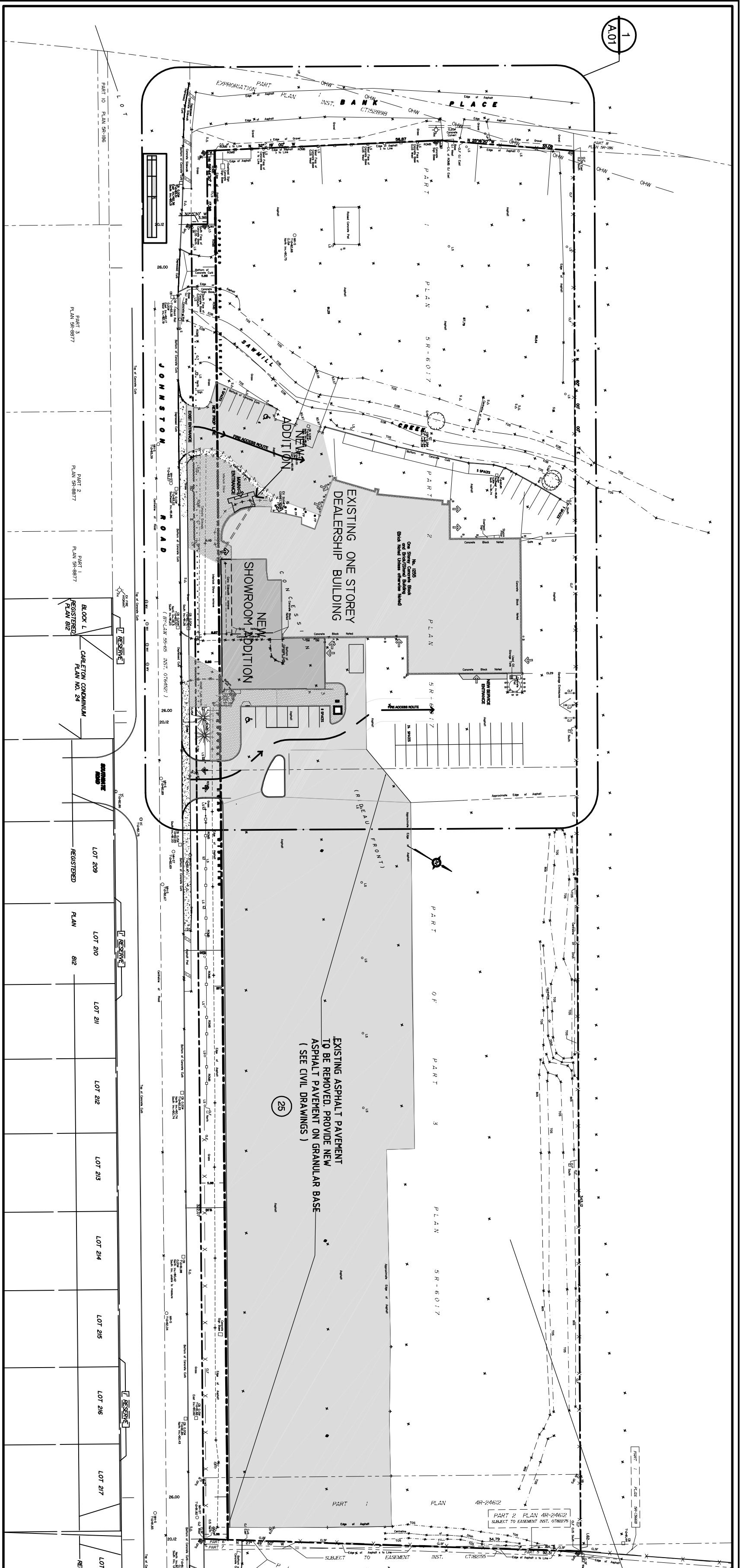


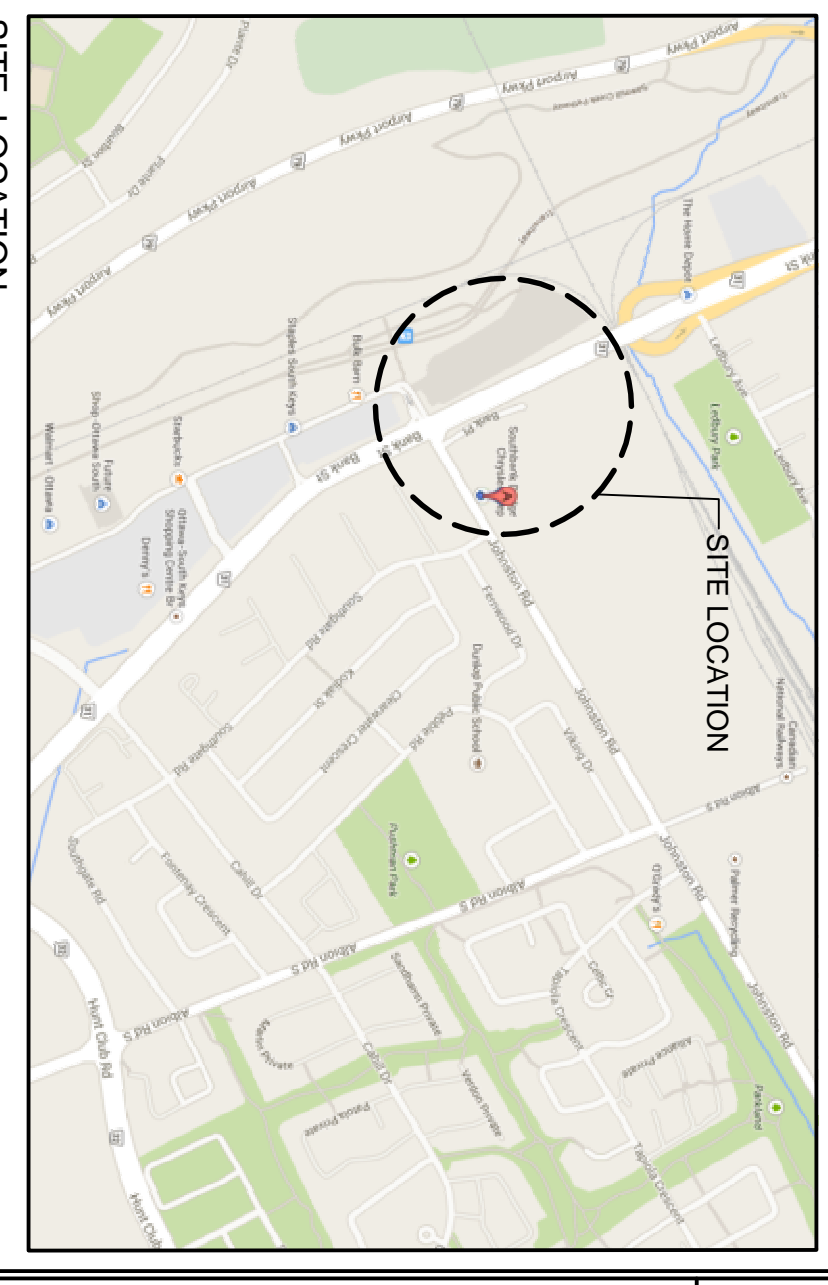
IL - LIGHT INDUSTRIAL	PROVISIONS	DESIGN	COMPLIANCE DETAILS
Minimum Lot Area	2000 sqm	29800 sqm	Compliant with Zones
Minimum Lot Frontage	NO MINIMUM	34.0 m	Compliant with Zones
Minimum Front Yard Setback	7.5m	15.0 m	Compliant with Zones
Minimum Rear Yard Setback	7.5m	8.179 m	Compliant with Zones
Minimum Side Yard Setback	7.5m	209.2 m	Compliant with Zones
Minimum Building Height	11.0 m	18.5 m	Compliant with Zones
MAXIMUM BUILDING HEIGHT	17/1000 SH	3 SPACES	Compliant with Zones
BIKE PARKING	1/1000 SH	9.55%	Compliant with Zones
Requested Loading Zone (Loading space building 1 - 3.6m x 20m)	6.5% MAX		
Requested Parking (Parking 9-A11 - 2.60m x 5.20m)	Service bays - 2 spaces per bay Office / showroom - 2, 100 sqm x 0.5 setback (total area - 971 sqm (1.49 spaces total))	Existing building 2865sqm Addition 1717sqm (280m or less - not required)	0 Compliant with Zones

ONTARIO 2007 BUILDING CODE DATA MATRIX	REG. OUTLINE	REG. OUTLINE	REG. OUTLINE
Project Description	1 storey addition to existing 2 storey car dealership		
Number of Stories	2 (Existing) 1 (New Addition)	ET Section - 565 sqm	
Building Areas	Existing ground floor - 2865 sqm Addition 1717 sqm	Address 421 - 402.1m, deadload, 202.5kN	
Building Restriction	GROUP 7, DIV. 2		
Additional	YES		
Shedding Required	YES		
Spill Pallets	YES		
Fire Alarm Required	Yes - Supply is adequate		
Water Service/Supply	Yes - Supply is adequate		
High Building	No		
Fire Separations	Existing - Non-combustible construction No fire rating required (simplified)		
Roof Assemblies (Additional)	No fire rating required (simplified)		
Building Requirements		31.4.1	
<ul style="list-style-type: none"> <li>* Storage 2nd Floor - 652 sqm @ 31.7m, 80 persons</li> <li>Office - total 16 workstations</li> <li>* Total occupant load = 74</li> <li>* Art 31.4.8(2) - 317.7</li> <li>Showroom (31.4.8(2)) 1147/ 317.7</li> <li>Office (31.7.4.1) 271.4/ 4.1m</li> <li>271.4/ 4.1m</li> </ul>			
Part II - Alteration of Existing Building (Type or Class)	Not Applicable (no change of major occupancy)	112.1	
Alteration to Existing Building	Basic Renovation	113.3.1	
By change in occupancy	no	114.2.2	
By change in occupant load	no	114.2.3	
By change in use	no	114.2.4	
By change in height	no	114.2.5	
By change in structure	no	114.2.6	
By change in fire rating	no	114.3.1	
By change in other	no	114.3.2	
By change in other	no	114.3.3	
By change in other	no	114.3.4	
By change in other	no	114.3.5	
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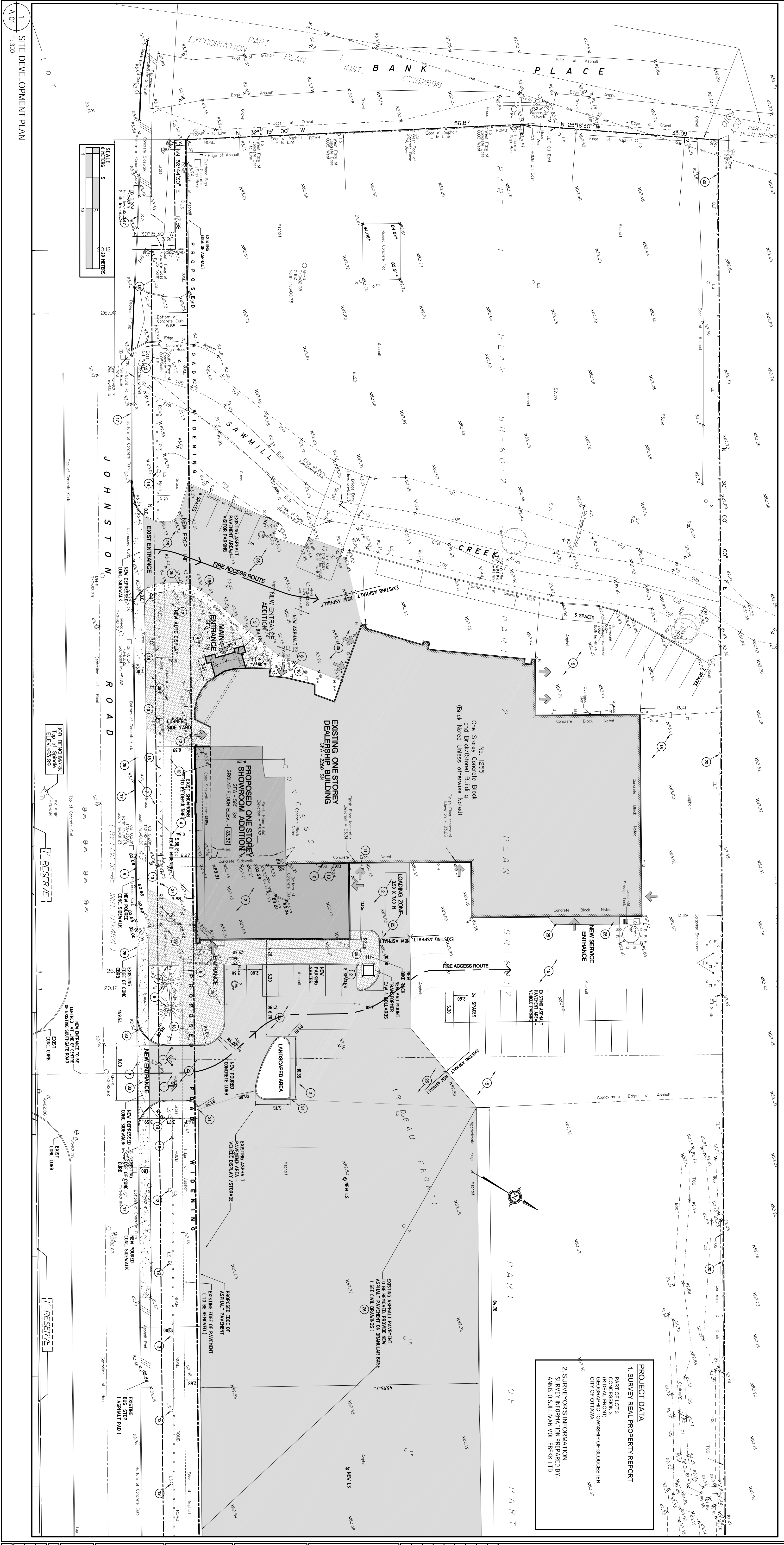


2 OVERALL SITE DEVELOPMENT PLAN  
A-01 1:800

PROJECT DATA	1. SURVEY REAL PROPERTY REPORT	2. SURVEYING INFORMATION
Part of Lot 3 CONCESSION NEW ASPHALT PAVEMENT ON GRANULAR BASE (SEE CIVIL DRAWINGS) CITY OF OTTAWA	NEW ASPHALT PAVEMENT TO BE REPAIRED REPAIR EXISTING ASPHALT PAVEMENT ON GRANULAR BASE (SEE CIVIL DRAWINGS)	NEW ASPHALT PAVEMENT TO BE REPAIRED REPAIR EXISTING ASPHALT PAVEMENT ON GRANULAR BASE (SEE CIVIL DRAWINGS)
RELOCATED STEEL PILES SET IN NEW SANDPILE PILES NEW GAS WATER	NEW CONCRETE CURBS (SEE CIVIL DRAWINGS)	NEW CONCRETE CURBS (SEE CIVIL DRAWINGS)
NEW STONE PAVERS (SEE CIVIL DRAWINGS)	NEW CONCRETE CURBS (SEE CIVIL DRAWINGS)	NEW CONCRETE CURBS (SEE CIVIL DRAWINGS)
NEW DEPRESSORS CONCRETE SIDEWALK AND CURB NEW CONCRETE CURB (SEE CIVIL DRAWINGS)		
EXISTING ASPHALT PAVEMENT TO REMAIN		
EXISTING CONCRETE SIDEWALK		
EXISTING CONCRETE CURB TO REMAIN OR REPLACE AFTER CONSTRUCTION		
EXISTING STEEL PILES / BOLLARDS TO REMAIN		
EXISTING PAVERS TO REMAIN		
EXISTING CHAIN LINK FENCE TO REMAIN		



31.4.1



1 SITE DEVELOPMENT PLAN  
A-01 1:300

**PROJECT**  
SOUTHBANK CHRYSLER ADDITION  
1295 JOHNSTON ROAD OTTAWA, ONTARIO

**CLIENT**  
PVE & RICHARDS ARCHITECTS INC.  
824 MEADH STREET OTTAWA ONTARIO K1Z 6E9  
TEL: 613 724-1700 FAX: 613 724-1289  
EMAIL: info@pveandrichards.com  
WEBSITE: www.pveandrichards.com

**DESIGNER**  
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**PROJ. NO.** 13-43  
**SCALE** AS NOTED  
**DRAWN BY** RIM  
**CHECKED BY** DM  
**PLOT DATE** 11 AUG 2014  
**REVISION NO.** A-01