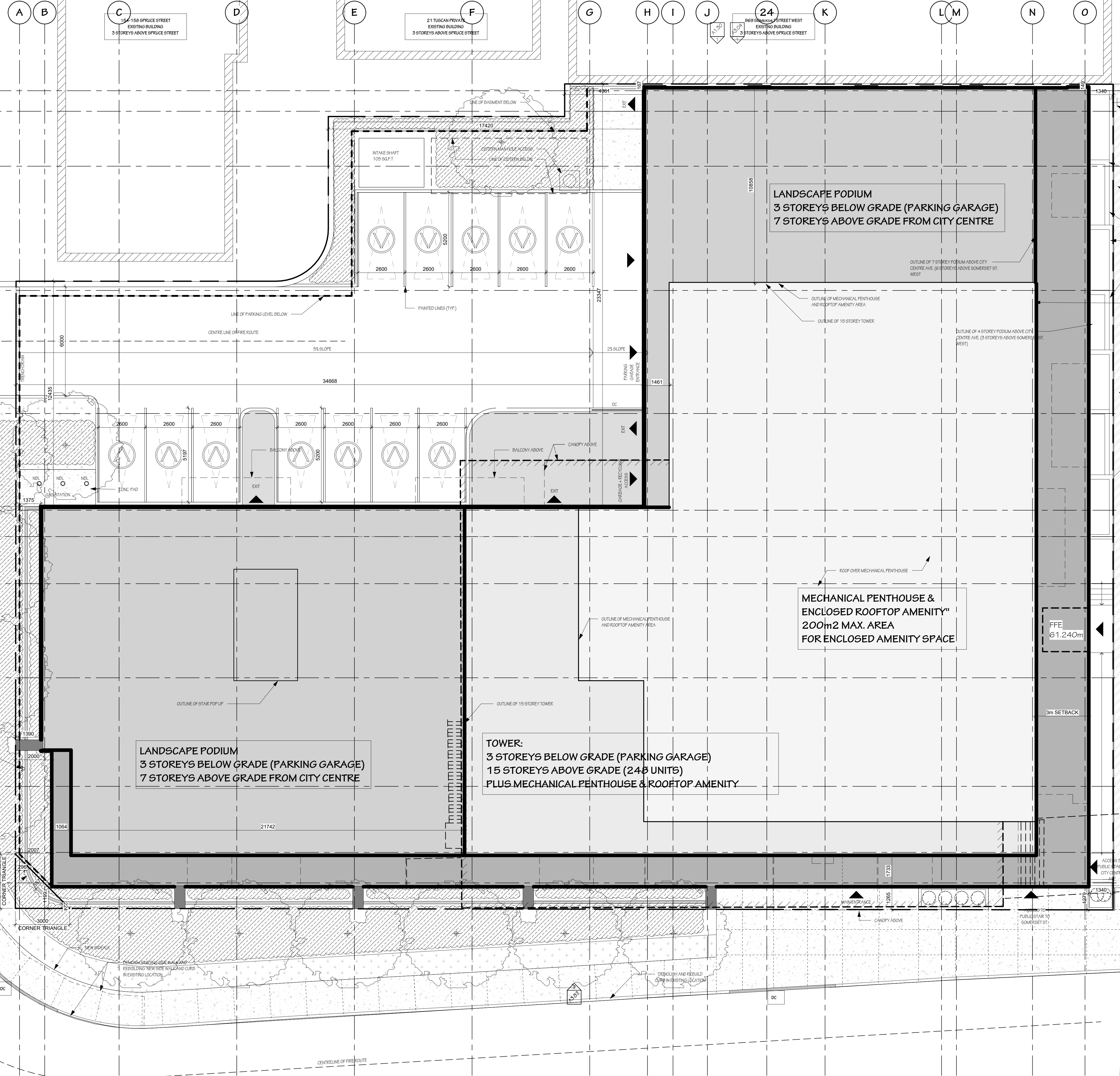


ZONING TABLE		
Current Zoning	MCO(350)969	
Site Area	2,550sq	
Number of Dwelling Units		
1 Bedroom	114	45.9%
2 Bedroom	10	0.5%
3 Bedroom	23	0.9%
4 Bedroom	54	2.1%
5 Bedroom	2	.1%
<b>TOTAL</b>	<b>248</b>	
<b>REQUIRED</b>		
Lot Width		
Lot Frontage		
<b>PROPOSED</b>		
Front Yard - Somerset St. W.	NO MINIMUM, 3m at LEVEL 4	VARIES 1.0, 3m at LEVEL 4
Rear Yard - Spruce St.	NO MINIMUM	VARIES 1.4 - 2.0m
Side Yard - City Centre Ave	NO MINIMUM	VARIES 1.1 - 1.2m
Interior Side Yard	NO MINIMUM	VARIES - 0.1m
Maximum Building Height	102.88m ASL per Schedule 169 Site exception below	
Number of Storeys	15 STOREYS	
Building Area	1700 m <sup>2</sup>	
Area Typical Podium	1700 m <sup>2</sup>	
Area Typical Floor Plate	856 m <sup>2</sup>	
Area Total Gross Building Area	41,224.87 m <sup>2</sup> (218,819 sqft)	
Area Total Gross Building Area	41,224.87 m <sup>2</sup> (170,942 sqft)	
Amenity Area		
Total of all amenity space	Total (8m <sup>2</sup> per dwelling unit) 1,940m <sup>2</sup> (248 Units x 8m <sup>2</sup> = 1,984m <sup>2</sup> )	Private Amenity Space 1,140m <sup>2</sup> Common Amenity Space 802m <sup>2</sup>
Percentage of Site Landscaping	5040 m <sup>2</sup> x 0.15 = 802.2m <sup>2</sup> Minimum	Landscaped Area = 193m <sup>2</sup>
15% of site to be landscaped		
Parking		
Residential: 5 spaces/unit after first 12	Minimum Required Residential (248) x 5 = 1244 spaces	Total Provided 1011
Visitor: 1 space/unit after first 12	Minimum Required Residential (248) x 1 = 248 spaces	Residential: 1377 spaces
Visitor: 1 space/unit after first 12	Minimum Required Visitor: 24 spaces	Visitor: 24 spaces
Residential: 5 spaces/unit	Minimum Required Residential: 248 units x 5 = 1244 spaces	Total Provided 1011
Visitor: 1 space/unit	Minimum Required Visitor: 24 spaces	Visitor: 24 spaces

NOTE: ALL EXISTING SITE INFORMATION AS PER TOPOGRAPHICAL SURVEY PLAN DATED JULY 12, 2013 PREPARED BY ANNA OSULIANYI VOLLEBAEK LTD.

PART OF LOT 4 AND ALL OF LOT 5 (South Spruce Street Side) AND ALL OF LOT 4 AND 5 (North Somerset Street West) REZONIFIED PLAN TO CITY OF OTTAWA



EXCEPTION SUMMARY TEXT - maximum building height as per Schedule 169 - roof-top amenity area - having a maximum height of 5 metres in total included in the overall height of this building - has a maximum gross floor area of 270 m<sup>2</sup> - building podium height not to exceed four storeys along both Somerset Street and City Centre Avenue and any tower above the podium must have a minimum 2 metre step back at or below the top of the fourth storey of the podium above Somerset Street - maximum gross floor area per floor of a non-residential building consisting of office space 2000 m<sup>2</sup> or less - at least 70% of the site width along City Centre Avenue and Somerset Street must be occupied by one or more buildings and site width will be measured at the front parking building setback - for any building along City Centre Avenue and Somerset Street the maximum building setback is 3 metres except where a recessed entrance may be provided to accommodate a ground floor entrance and/or a corner treatment - maximum number of parking spaces permitted as per Section 105, Table 105, Column 6, Area A or Schedule 1, depending on the location of the lot on Schedule 1.



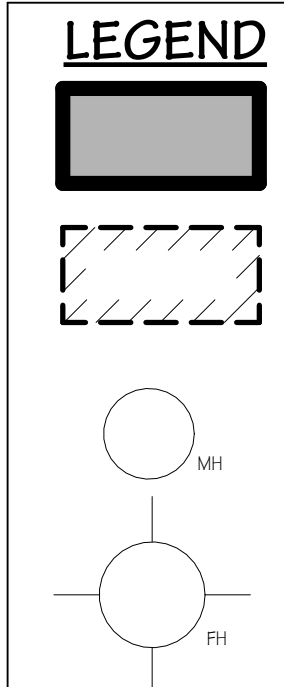
- 1 PROPOSED REMOVAL OF EXISTING CITY HALF-HIGH CONCRETE GUARDRAILS FROM EDGE OF NEW DEVELOPMENT
- 2 PROPOSED REMOVAL OF CITY LIGHT STANDARDS AND SUBSTITUTED BY STREET LIGHTING
- 3 COMPLETE SPACE BETWEEN BRIDGE ABUTMENT AND PROPERTY LINE WITH HARD LANDSCAPING - REFER TO LANDSCAPE DRAWING FOR MATERIAL FINISH

**ANDREW MCCREIGHT**  
MANAGER, DEVELOPMENT REVIEW CENTRAL  
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Andrew McCreight at 2:04 pm, Feb 20, 2024

BUILDING CYCLE PARKING REQUIREMENTS MIN. 0.25 UNIT MAX. = 248 (105 - 124)		
Building Location	Type/Comments	Count
L1	Floor Mounted Bike	18
L1	Wall Mounted Bike	15
L1	Wall Mounted Bike	54
P1	Floor Mounted Bike	15
P1	Wall Mounted Bike	15
P2	Floor Mounted Bike	30
P2	Wall Mounted Bike	24
P2	Wall Mounted Bike	24
P3	Floor Mounted Bike	24
P3	Wall Mounted Bike	24
Grand Total		162
TOTAL DEVELOPMENT 0.75 BICYCLE STALLS PER UNIT		

BUILDING PARKING REQUIREMENTS MIN. 0.25 UNIT MAX. 1.0 UNIT (MIN. = 248 x 0.9 = 224 MAX. 248 x 1.0 = 248)		
Level	Description	Count
DO-LEVEL P1	ELECTRIC CAR PARKING STALL	12
DO-LEVEL P1	SMALL CAR 4800X2400	2
DO-LEVEL P1	STANDARD STALL 5200X2600	22
DO-LEVEL P1	VISITOR PARKING STALL	13
DO-LEVEL P2	BARREER FREE PARKING STALL	2
DO-LEVEL P2	ELECTRIC CAR PARKING STALL	3
DO-LEVEL P2	SMALL CAR 4800X2400	1
DO-LEVEL P2	STANDARD STALL 5200X2600	42
DO-LEVEL P3	BARREER FREE PARKING STALL	48
DO-LEVEL P3	SMALL CAR 4800X2400	2
DO-LEVEL P3	STANDARD STALL 5200X2600	47
LEVEL 1	VISITOR PARKING STALL	50
LEVEL 1	STANDARD PARKING STALL	12
LEVEL 1	STANDARD PARKING STALL	12
Total Parking		159
TOTAL DEVELOPMENT - 0.54 RESIDENTIAL PARKING SPACES PER UNIT & 0.1 VISITOR SPACES PER UNIT		

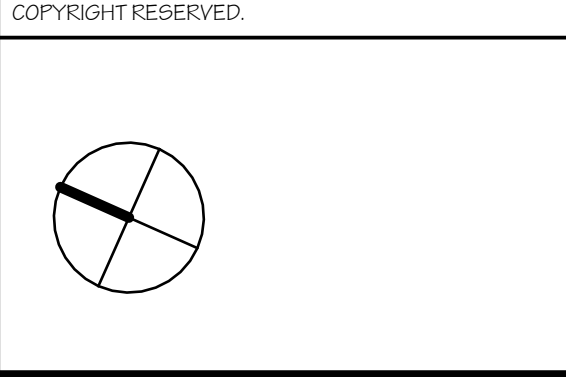


Note: all existing site information as per site survey plan dated September 16, 2013 and approved by STANTEC GEOMATICS Inc. 161013556-510

C	240112	Reviewed for SFC
B	231221	GC's Review
A	231219	Issued for SFC

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.  
DO NOT SCALE DRAWINGS.  
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED.  
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PROJECT: 989 Somerset  
989 Somerset St. W., Ottawa, ON, K1R 6R2

DRAWING TITLE: SITE PLAN

DRAWN	DATE	SCALE
DH	10/02/23	As Indicated

PROJECT: 2110  
DRAWING NO.: A1.00  
REVISION NO.: C