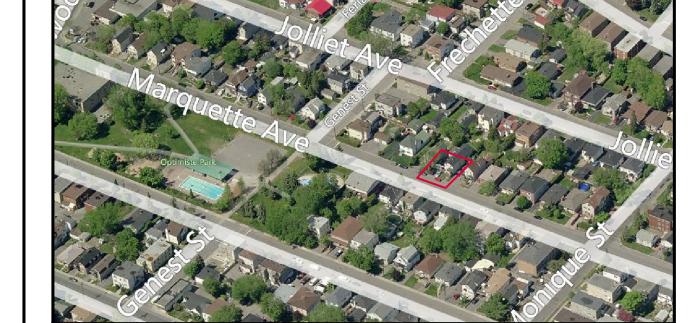


MARQUETTE AVENUE

LOCATION PLAN



SITE STATISTICS

SITE INFORMATION BASED ON SURVEY PLAN PREPARED BY:  
 ANNIS, O'SULLIVAN, VOLLEBEK LTD.  
 REFERENCE#: 14189-13

ZONING INFORMATION  
 Zone: R4E  
 Legal Description: LOTS 136 & 137 REGISTERED PLAN 4M-27 CITY OF OTTAWA  
 Lot Area: 742.5 m<sup>2</sup>

PROPOSED USE  
 Apartment Dwelling, low rise; 22 Units.  
 Building Footprint Area: 372.4 m<sup>2</sup>  
 Lot Frontage: 24.44 m  
 Lot Coverage: 50.2%

BUILDING HEIGHT  
 Permitted: 11 m MAXIMUM  
 Proposed: 11.36 m

PROPERTY SETBACKS  
 Front and Corner Yard: 6.0 m  
 Interior Yard: 1.5m (6.0m when 2.1m from front property line)  
 Rear Yard: 7.5m

GROSS FLOOR AREA  
 Basement: 157.3 m<sup>2</sup>  
 First Floor: 288.3 m<sup>2</sup>  
 Second Floor: 303.3 m<sup>2</sup>  
 Third Floor: 274.2 m<sup>2</sup>  
 Total Building GFA: 1023.1 m<sup>2</sup>

AMENITY AREA  
 Total Amenity Area: 132 m<sup>2</sup> Required 292.1 m<sup>2</sup>  
 Total Communal Amenity Area: 66 m<sup>2</sup> Provided 205.2 m<sup>2</sup>

PARKING  
 Table 101, Area B (as per amendment 1779, By-law 2011-13)  
 Uses Related - Residential, sentence (b):  
 • Parking Required: 13  
 • Residential spaces: 11  
 • Visitor spaces: 2  
 Parking Provided: 11  
 • Residential spaces: 11  
 • Visitor spaces: 0  
 • Physically Disabled: 0

BICYCLE PARKING  
 Parking Required: 11  
 Parking Provided: 11

LEGEND

- BUILDING ENTRANCE
- BUILDING EXIT
- SAMESE CONNECTION
- FIRE HYDRANT
- PROPOSED GRADE ELEVATION
- STAIR DIRECTION
- RAMP DIRECTION
- PARKING SPACE NUMBER
- TRAFFIC DIRECTION ARROW
- BARRIER-FREE PARKING SPACE
- VISITOR PARKING SPACE
- DEPRESSED CURB
- CATCH BASIN
- MANHOLE
- FENCE
- TREE
- PARKING NUMBERING
- WINDOW WELL
- SIGN POST

GENERAL NOTES

- A THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES TO THE ARCHITECT.
- B DO NOT SCALE DRAWINGS.
- C ALL WORK SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- D THIS DRAWING IS THE EXCLUSIVE PROPERTY OF CHRISTOPHER SIMMONDS ARCHITECT INC. COPYRIGHT RESERVED.

PRELIMINARY SET  
 NOT FOR  
 CONSTRUCTION

01	APRIL 17 2014	ISSUED FOR REZONING
No.	DATE	DESCRIPTION
ARCHITECT'S SEAL:		PROJECT NORTH:
PROJECT: 67-71 MARQUETTE AVE. CAPITAL VIEW DEVELOPMENTS		
DRAWING TITLE: SITE PLAN		
DATE:	NOV. 8, 2013	DRAWING No:
SCALE:	1:100	
DRAWN BY:	JAH	
JOB No:	509-13	