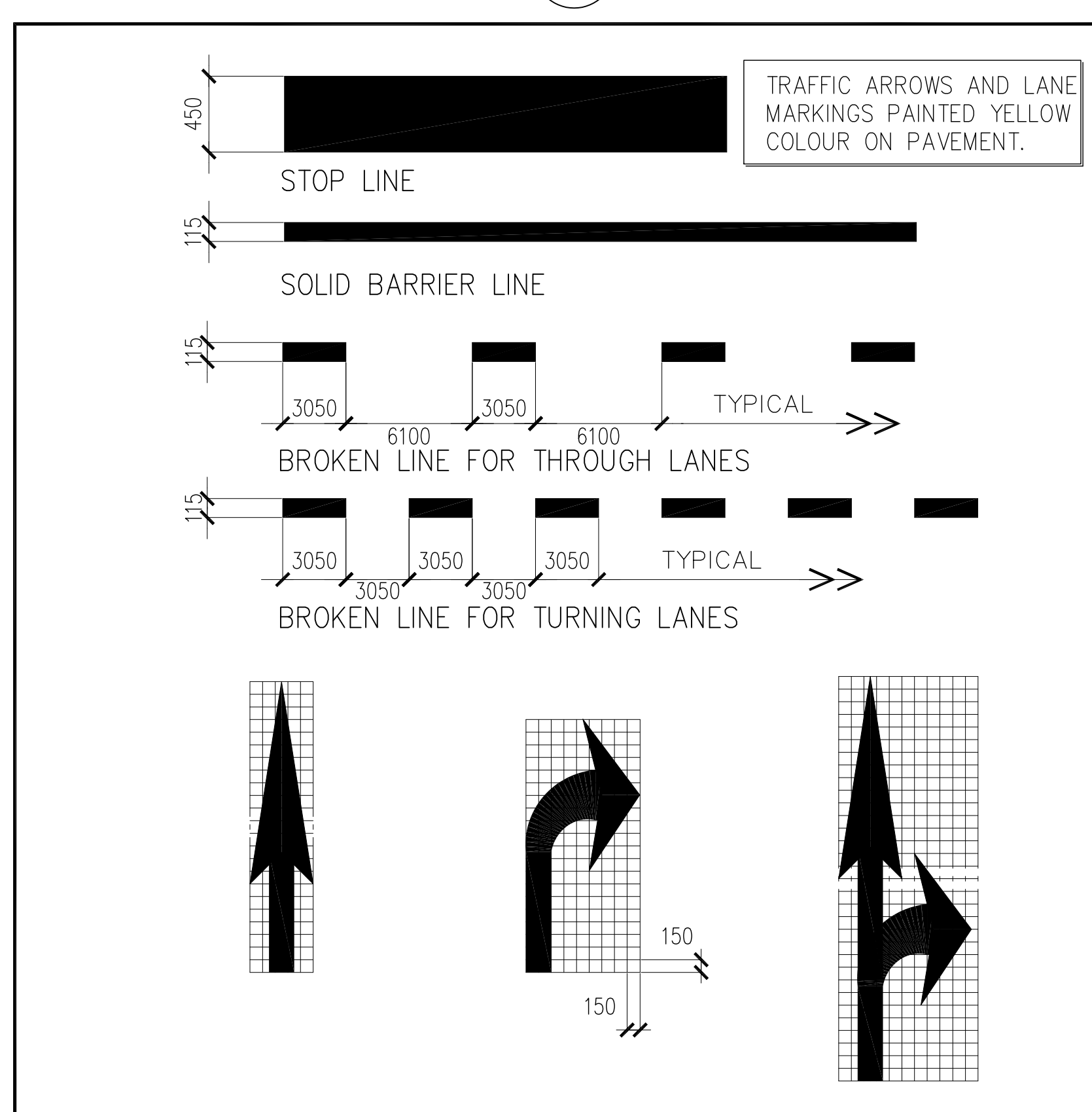
DRAWN BY	RY	PROJECT No.	11159.00
CHECKED BY	AU	DATE	SEPT. 16, 2011
ISSUED		DWG. No.	SP-100



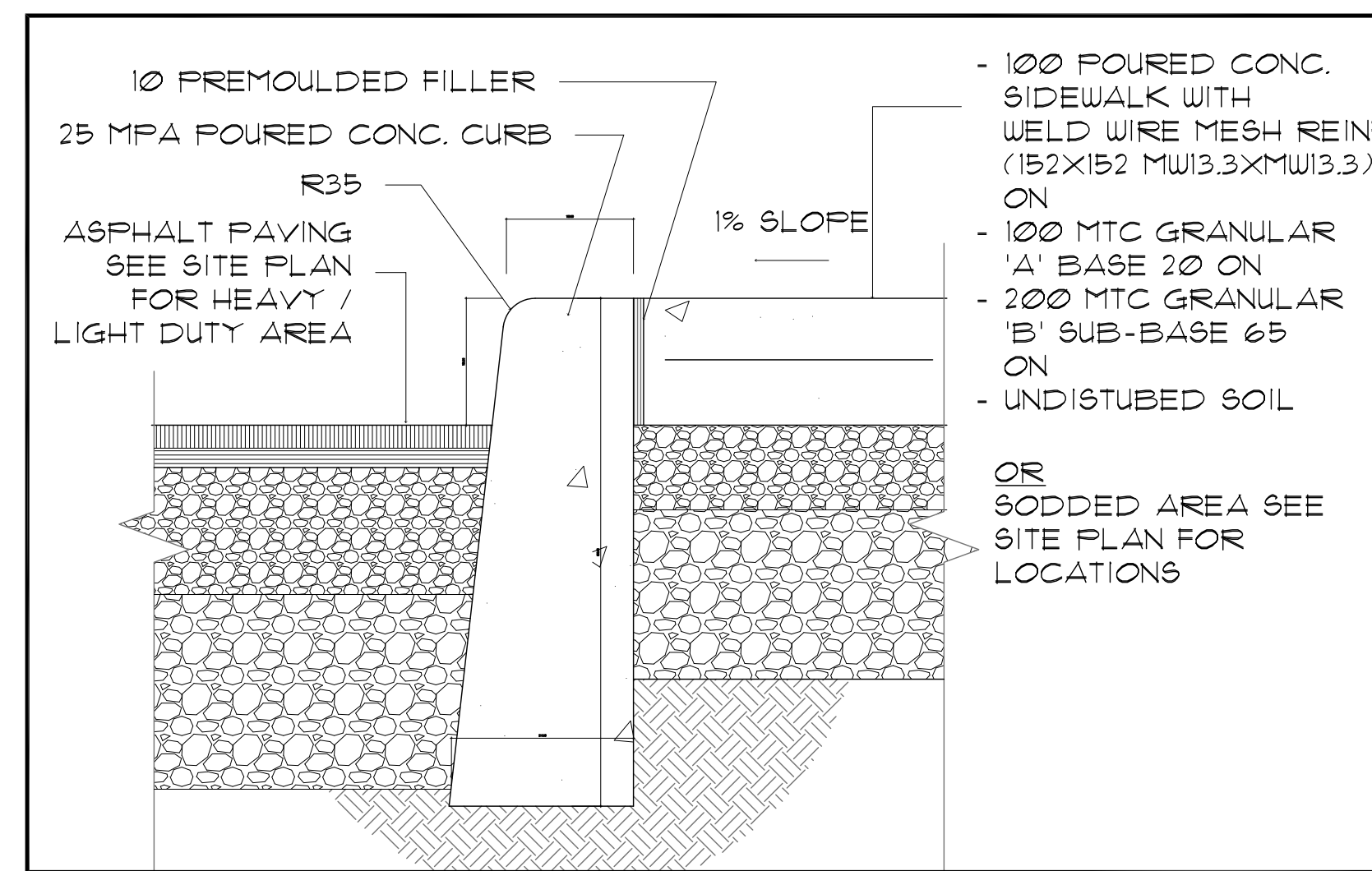
1 HANDCAPE RAMP DETAIL
SCALE: N.T.S.



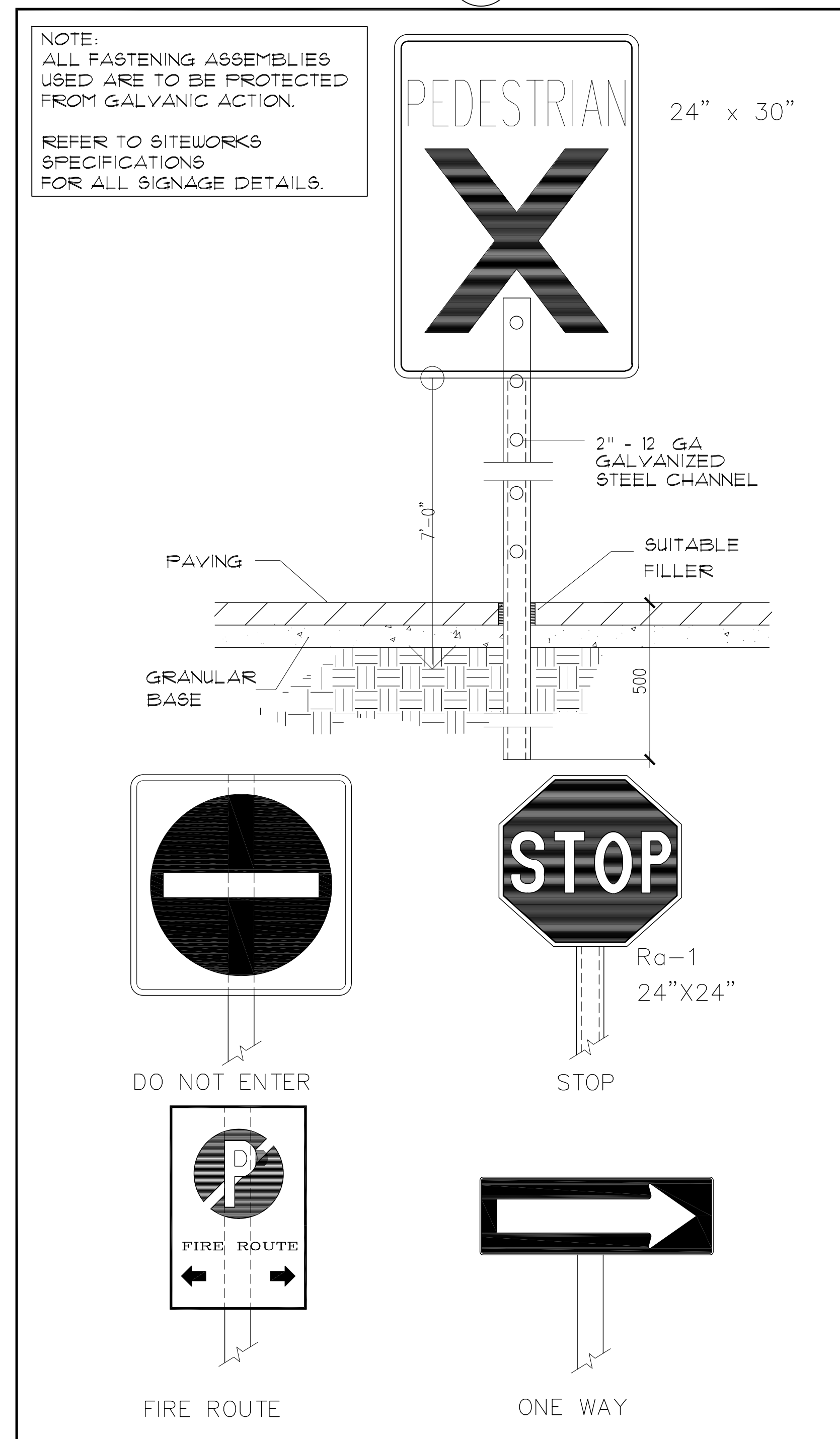
2 ASPHALT PAVING DETAIL
SCALE: N.T.S.



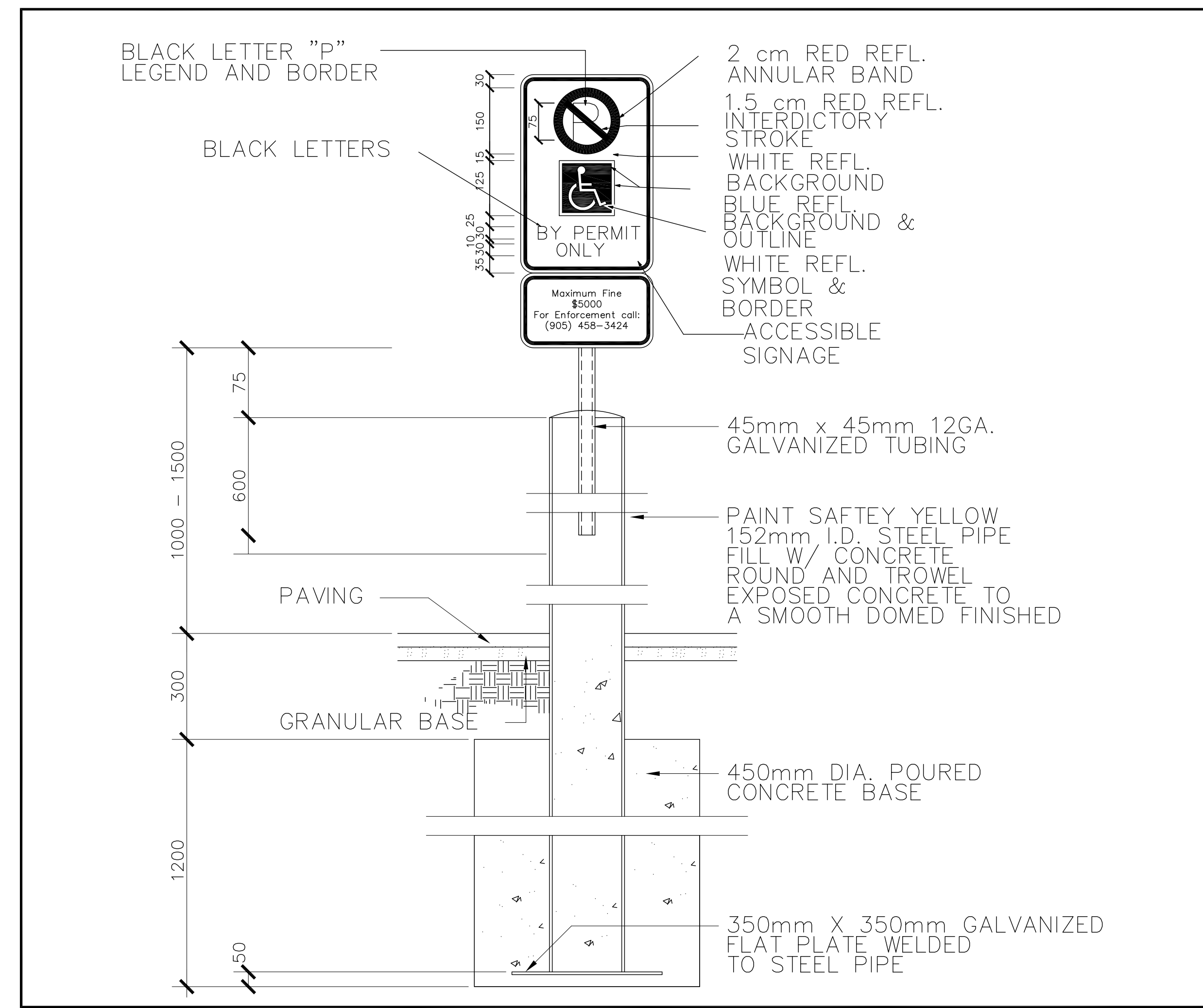
3 PAINTED MARKING DETAIL
SCALE: N.T.S.



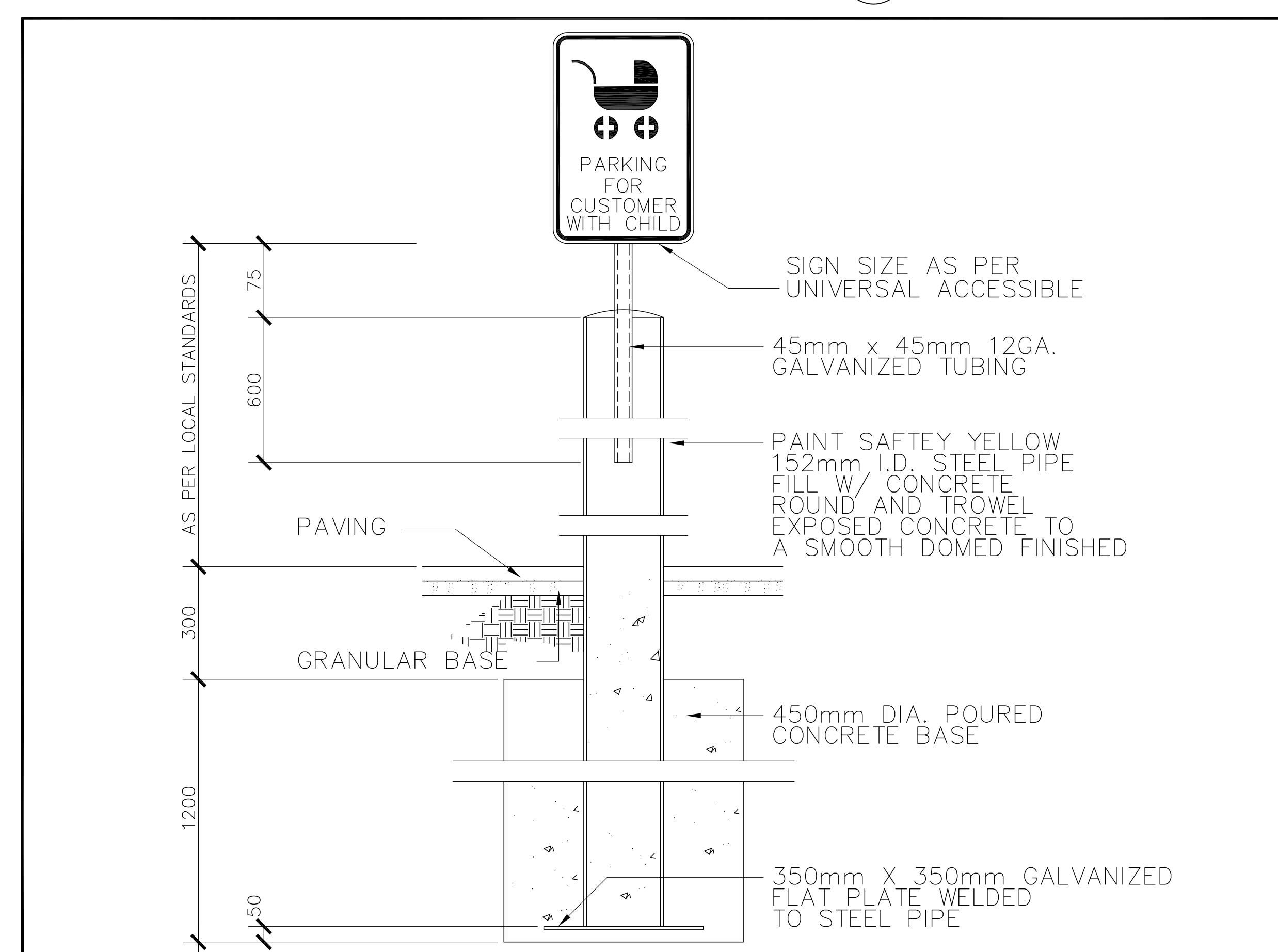
4 SIDEWALK DETAIL
SCALE: N.T.S.



5 SIGNAGE DETAIL
SCALE: N.T.S.



6 ACCESSIBLE PARKING SIGN
SCALE: N.T.S.



7 CUSTOMER WITH CHILD PARKING SIGN
SCALE: N.T.S.



SP-101
DATE ISSUED: 14-04-09

CITY FILE NO.:

3			
2			
1	ISSUED FOR SITE PLAN APPROVAL	14/04/09	AJ
No.	REVISIONS	MARK	WHO ALL COPIES PREVIOUS FINAL DATE DATE BY

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.
Do not scale the drawing.
This drawing contains copyright material belonging to the Architect.
This drawing was developed for a specific purpose; use for any other purpose is not permitted.
This drawing shall not be reproduced in whole or in part without the written approval of the Architect.
This drawing must be read in the context of all the other drawings which constitute the document.

SITE DETAILS

SCALE: NTS

LIMEBANK & EARL ARMSTRONG
LIMEBANK ROAD & EARL ARMSTRONG ROAD
OTTAWA, ONTARIO
FOR: OWNER

PETROFF PARTNERSHIP ARCHITECTS
PETROFF

260 TOWN CENTRE BLVD. SUITE 300
MARKHAM ONTARIO CANADA L3R 8H8
TEL. 905.470.7000 FAX. 905.470.2500

DRAWN BY	RY	PROJECT No.	11159.00
CHECKED BY	AJU	DATE	SEPT. 16, 2011
ISSUED		DWG. No.	SP-101