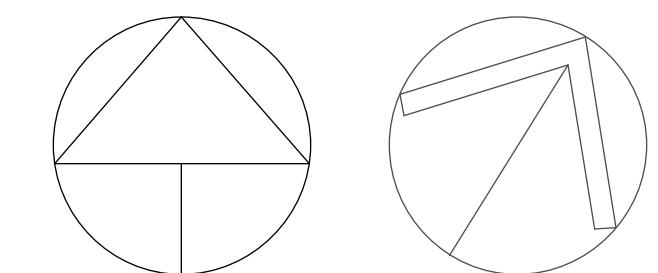
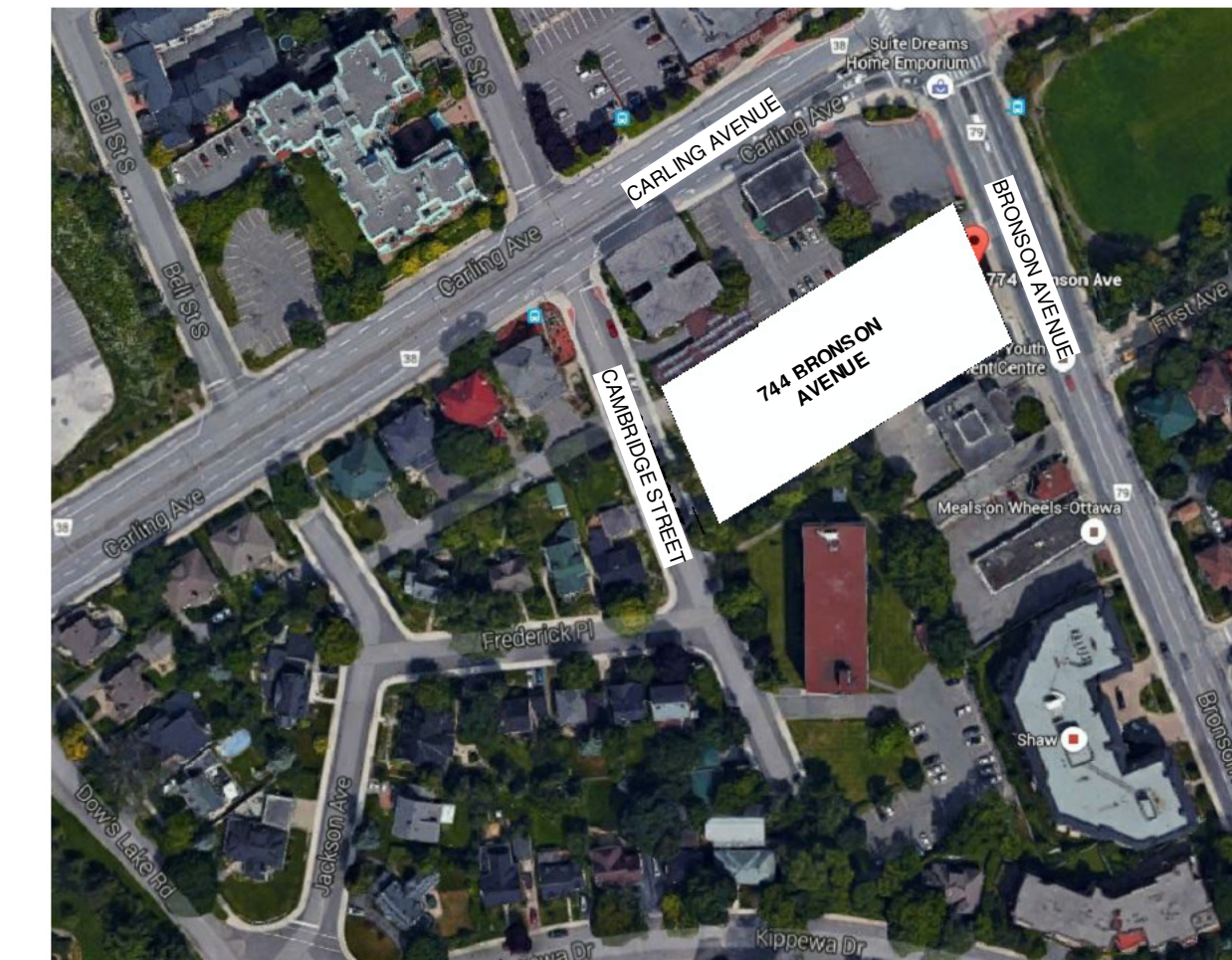


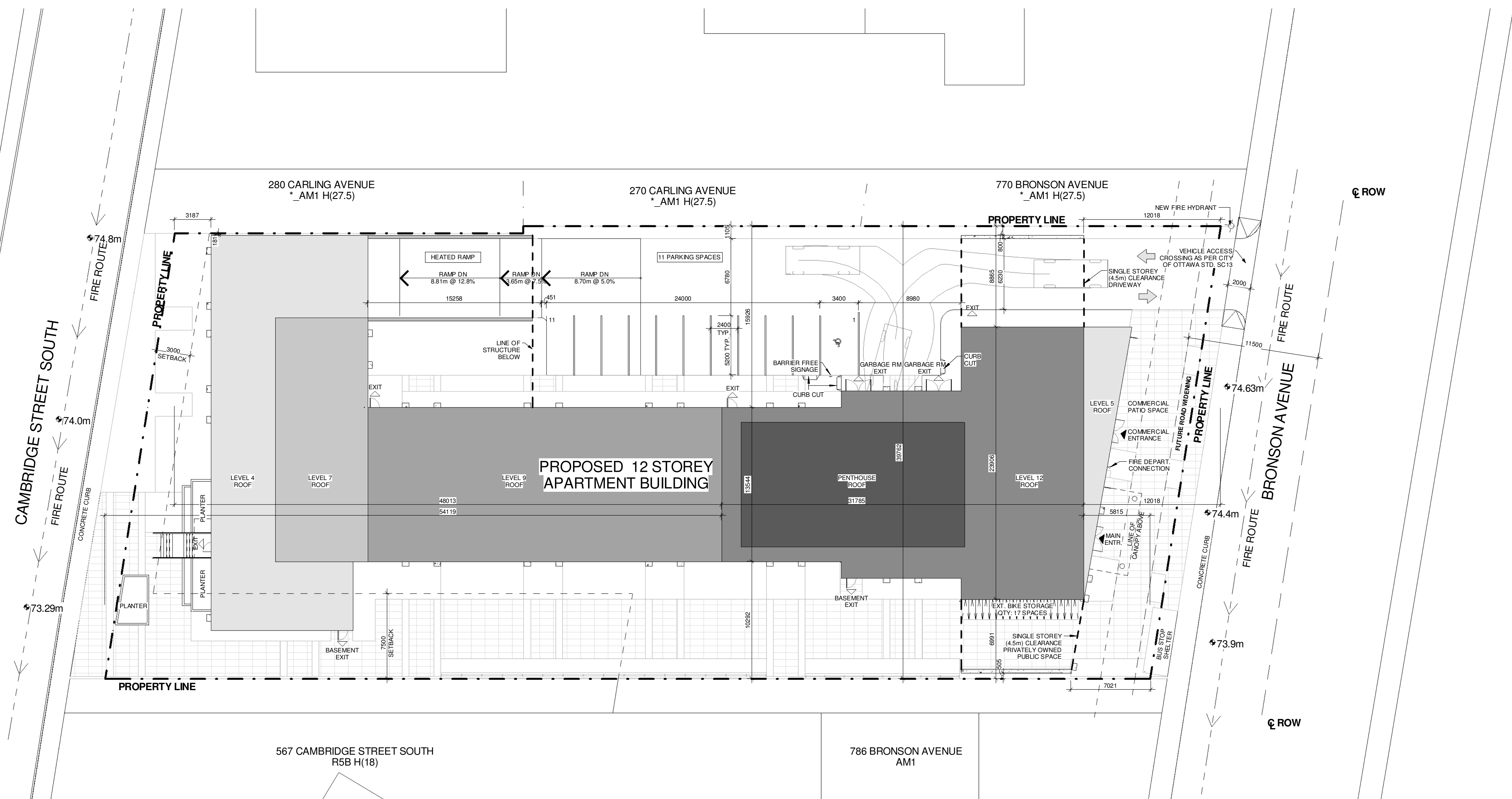
STANDARD ZONING MECHANISM - AMI		
PROVISION	REQUIREMENT	PROPOSED
MINIMUM LOT WIDTH	No Minimum	39.14 m
MINIMUM LOT AREA	No Minimum	3628 m <sup>2</sup>
MINIMUM FRONT YARD SETBACK	No Minimum	5.50 m
MINIMUM INTERIOR SIDE YARD SETBACKS	No minimum unless abutting a residential zone (7.5 m)	4.24 m
MINIMUM REAR YARD SETBACK	3 m	3 m
MAXIMUM BUILDING HEIGHT*	Ranges from 11 to 25 m	38.90 m
MAXIMUM FLOOR SPACE INDEX*	4.5 (if 80% of parking is below grade), 2 (otherwise)	2.83
MINIMUM WIDTH OF LANDSCAPED AREA (abutting a residential zone)*	3 m	4.24 m
MINIMUM RESIDENT PARKING RATE	0.5 spaces per dwelling unit (first 12 units exempt) (80 spaces)	38 spaces
MINIMUM VISITOR PARKING RATE*	0.1 spaces per dwelling unit, first 12 units exempt (16 spaces)	
MINIMUM BICYCLE PARKING RATE	0.5 spaces per dwelling unit (86 spaces)	172 spaces
PARKING SPACE SIZE PROVISION	2.6 m (width) by 5.2 m (length)	2.6 m x 5.2 m and 2.4 m x 5.2 m
PARKING AISLE AND DRIVEWAY SIZE PROVISION	6.7 m minimum width for double traffic lane	6.7 m minimum
BICYCLE PARKING SPACE SIZE PROVISION	0.6 m by 1.8 m	0.6 m by 1.8 m (H) and 0.5 m by 1.5 m (V)
MINIMUM AMENITY AREA	6m <sup>2</sup> per dwelling unit, 50% minimum communal amenity area (1,032m <sup>2</sup> )	720.87m <sup>2</sup> (interior) + 533.99 m <sup>2</sup> (exterior) = 1,254.86 m <sup>2</sup>

SITE DATA CHART		
DATA	REQUIREMENT	PROPOSED
ZONING	Arterial Main Street - AM1 Zone	
LOT AREA	3,628.09 m <sup>2</sup>	
TOTAL DENSITY	172 units (308 beds)	
GROSS FLOOR AREA (m <sup>2</sup> )	10,254.80 m <sup>2</sup>	
NUMBER OF STOREYS	12	
BUILDING HEIGHT (m)	maximum 41.5 m	41.5 m
COMMERCIAL / RETAIL AREA (m)	153.12 m <sup>2</sup>	
AMENITY AREA	minimum 6m <sup>2</sup> / unit = 1032m <sup>2</sup>	1,254.86 m <sup>2</sup>
LANDSCAPE AREA (%)	1,088 m <sup>2</sup> + 3,628 m <sup>2</sup> = 29.9%	
LANDSCAPE AREA (m <sup>2</sup> )	1,088 m <sup>2</sup>	
RESIDENTIAL PARKING	RESIDENTIAL (first 12 units exempt)	0.5 / unit = 80
	VISITOR (first 12 units exempt)	0.1 / unit = 16
	TOTAL	96
BICYCLE PARKING	BARRIER FREE SPACES	1 (Included in the 38 spaces)
	RESIDENTIAL	0.5 / unit = 86
	COMMERCIAL	2.5 / 100 m <sup>2</sup> = 4
TOTAL	90	



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1 SPA - KEY PLAN  
1: 2000



SITE PLAN LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- FIRE ROUTE
- EASEMENT
- PRIMARY BUILDING ENTRANCE/ EXIT
- BUILDING EXIT ONLY
- PROPOSED ELEVATION
- EXISTING ELEVATION

No.	Date	Revision
2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA

**srm** ARCHITECTS INC.

Project No: 15076  
 Issue Date: 2016-10-19  
 Drawn by: EV  
 Checked by: RH  
 Plot Date / Time: 2016-10-19 3:25:53 PM

TEXTBOOK SUITES  
 774 BRONSON AVENUE,  
 OTTAWA

SITE PLAN

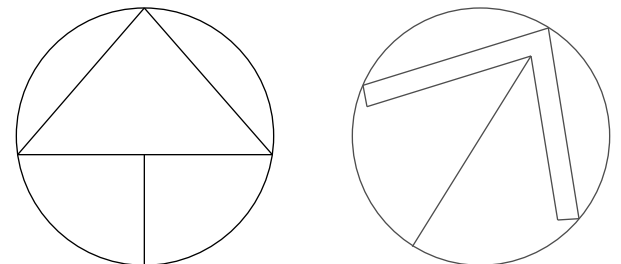
ONTARIO ASSOCIATION OF ARCHITECTS  
 EDWARD THOMAS LICENCE 5572

Drawing Scale: As indicated  
 Status: SITE PLAN APPROVAL  
 Drawing No.: A-1.1 - r2

2 SPA - SITE PLAN  
1: 2000

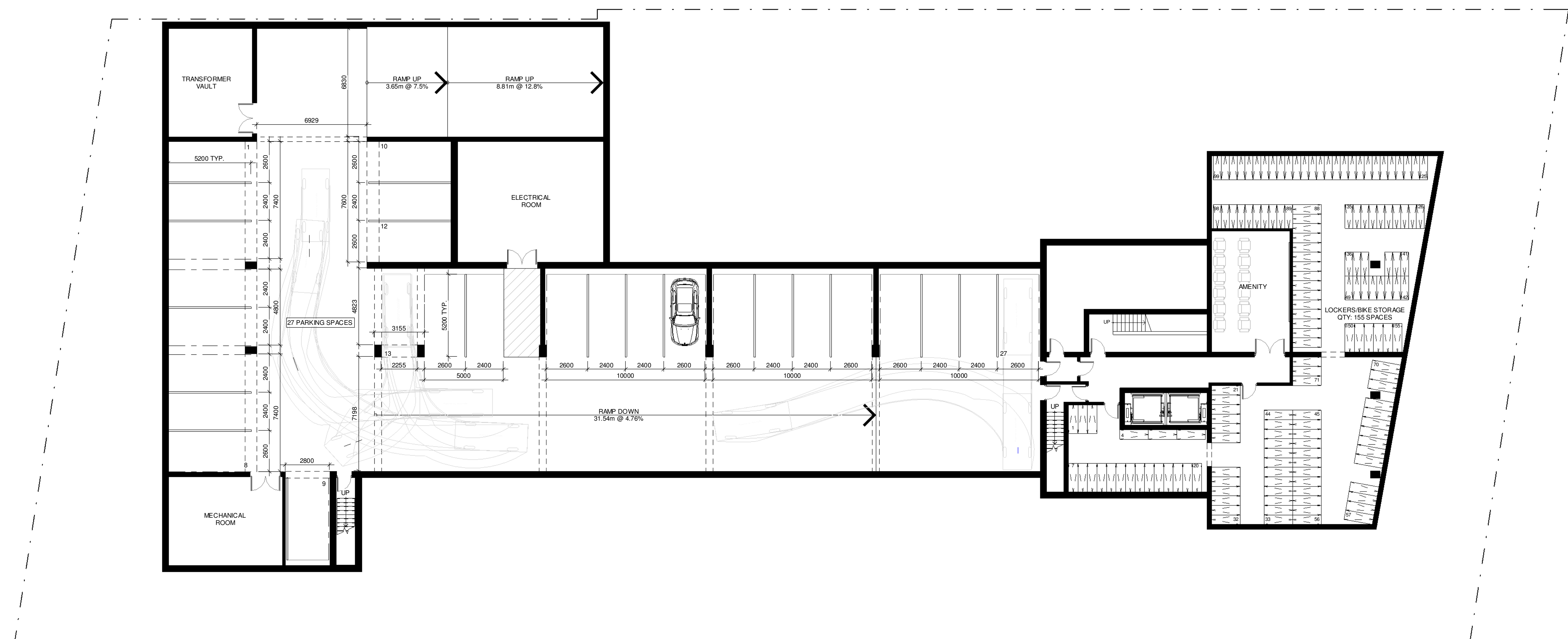
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- Project North** **True North**
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2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision

Project No: 15076  
 Issue Date: 2016-10-19  
 Drawn by: EV  
 Checked by: RH  
 Plot Date / Time: 2016-10-19 3:25:54 PM

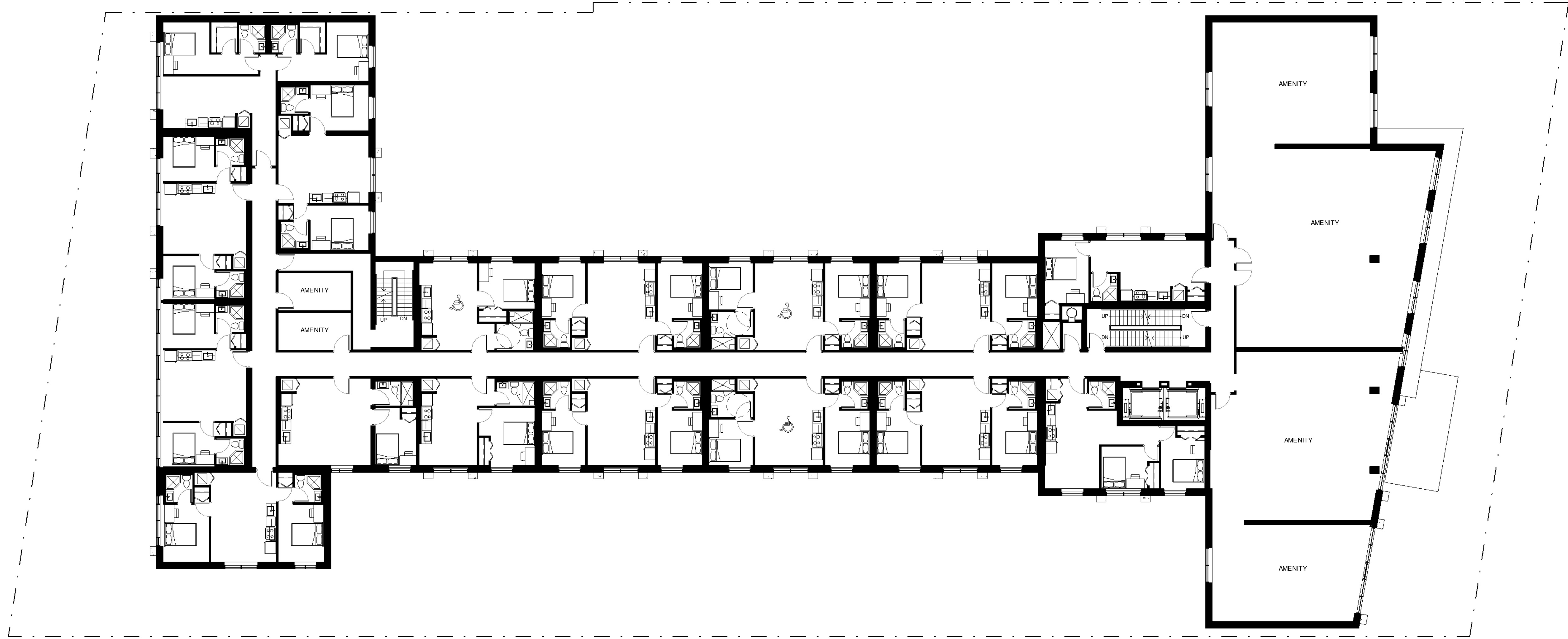
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**774 BRONSON AVENUE,**  
**OTTAWA**

**BASEMENT FLOOR PLAN**

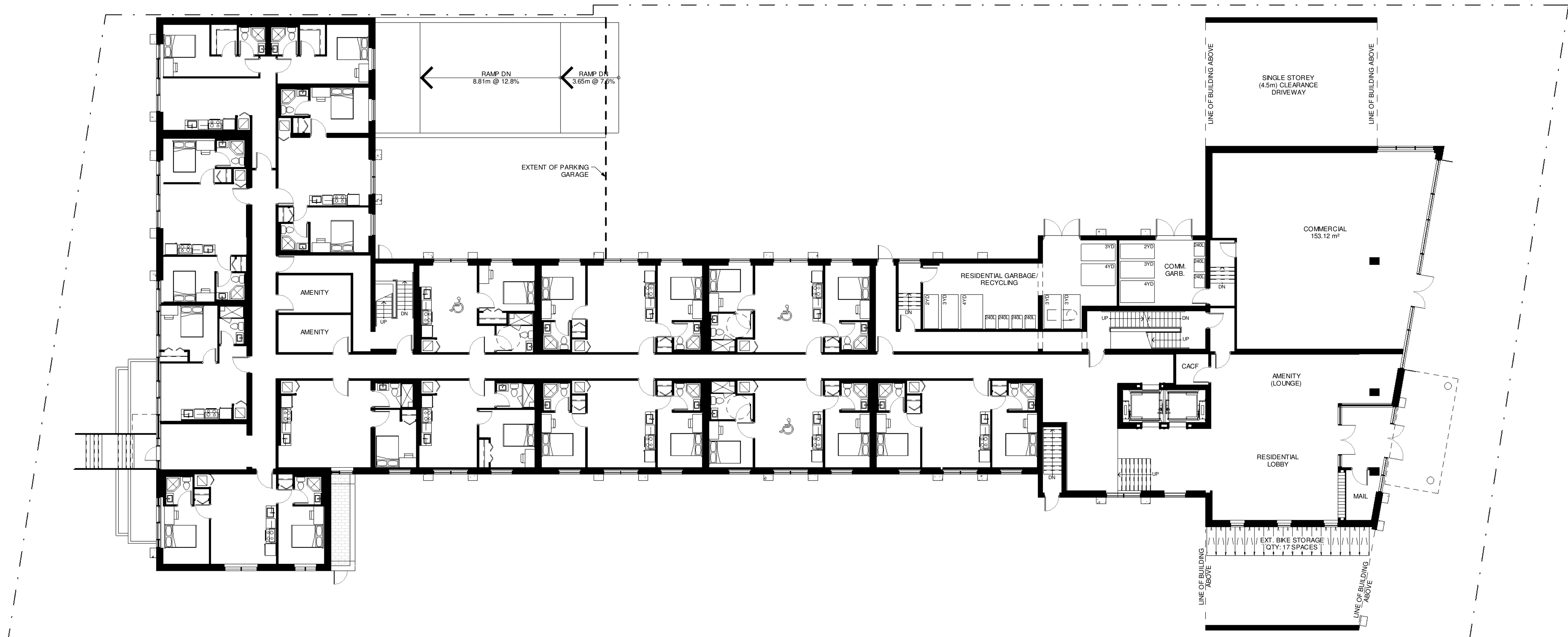
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 Status: **SITE PLAN APPROVAL**  
 Drawing No. **A-2.1** - r2  
 Revision No.

**1 BASEMENT**  
1 : 150

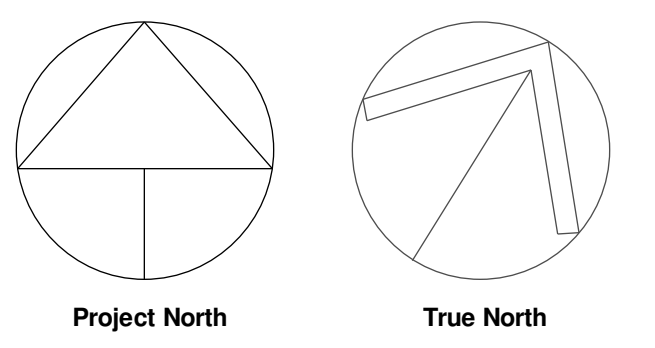
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**2 LEVEL 2**  
1:150



**1 LEVEL 1**  
1:150



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No.	Date	Revision

Project No. 15076  
 Issue Date 2016-10-19  
 Drawn by EV  
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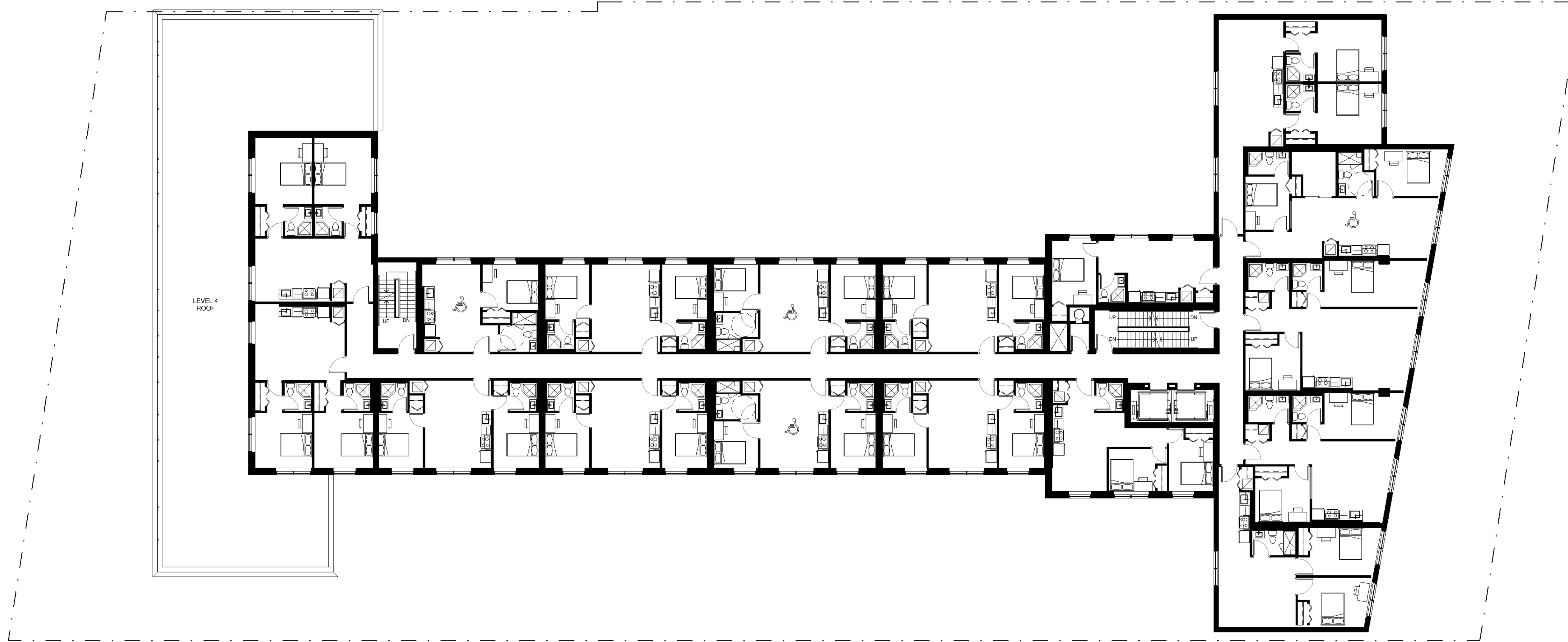
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**OTTAWA**

**LEVEL 1 & 2 FLOOR PLAN**

EDWARD THOMAS  
LICENCE 5572

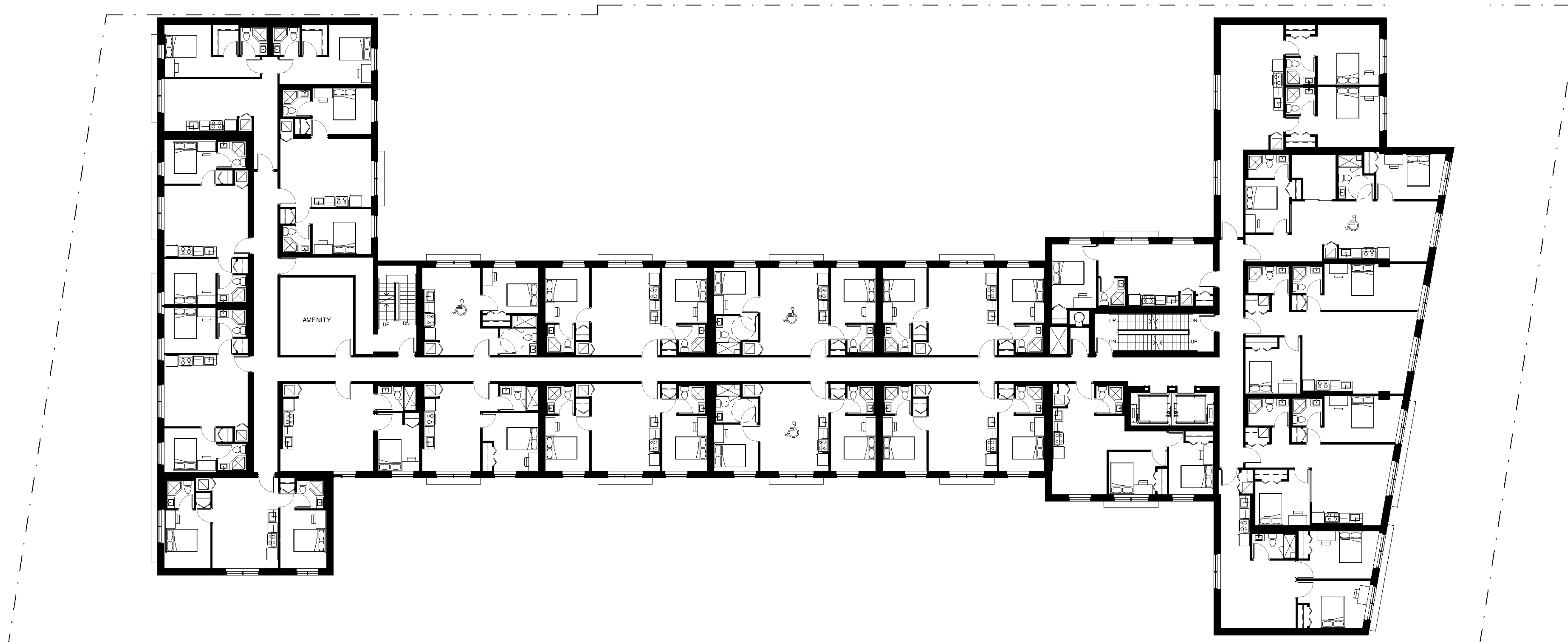
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 Drawing No. Revision No.  
**A-2.2 - r2**

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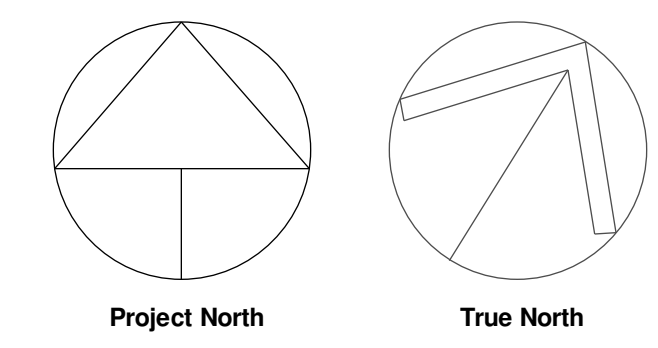
LEVEL 4 ROOF

**2** LEVEL 5  
1:150



AMENITY

**1** LEVEL 3-4 TYPICAL  
1:150



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No.	Date	Revision

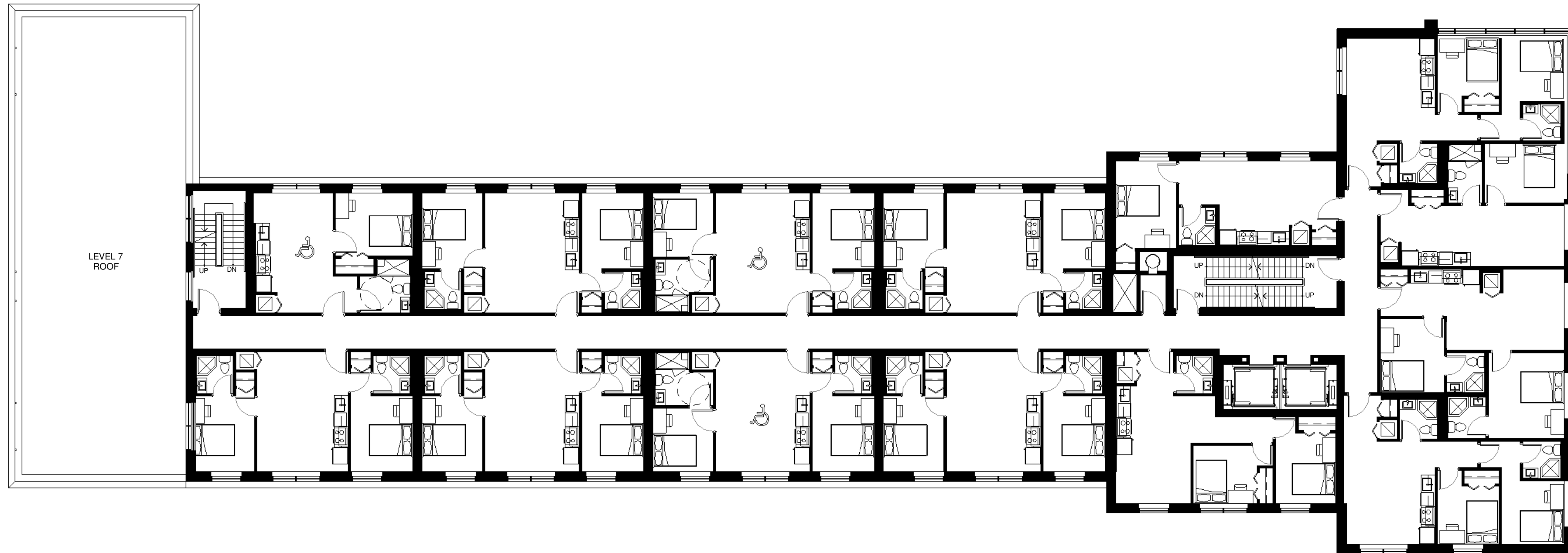
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	Issue Date	2016-10-19
	Drawn by	EV
	Checked by	RH
	Plot Date / Time	2016-10-19 3:26:00 PM

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774 BRONSON AVENUE,  
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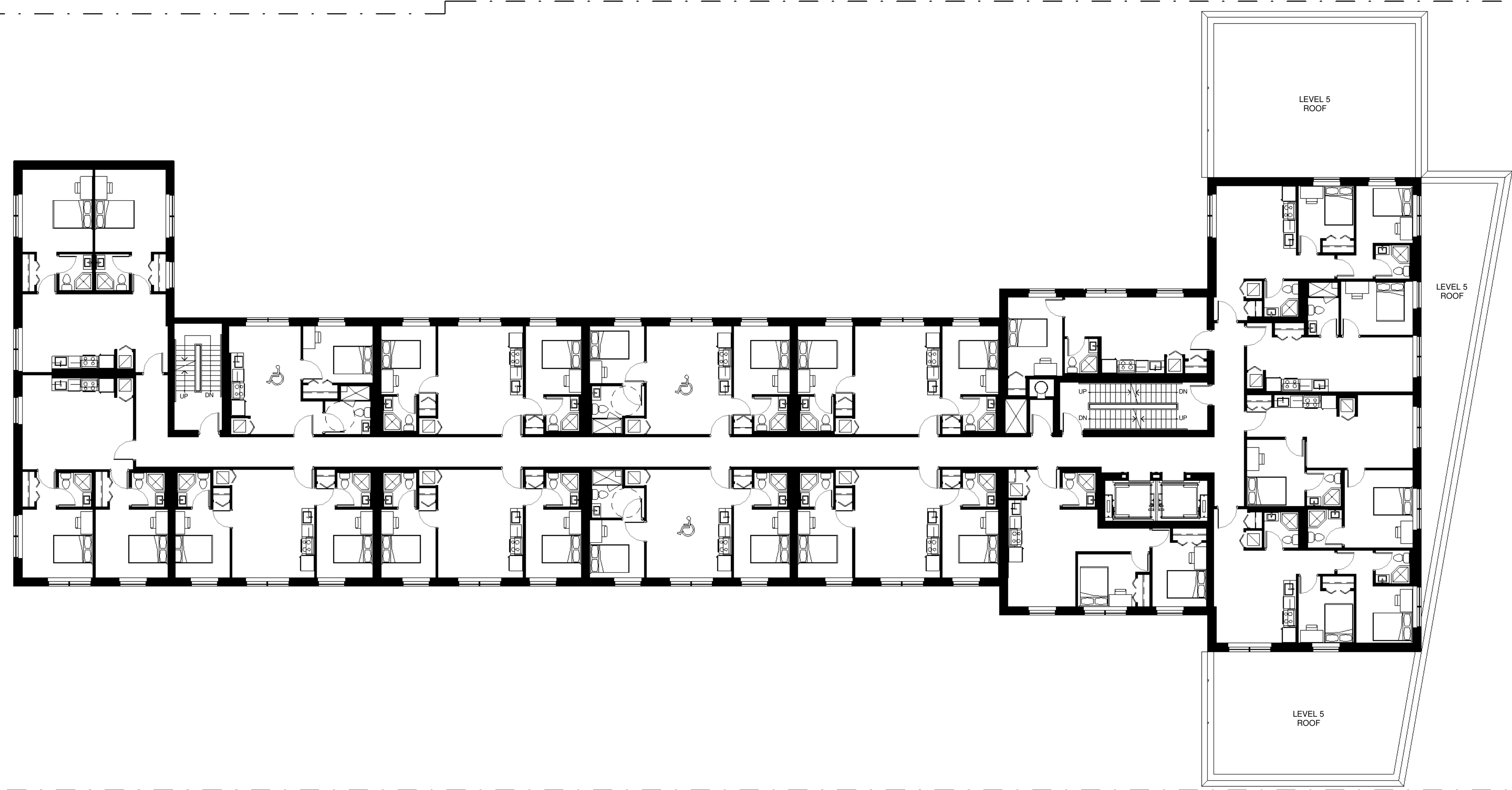
**LEVEL 3-4 & 5 FLOOR PLAN**

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	Status	SITE PLAN APPROVAL
	Drawing No.	Revision No.
	<b>A-2.3 - r2</b>	

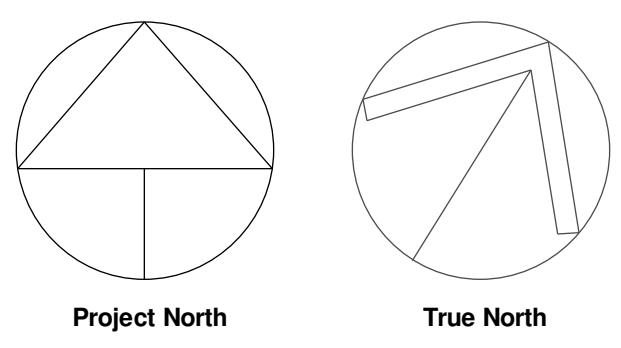




2 LEVEL 8-9 TYPICAL  
1:150



1 LEVEL 6-7 TYPICAL  
1:150



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No.	Date	Revision

	Project No.	15076
	Issue Date	2016-10-19
	Drawn by	EV
	Checked by	RH
	Plot Date / Time	2016-10-19 3:26:02 PM

**TEXTBOOK SUITES**  
**774 BRONSON AVENUE,**  
**OTTAWA**

**LEVEL 6-7 & 8-9 FLOOR**  
**PLAN**

Drawing Scale	1:150
Status	SITE PLAN APPROVAL
Drawing No.	Revision No.

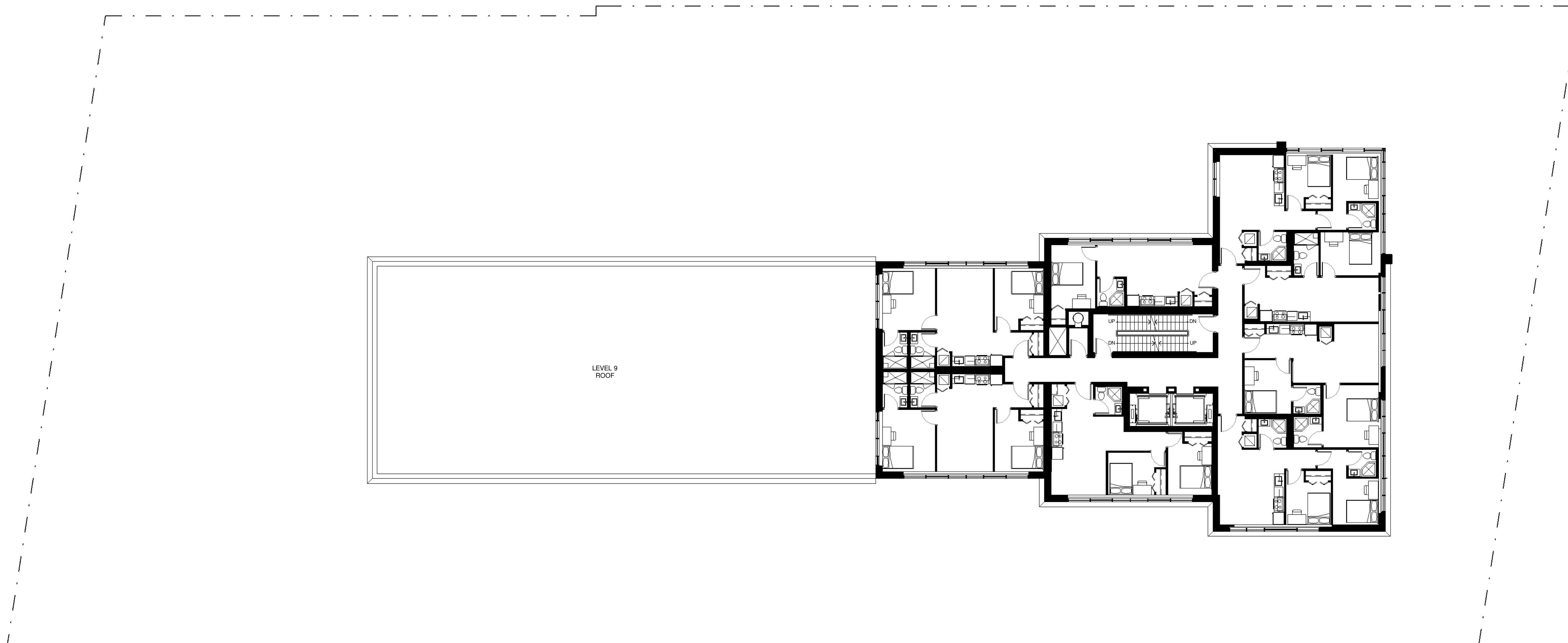


**A-2.4 - r2**

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**1 LEVEL 10-12 TYPICAL**  
 1 : 150

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No.	Date	Revision

Project No. 15076

Issue Date 2016-10-19

Drawn by EV

Checked by RH

Plot Date / Time 2016-10-19 3:26:03 PM

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**774 BRONSON AVENUE,**  
**OTTAWA**

**LEVEL 10-12 FLOOR PLAN**

EDWARD THOMAS  
LICENCE  
5572

Drawing Scale 1 : 150

Status

Drawing No. Revision No.

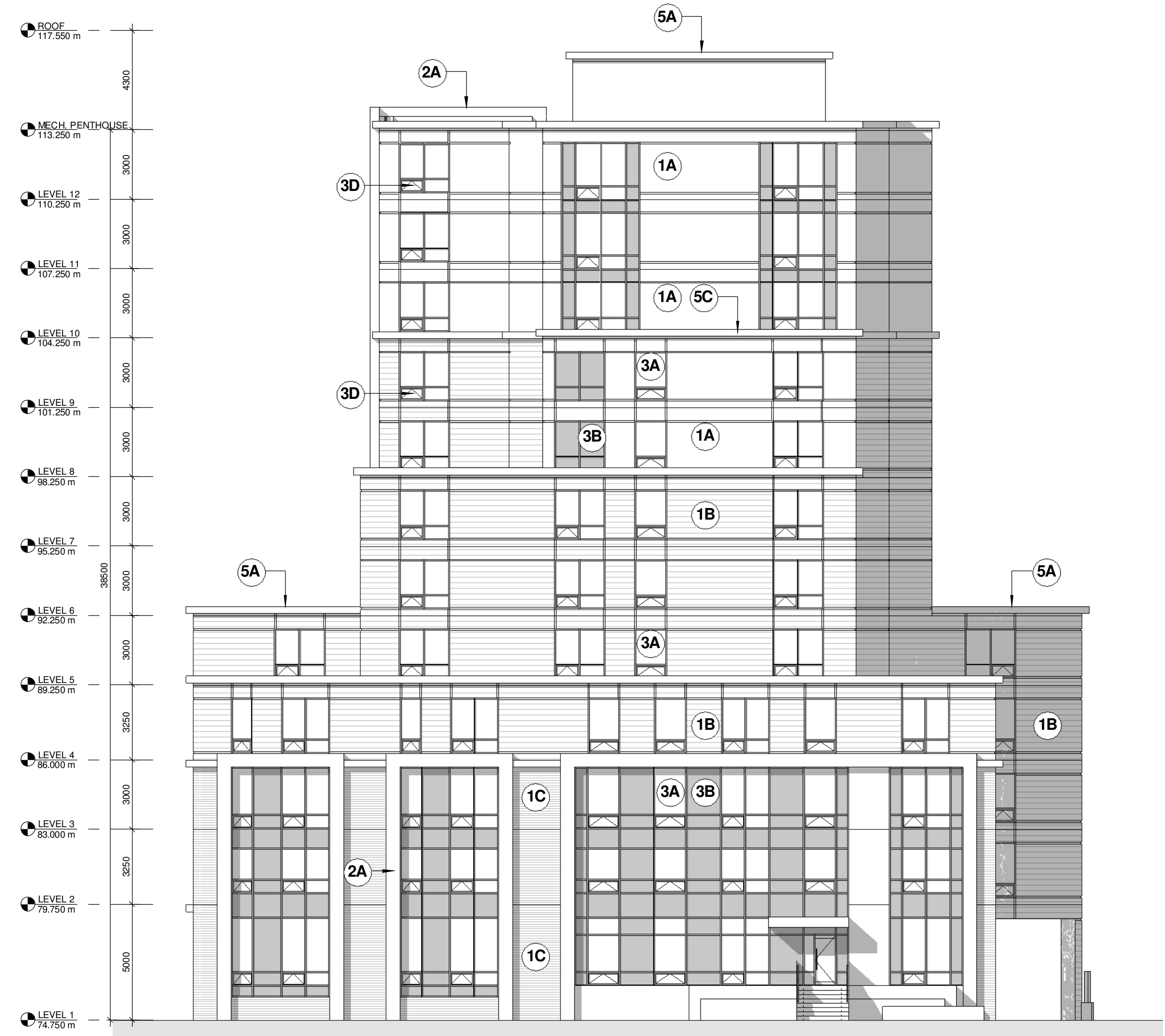
**A-2.5 - r2**



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**2 SPA - BRONSON AVENUE ELEVATION**  
1:150




**1 SPA - CAMBRIDGE STREET ELEVATION**  
1:150

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**EXTERIOR FINISH LEGEND**

- 1A PRECAST CONCRETE PANEL**  
COLOUR: WHITE
- 1B PRECAST CONCRETE PANEL**  
COLOUR: WHITE BRICK
- 1C PRECAST CONCRETE PANEL**  
COLOUR: BROWN (WOOD)
- 2A PRECAST CONCRETE FRAME**  
COLOUR: CHARCOAL
- 3A PREFINISHED WINDOWWALL**  
GLASS TYPE: VISION PANEL
- 3B PREFINISHED WINDOWWALL**  
GLASS TYPE: SPANDREL PANEL (LIGHT GREY)
- 3C PREFINISHED WINDOWWALL**  
GLASS TYPE: SPANDREL PANEL (DARK GREY)
- 3D PREFINISHED WINDOWWALL: OPERABLE AWNING**  
GLASS TYPE: VISION PANEL
- 4A PREFINISHED STOREFRONT SYSTEM**  
GLASS TYPE: VISION PANEL
- 4B PREFINISHED STOREFRONT SYSTEM**  
GLASS TYPE: GLASS SPANDREL PANEL
- 5A PRECAST CONCRETE BAND**  
COLOUR: GREY
- 5B PRECAST CONCRETE BAND**  
COLOUR: CHARCOAL
- 5C PRECAST CONCRETE BAND**  
COLOUR: WHITE

2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision

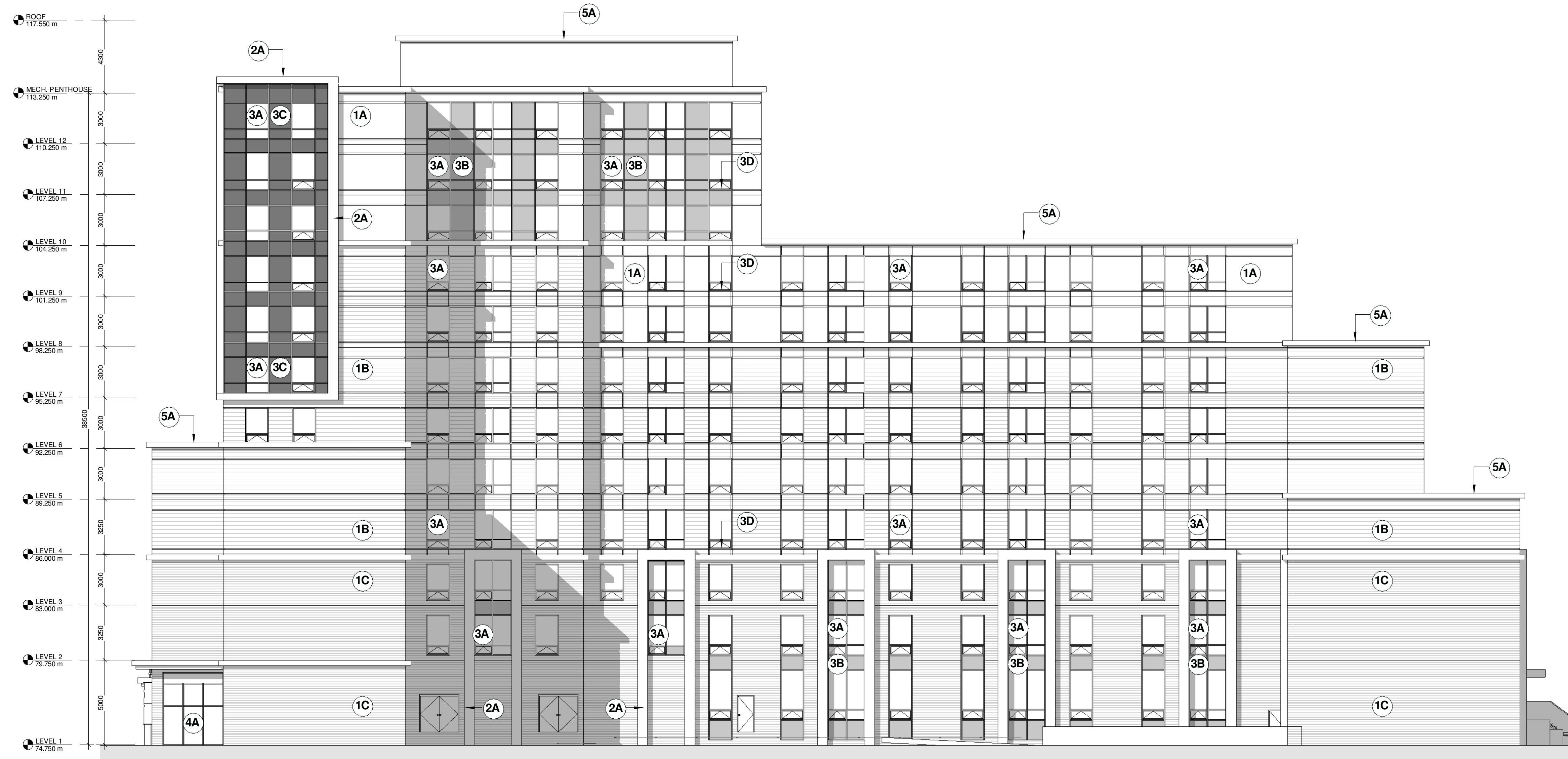

 Project No. 15076  
 Issue Date 2016-10-19  
 Drawn by EV  
 Checked by RH  
 Plot Date / Time 2016-10-19 3:26:13 PM

**TEXTBOOK SUITES**  
**774 BRONSON AVENUE,**  
**OTTAWA**  
**STREET ELEVATIONS**


 Drawing Scale 1:150  
 Status  
 Drawing No. Revision No.  
 SITE PLAN APPROVAL  
 EDWARD THOMAS  
 LICENCE 5572  
**A-3.1 - r2**



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**EXTERIOR FINISH LEGEND**

- 1A** PRECAST CONCRETE PANEL  
COLOUR: WHITE
- 1B** PRECAST CONCRETE PANEL  
COLOUR: WHITE BRICK
- 1C** PRECAST CONCRETE PANEL  
COLOUR: BROWN (WOOD)
- 2A** PRECAST CONCRETE FRAME  
COLOUR: CHARCOAL
- 3A** PREFINISHED WINDOWWALL  
GLASS TYPE: VISION PANEL
- 3B** PREFINISHED WINDOWWALL  
GLASS TYPE: SPANDREL PANEL (LIGHT GREY)
- 3C** PREFINISHED WINDOWWALL  
GLASS TYPE: SPANDREL PANEL (DARK GREY)
- 3D** PREFINISHED WINDOWWALL: OPERABLE AWNING  
GLASS TYPE: VISION PANEL
- 4A** PREFINISHED STOREFRONT SYSTEM  
GLASS TYPE: VISION PANEL
- 4B** PREFINISHED STOREFRONT SYSTEM  
GLASS TYPE: GLASS SPANDREL PANEL
- 5A** PRECAST CONCRETE BAND  
COLOUR: GREY
- 5B** PRECAST CONCRETE BAND  
COLOUR: CHARCOAL
- 5C** PRECAST CONCRETE BAND  
COLOUR: WHITE

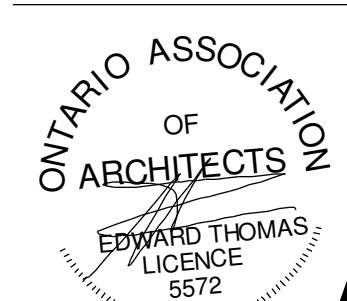
2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision



Project No. 15076  
 Issue Date 2016-10-19  
 Drawn by EV  
 Checked by RH  
 Plot Date / Time 2016-10-19 3:26:19 PM

**TEXTBOOK SUITES**  
**774 BRONSON AVENUE,**  
**OTTAWA**

**NORTH ELEVATION**



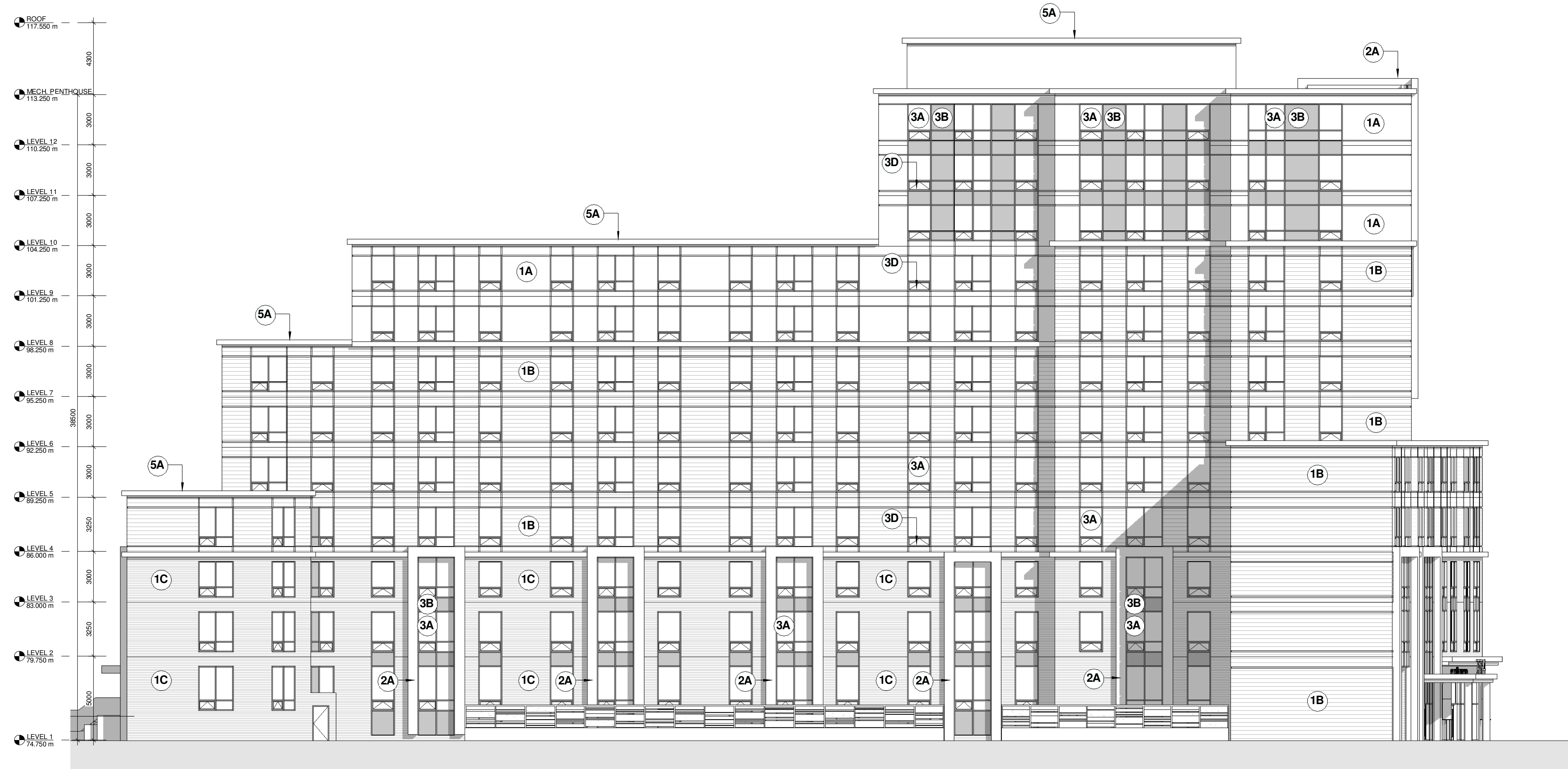
EDWARD THOMAS  
LICENCE  
5572

Drawing Scale 1 : 150  
 Status  
 Drawing No. Revision No.



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COLOUR: GREY
- 5B PRECAST CONCRETE BAND**  
COLOUR: CHARCOAL
- 5C PRECAST CONCRETE BAND**  
COLOUR: WHITE

2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
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No.	Date	Revision


 Project No. 15076  
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 Checked by RH  
 Plot Date / Time 2016-10-19 3:26:25 PM

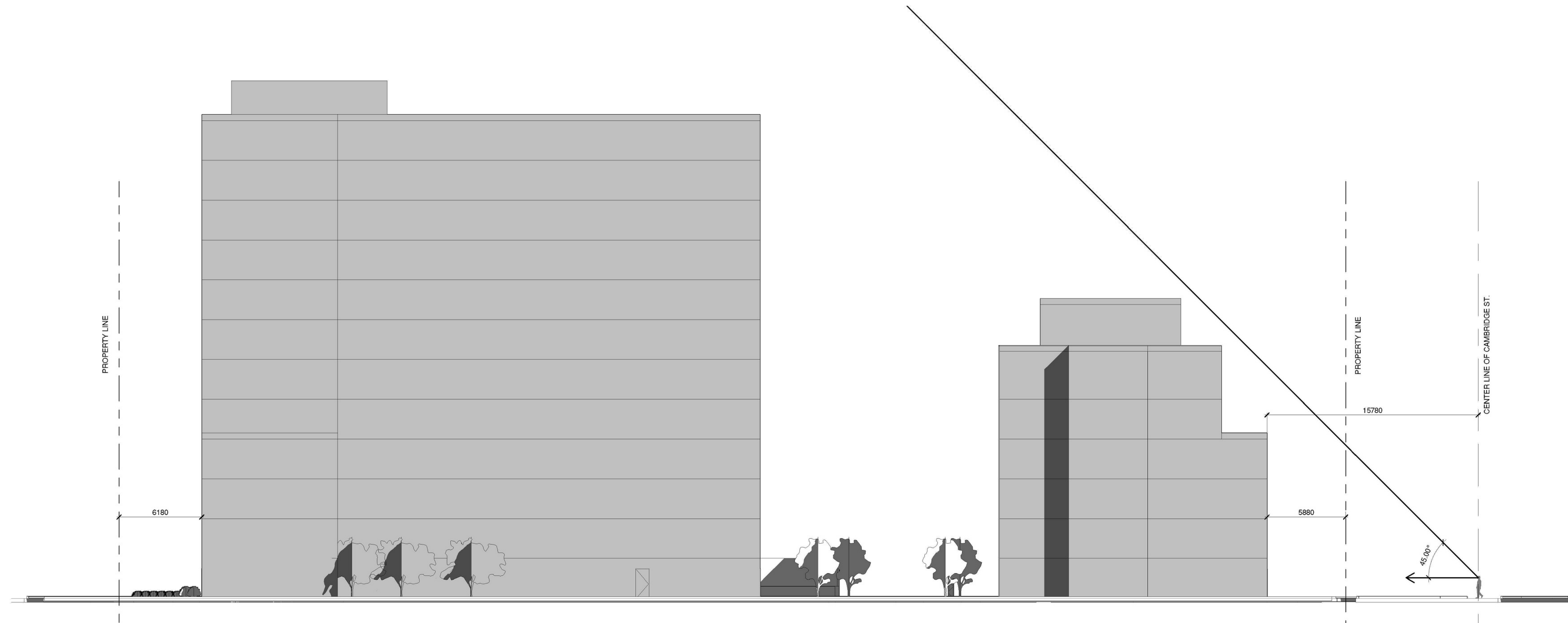
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**774 BRONSON AVENUE,**  
**OTTAWA**

**SOUTH ELEVATION**

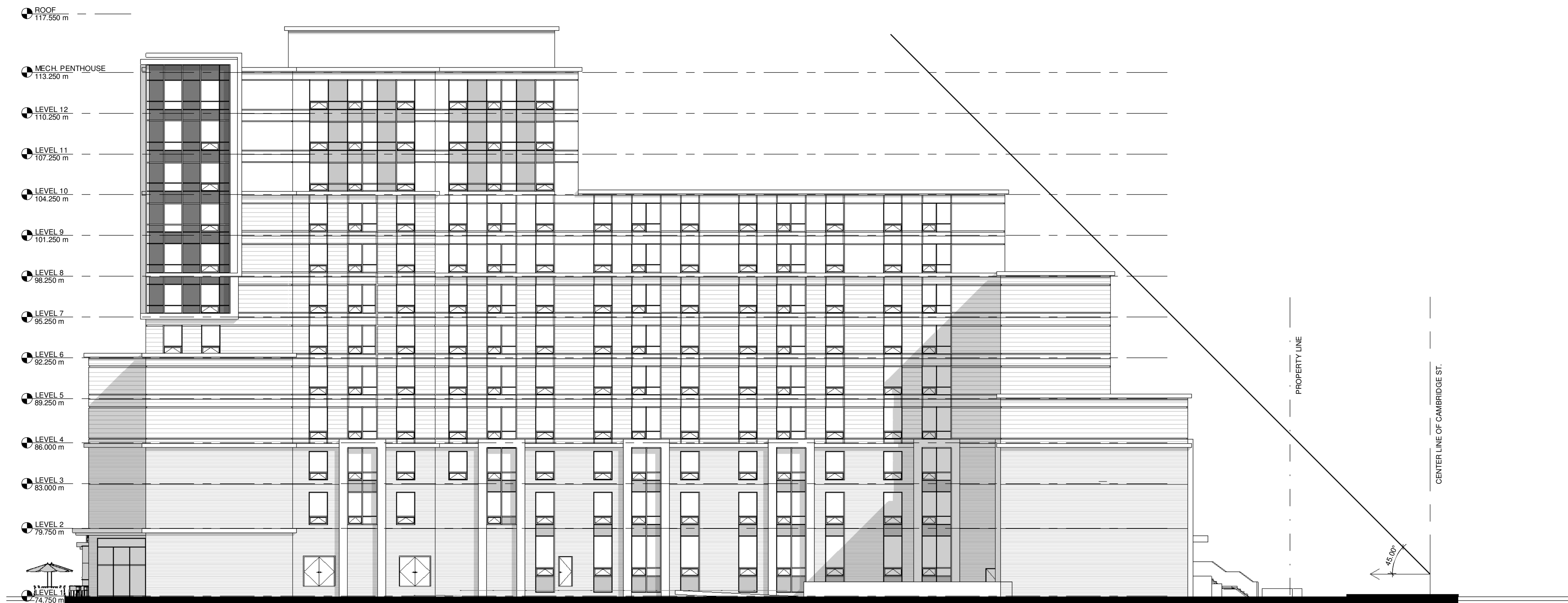
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 Drawing No. 1  
 Revision No. 1  

 EDWARD THOMAS  
 LICENCE 5572  
**A-3.3 - r2**

**1 SPA - SOUTH ELEVATION**  
 1:150

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PREVIOUS SCHEME



NEW SCHEME

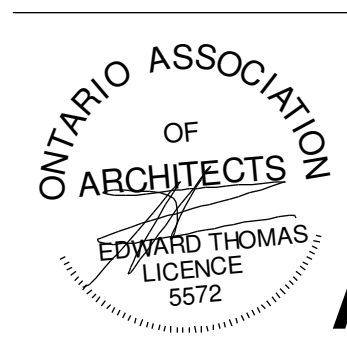
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No.	Date	Revision
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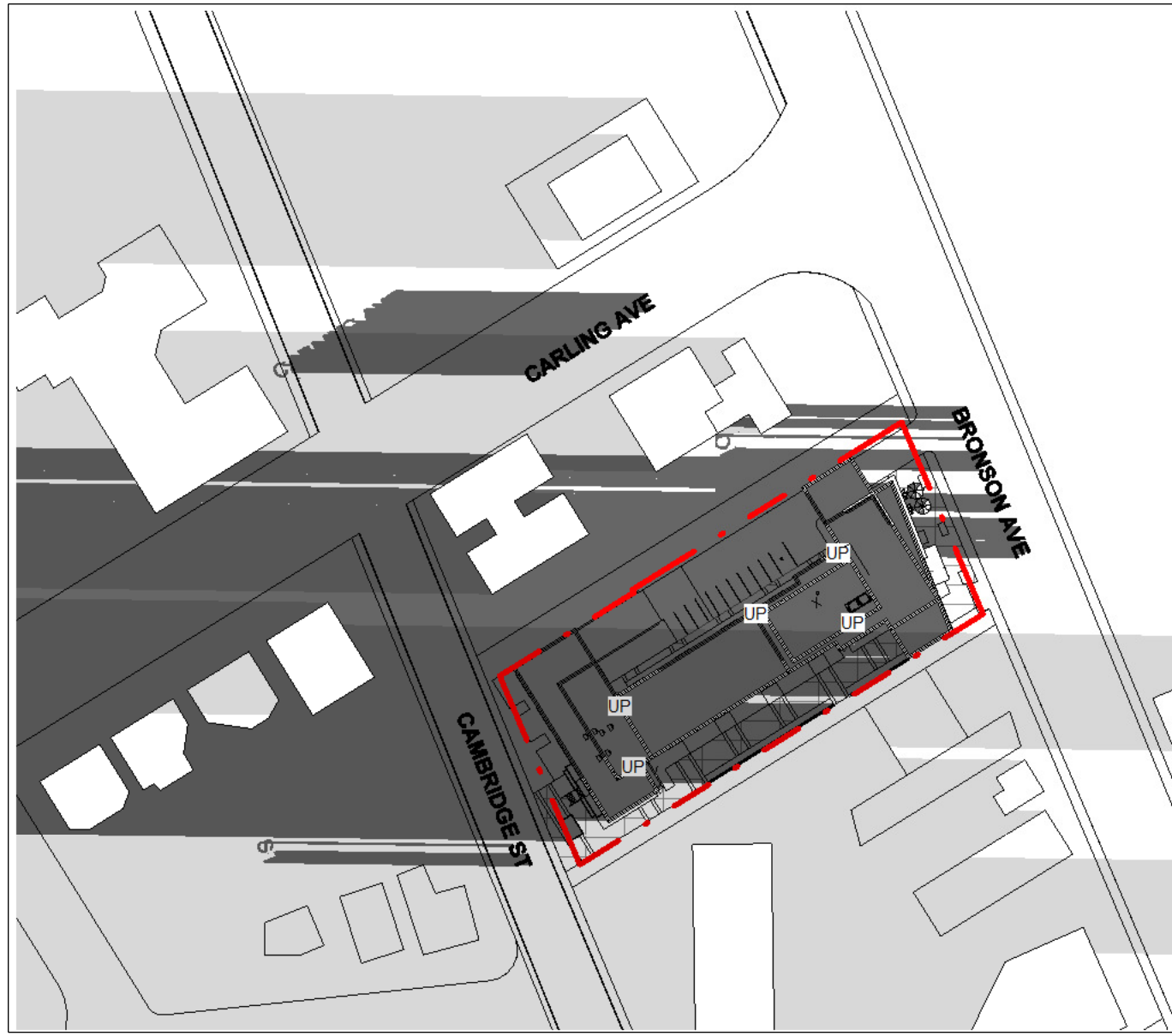

 Project No. 15076  
 Issue Date 2016-10-19  
 Drawn by EV  
 Checked by RH  
 Plot Date / Time 2016-10-19 3:26:33 PM

**TEXTBOOK SUITES**  
**774 BRONSON AVENUE,**  
**OTTAWA**

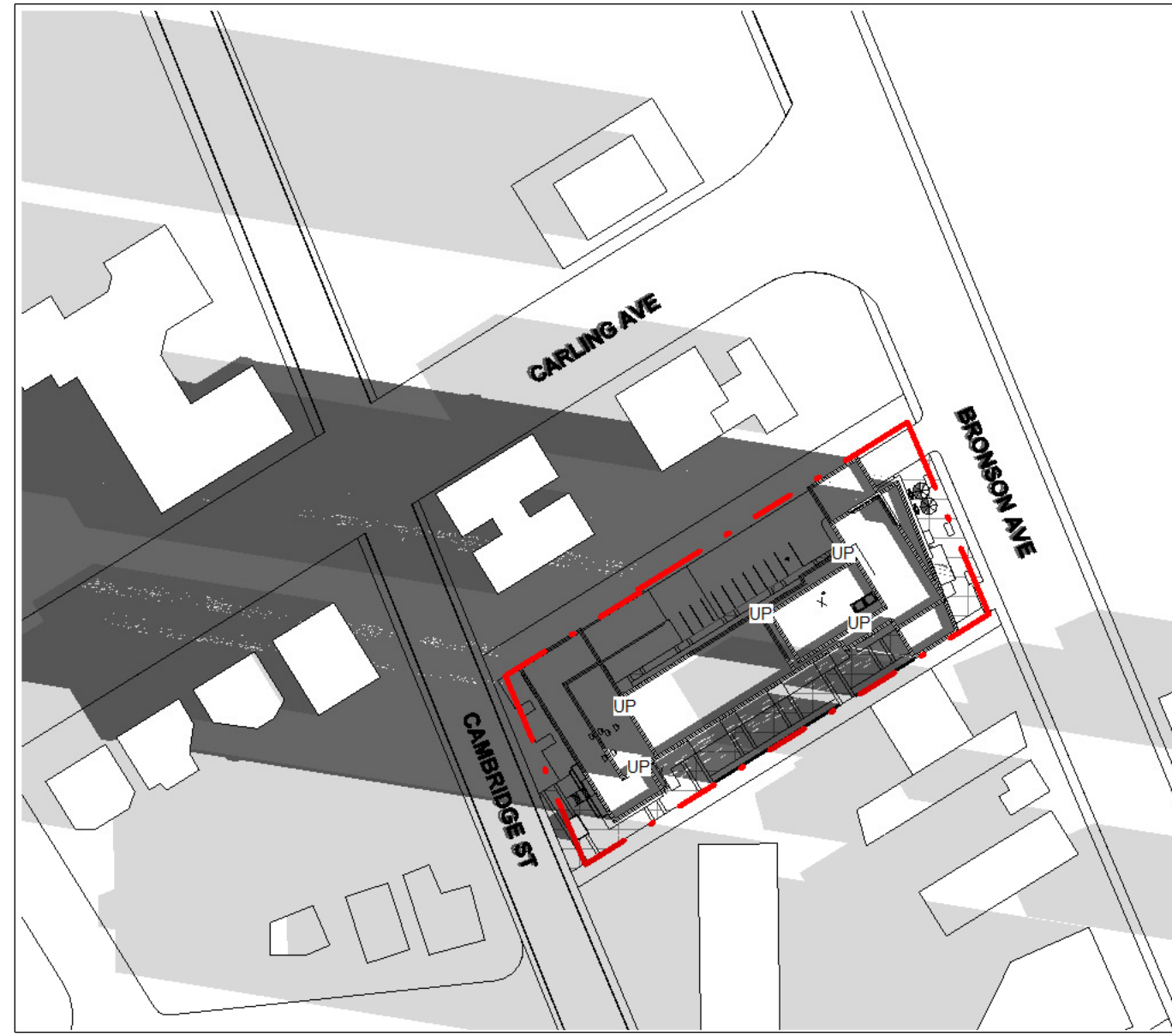
**SIGHTLINE COMPARISON**

Drawing Scale As indicated  
 Status  
 Drawing No. Revision No.  

 EDWARD THOMAS  
 LICENCE  
 5572  
**A-3.4 - r1**

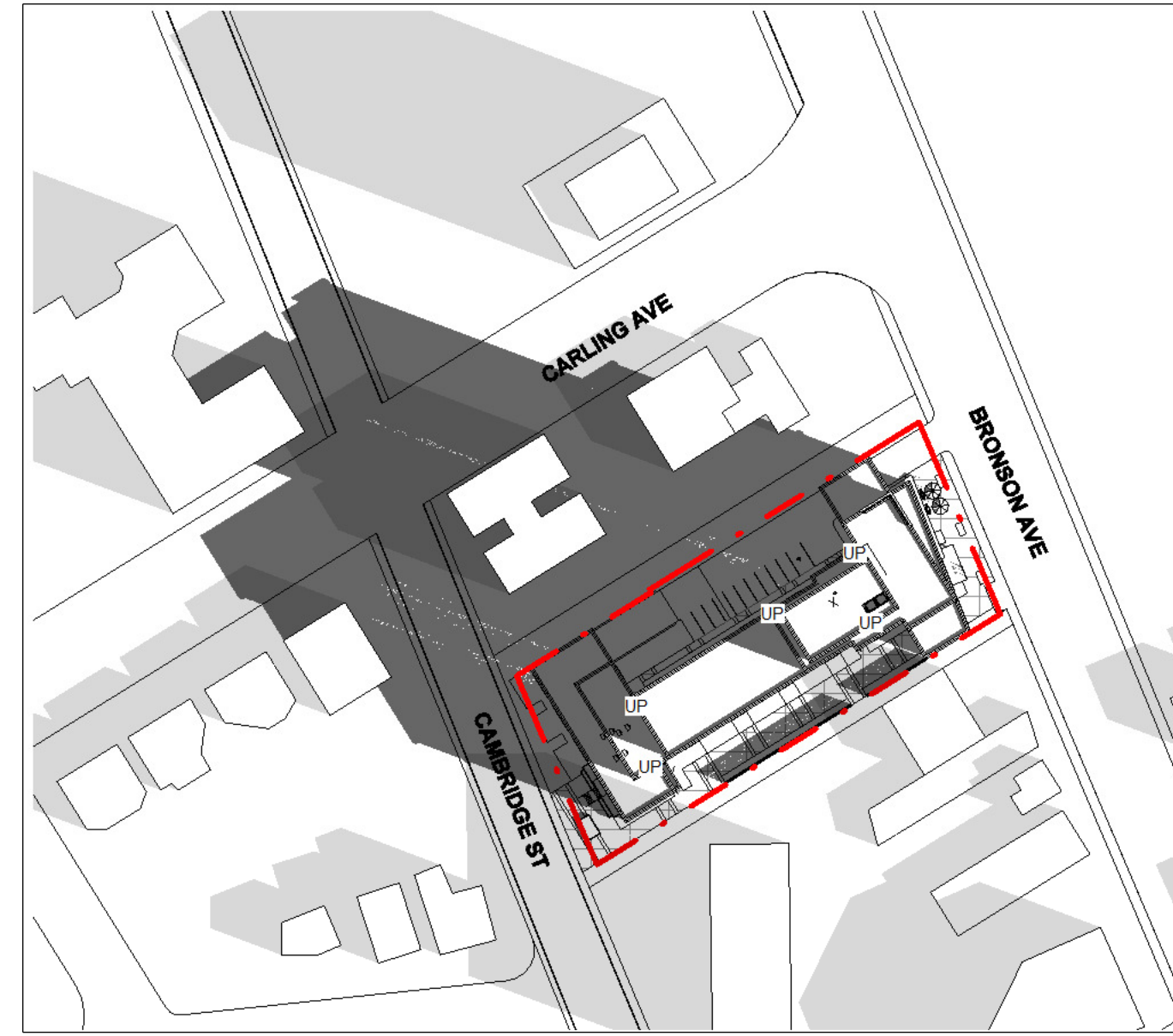




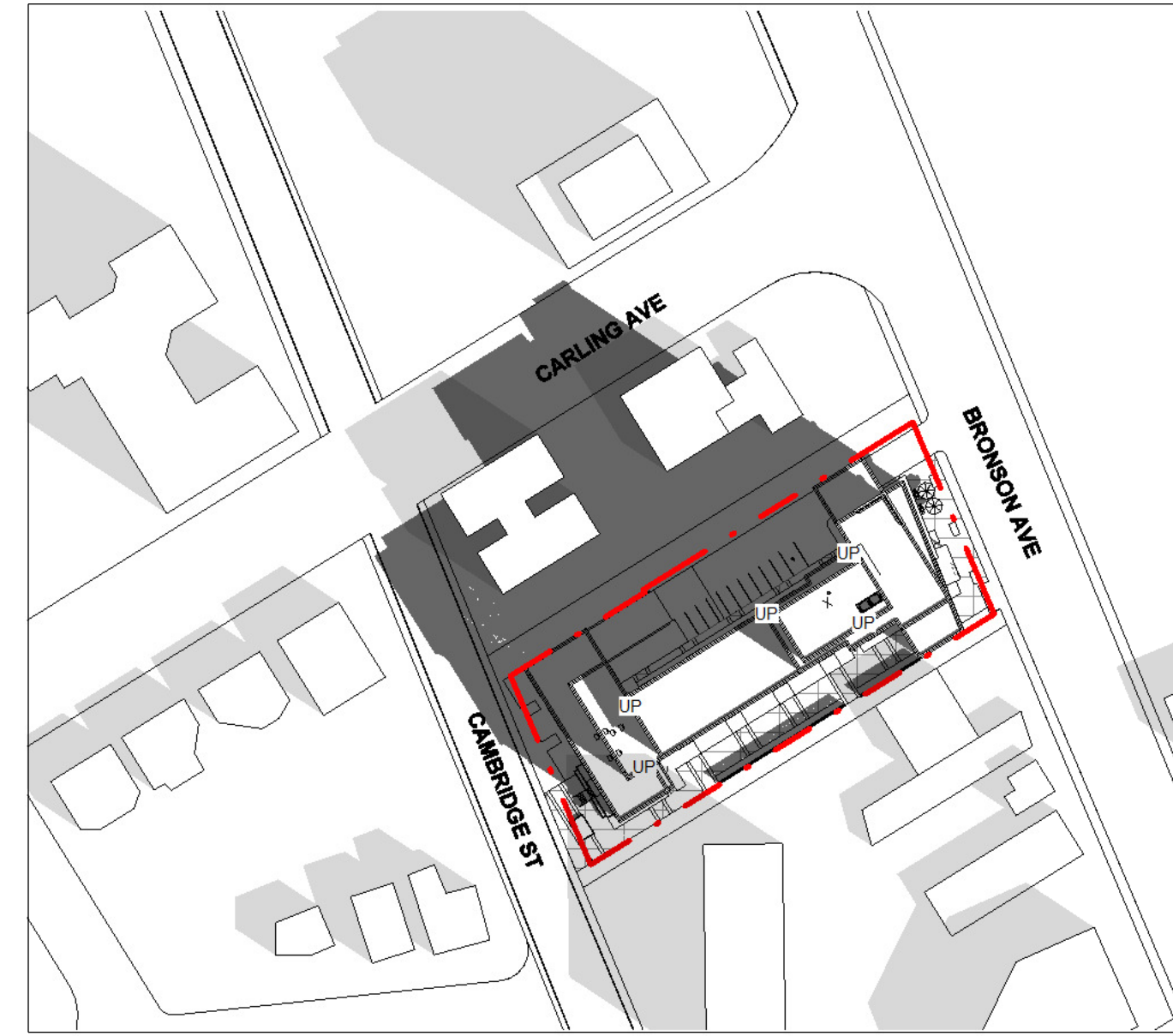
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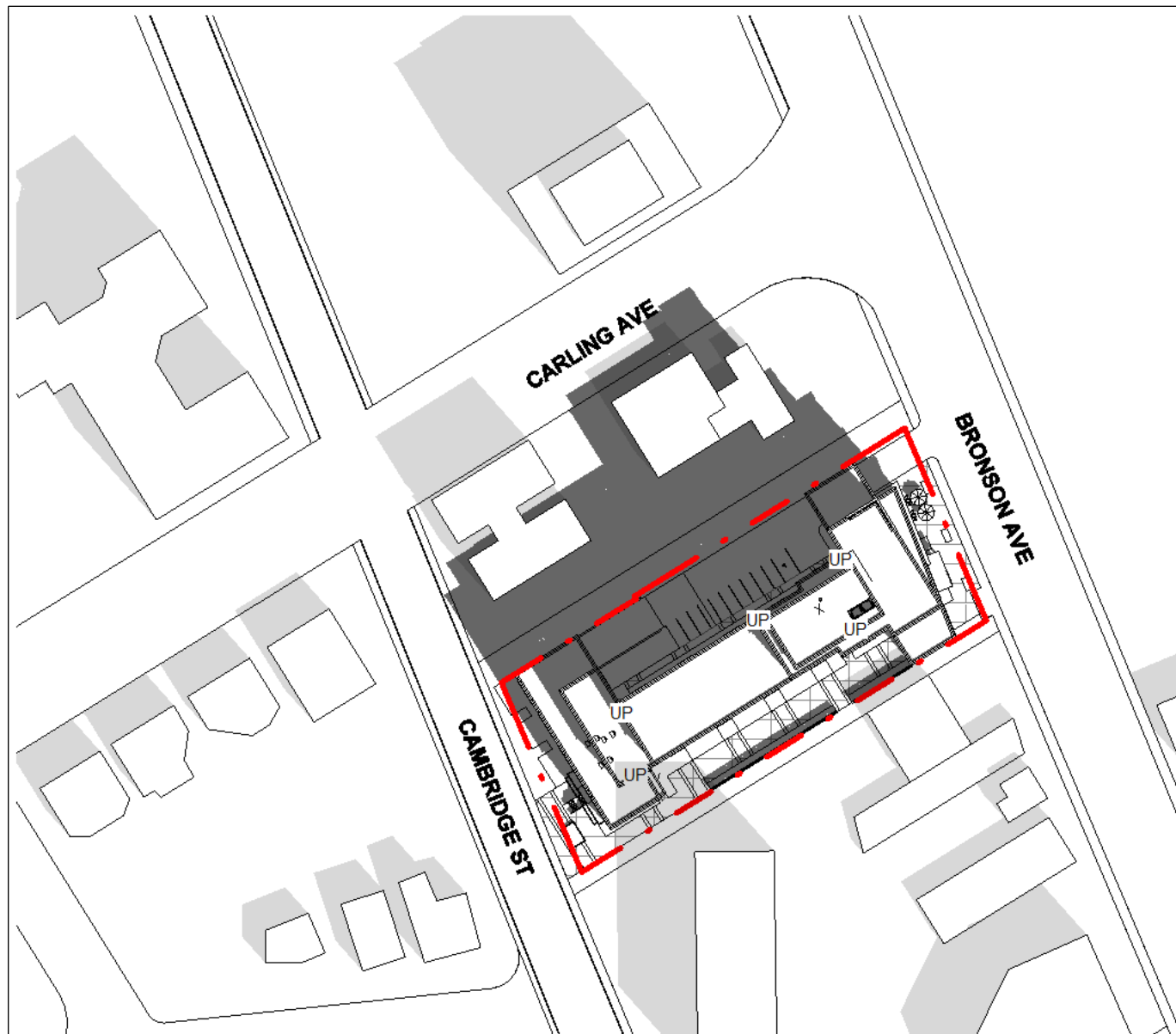
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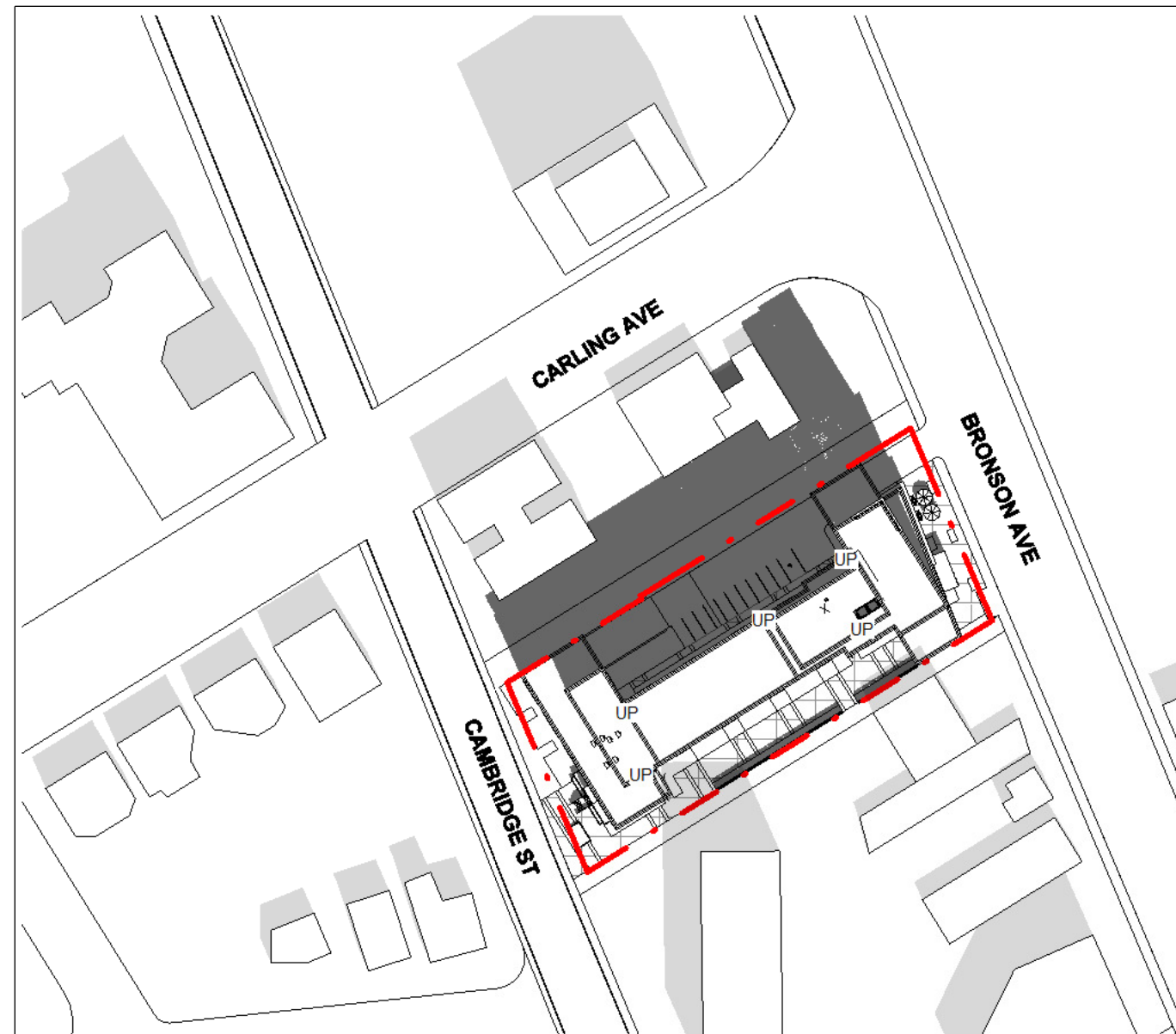
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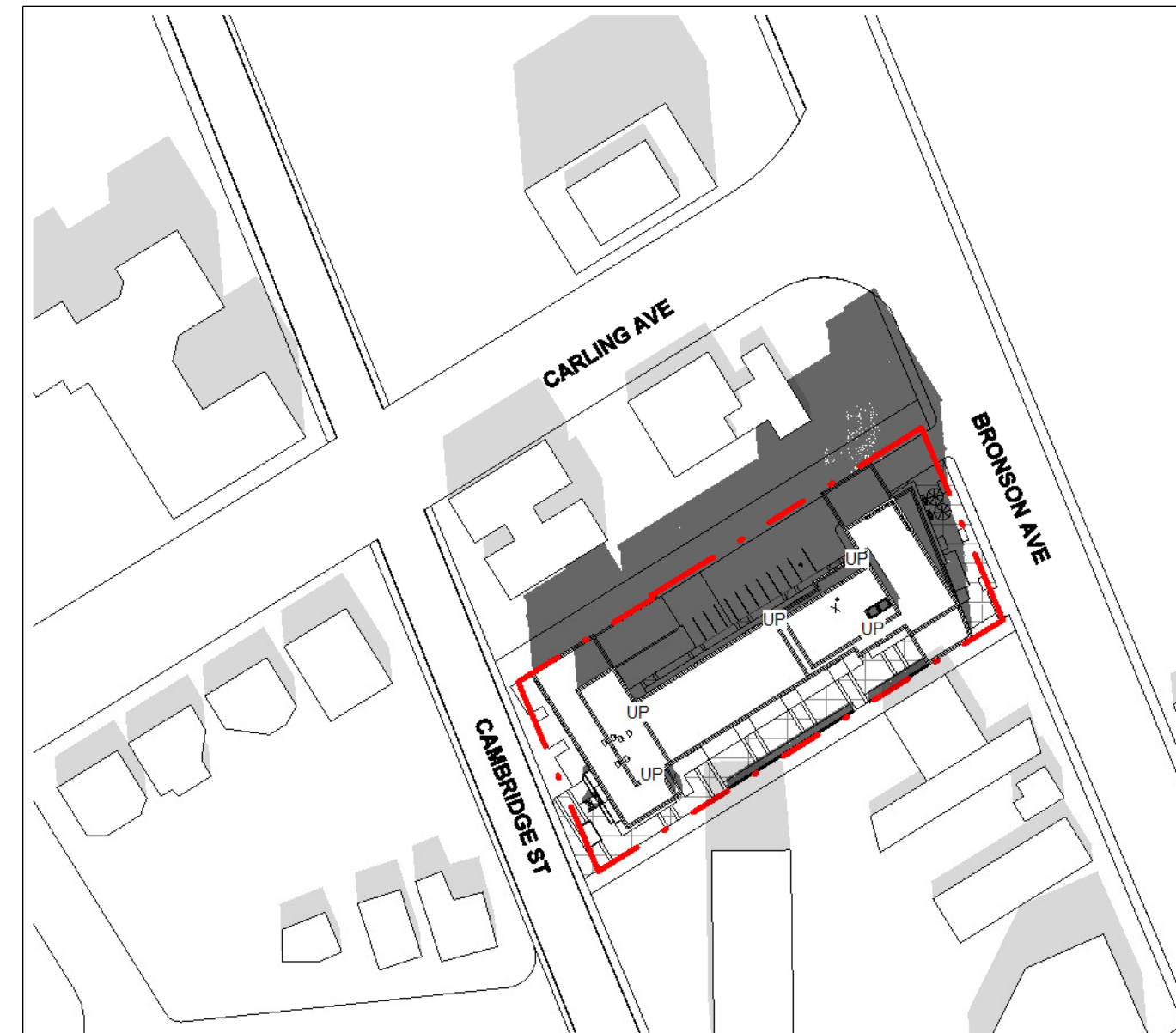
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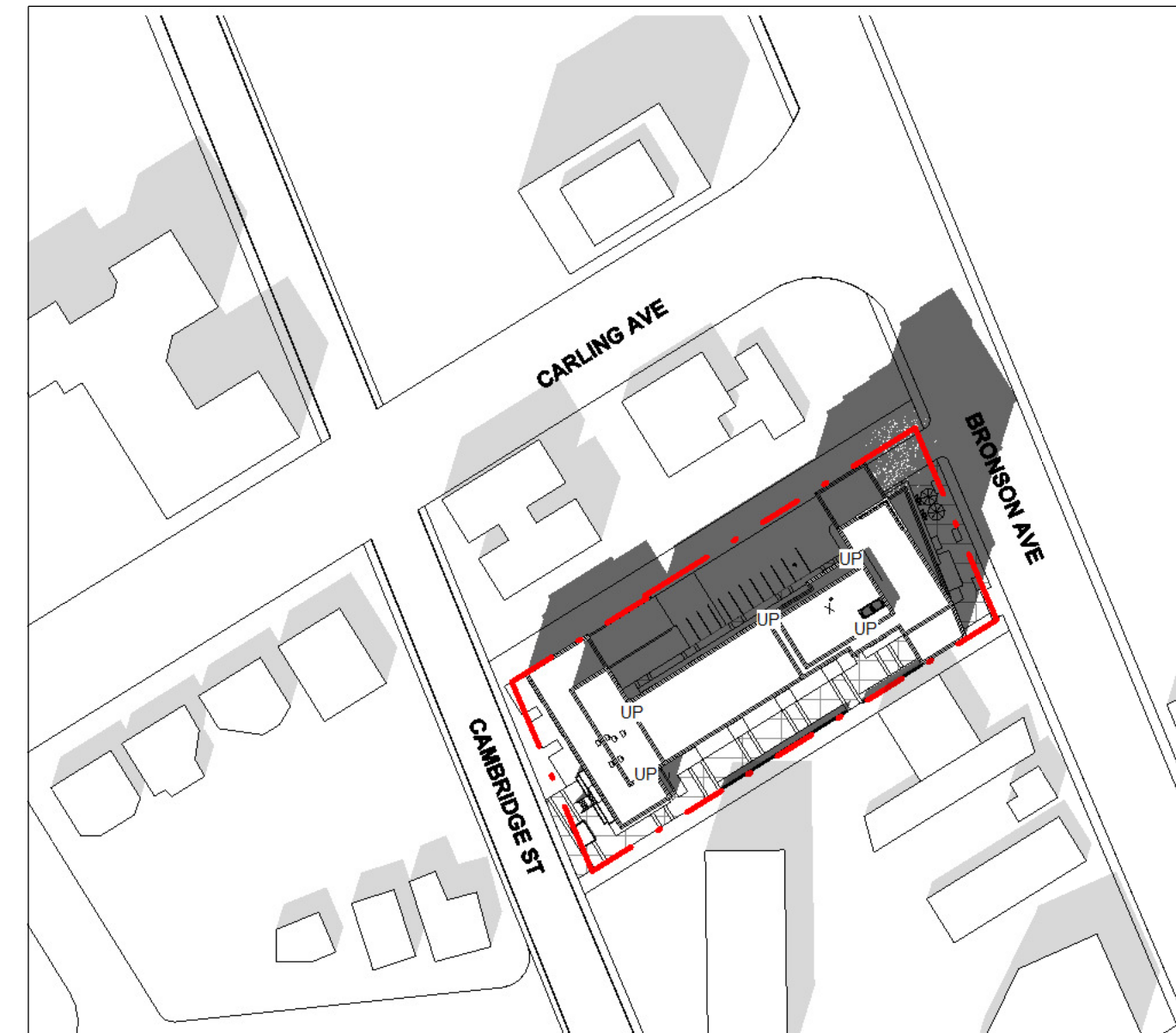
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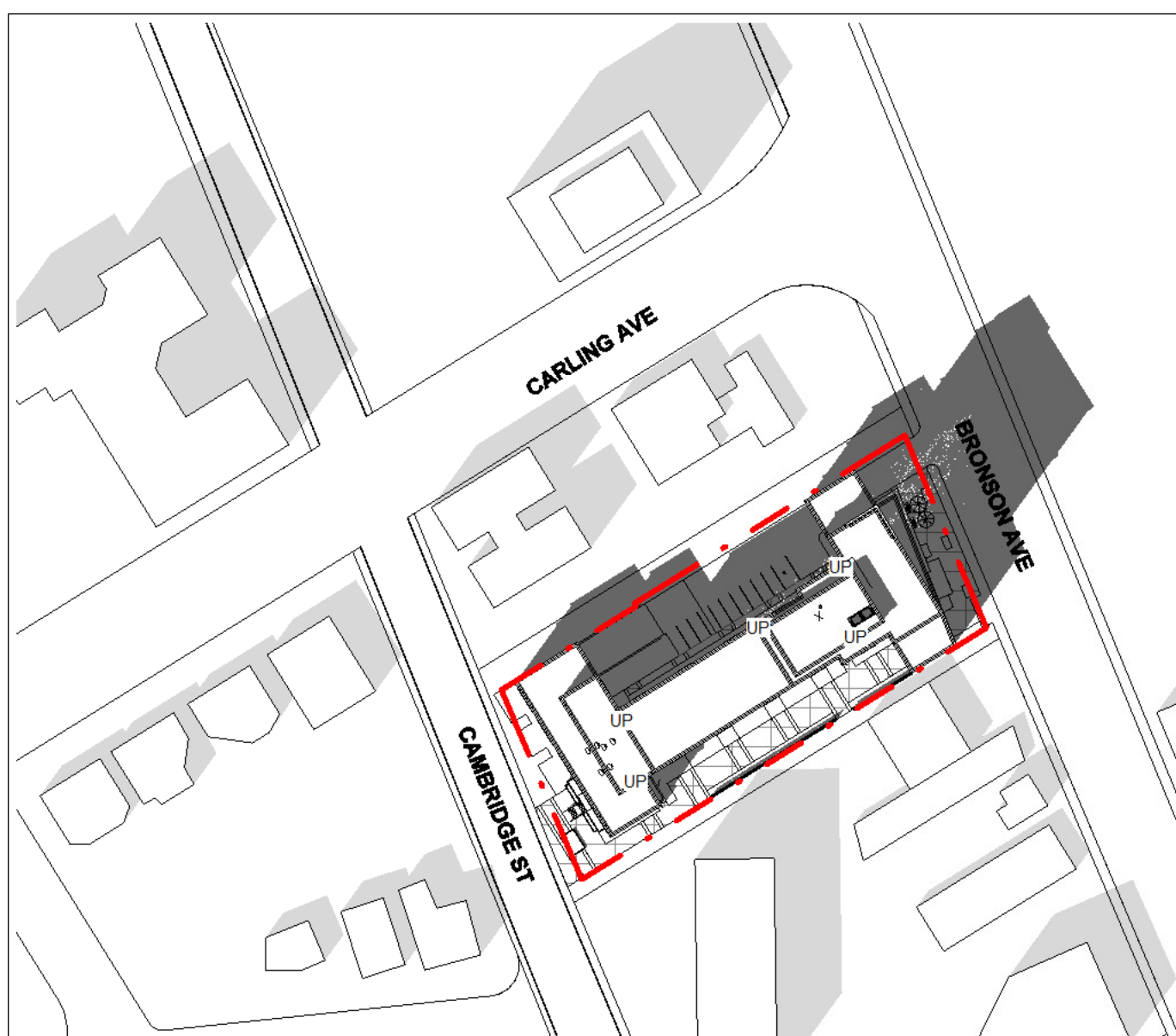
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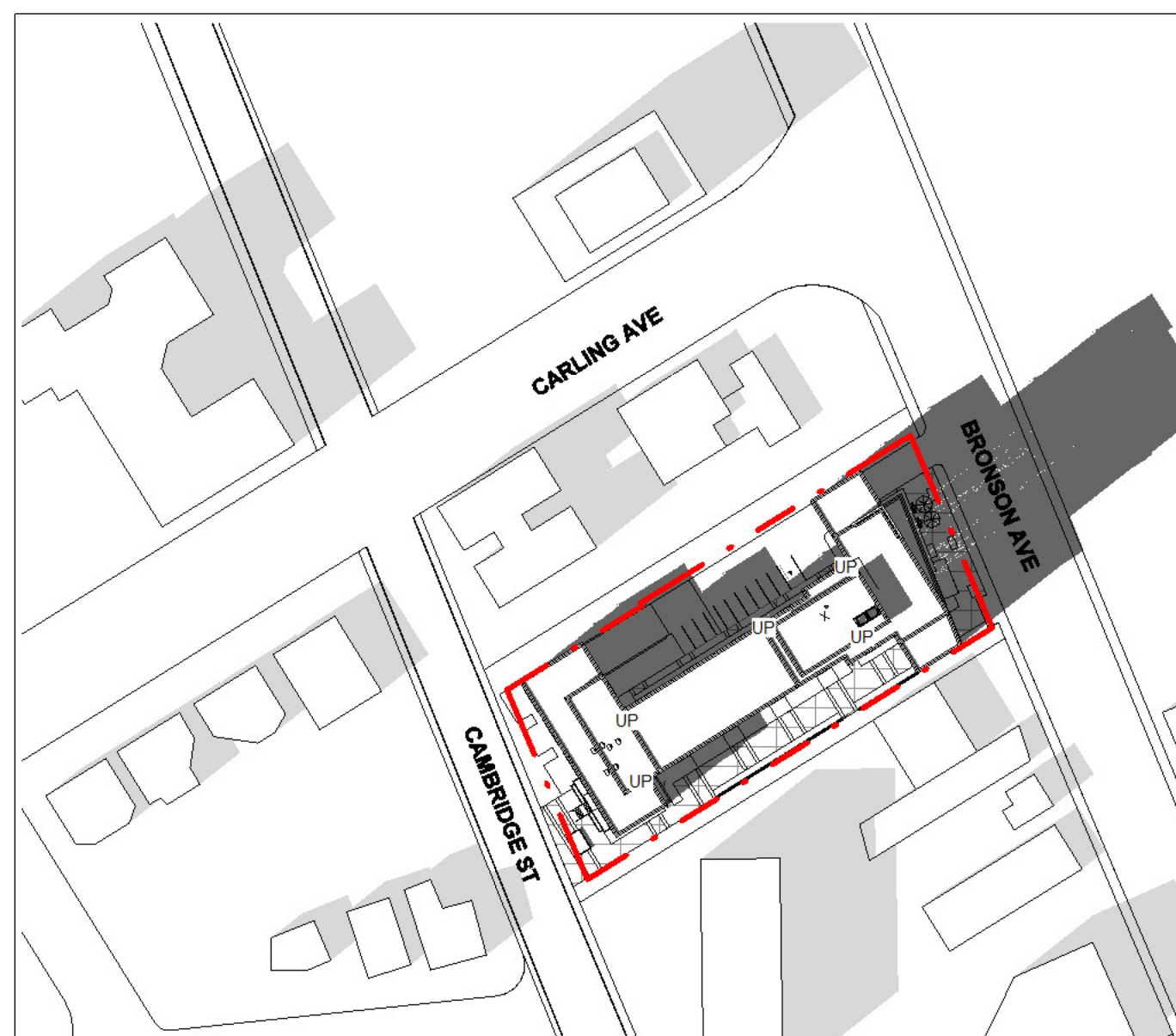
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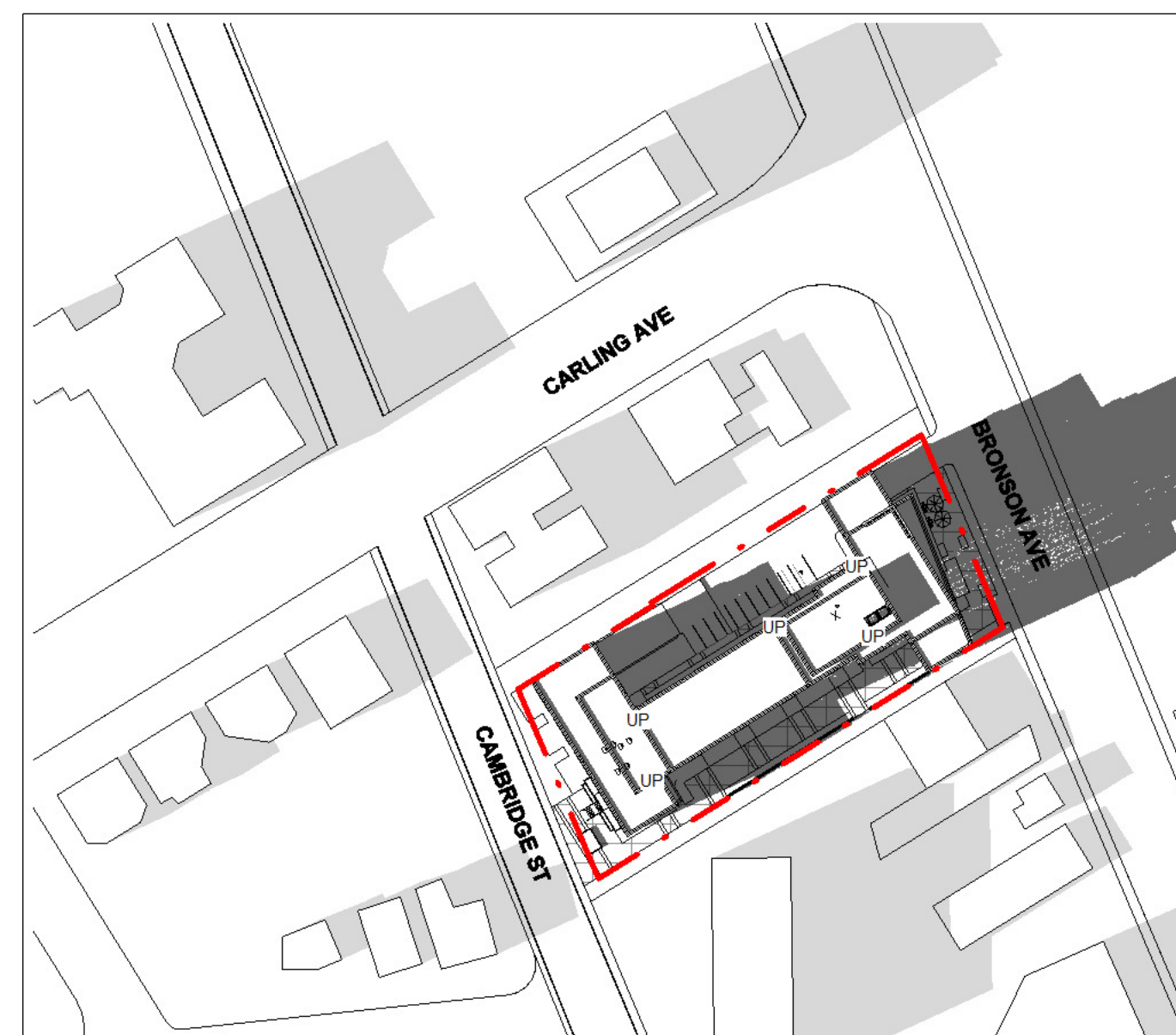
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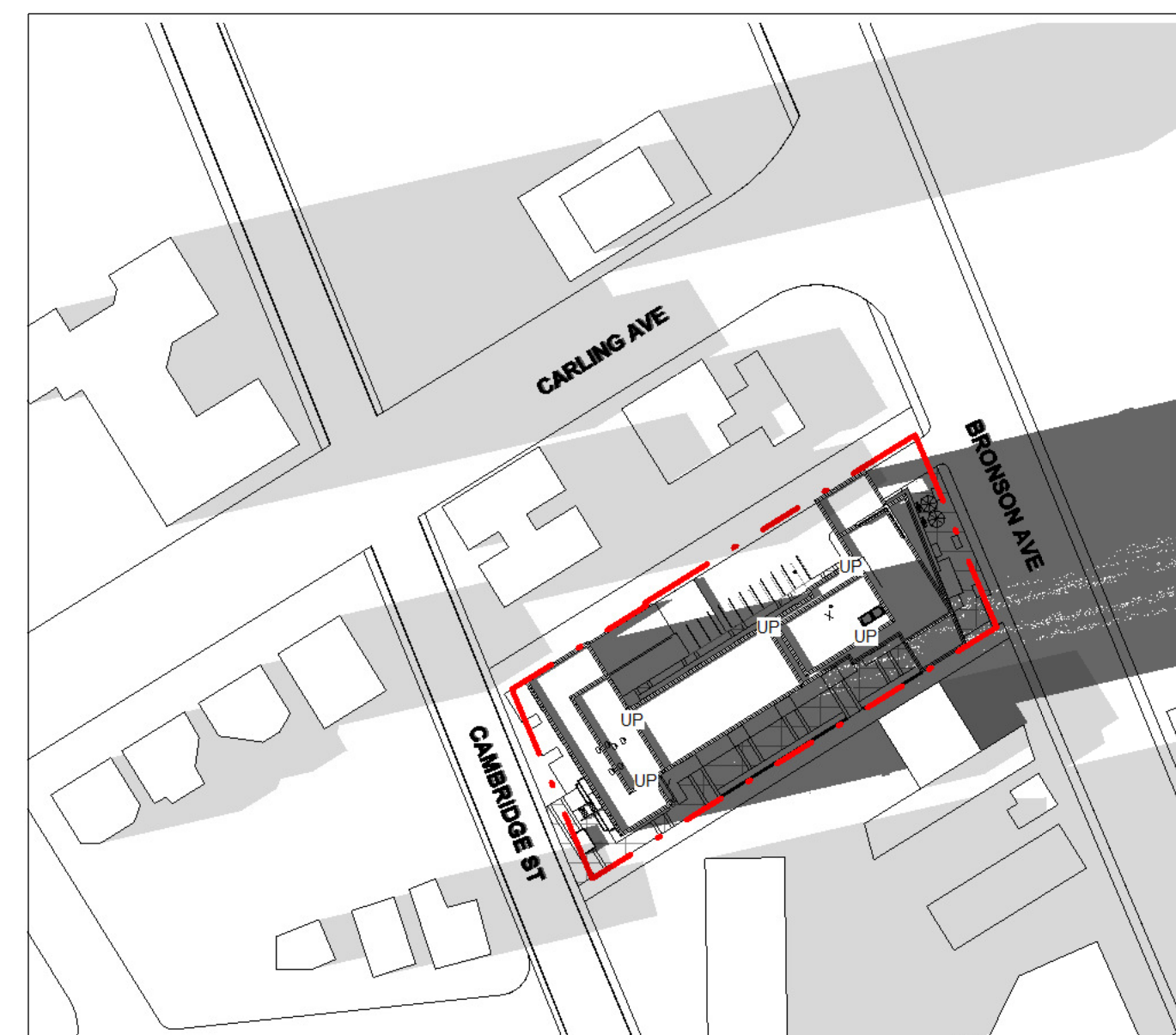
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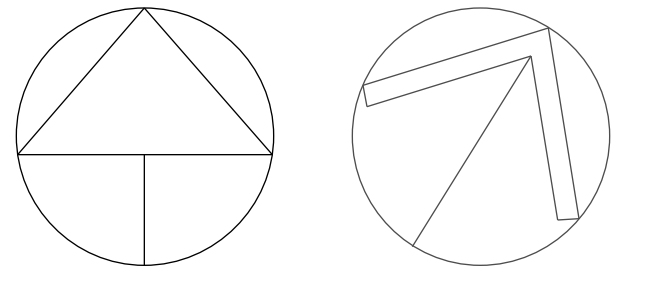
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11 March/September 21 - 11 - 0500pm  
1: 1250



12 March/September 21 - 12 - 0600pm  
1: 1250



- Project North True North
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No.	Date	Revision

Project No.	15076
Issue Date	2016-10-19
Drawn by	CRZ
Checked by	RH
Plot Date / Time	2016-10-19 3:27:12 PM

**TEXTBOOK SUITES**  
774 BRONSON AVENUE,  
OTTAWA

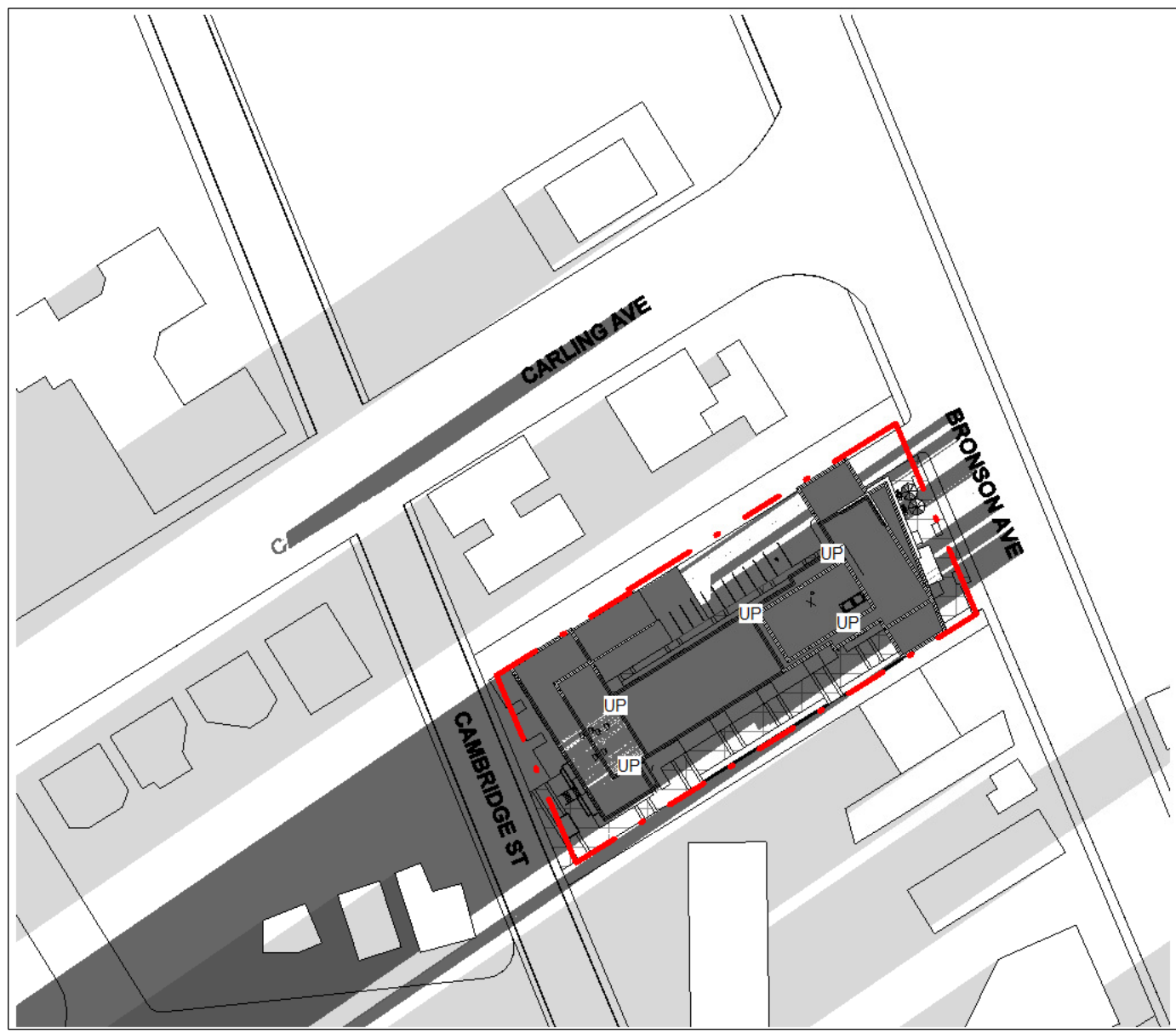
**MARCH/SEPTEMBER**  
**SHADOW STUDY**

ONTARIO ASSOCIATION OF ARCHITECTS  
EDWARD THOMAS LICENCE 5572

Drawing Scale: 1: 1250  
Status: SITE PLAN APPROVAL  
Drawing No.: A-11.1 - r2  
Revision No.:

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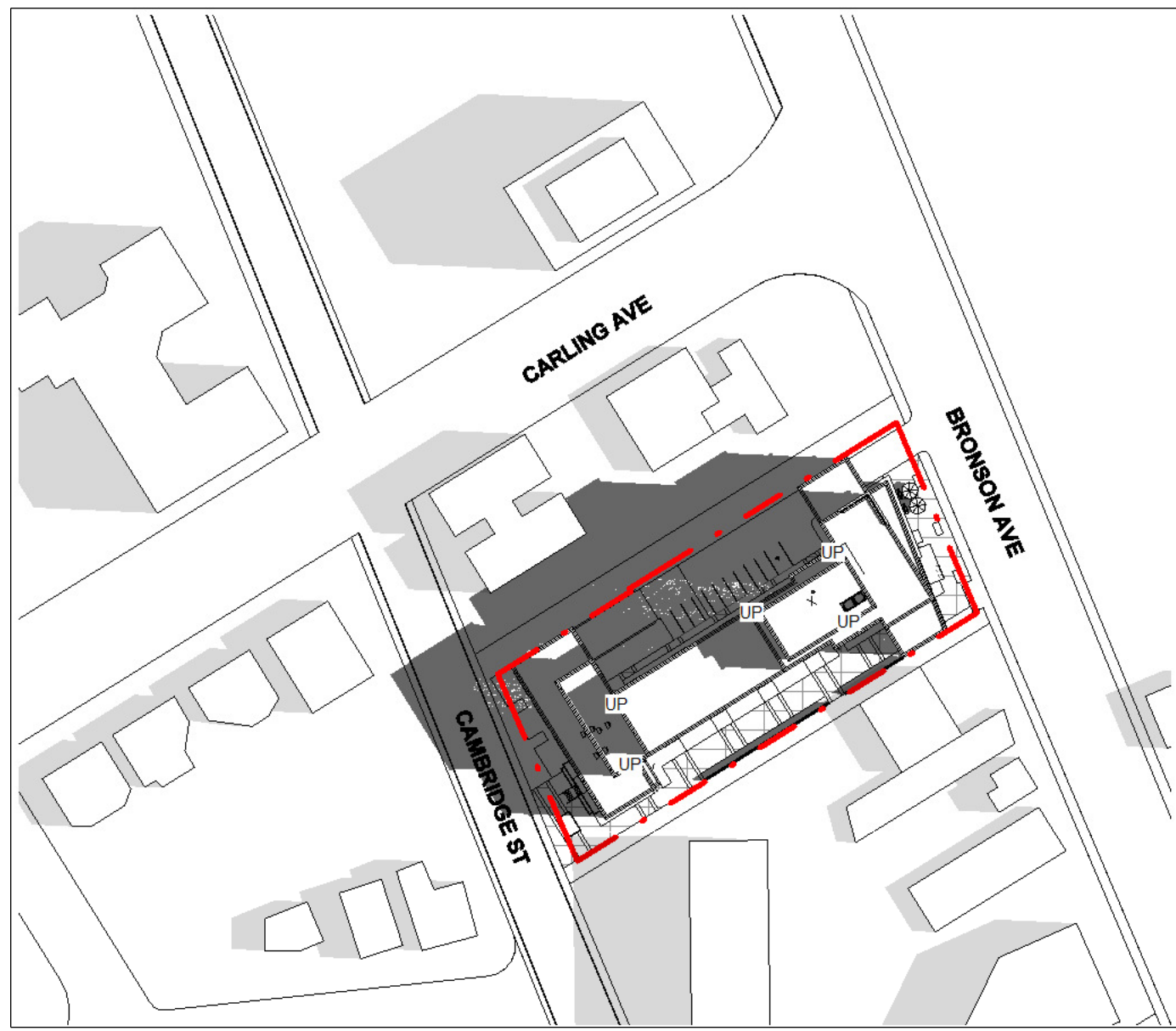




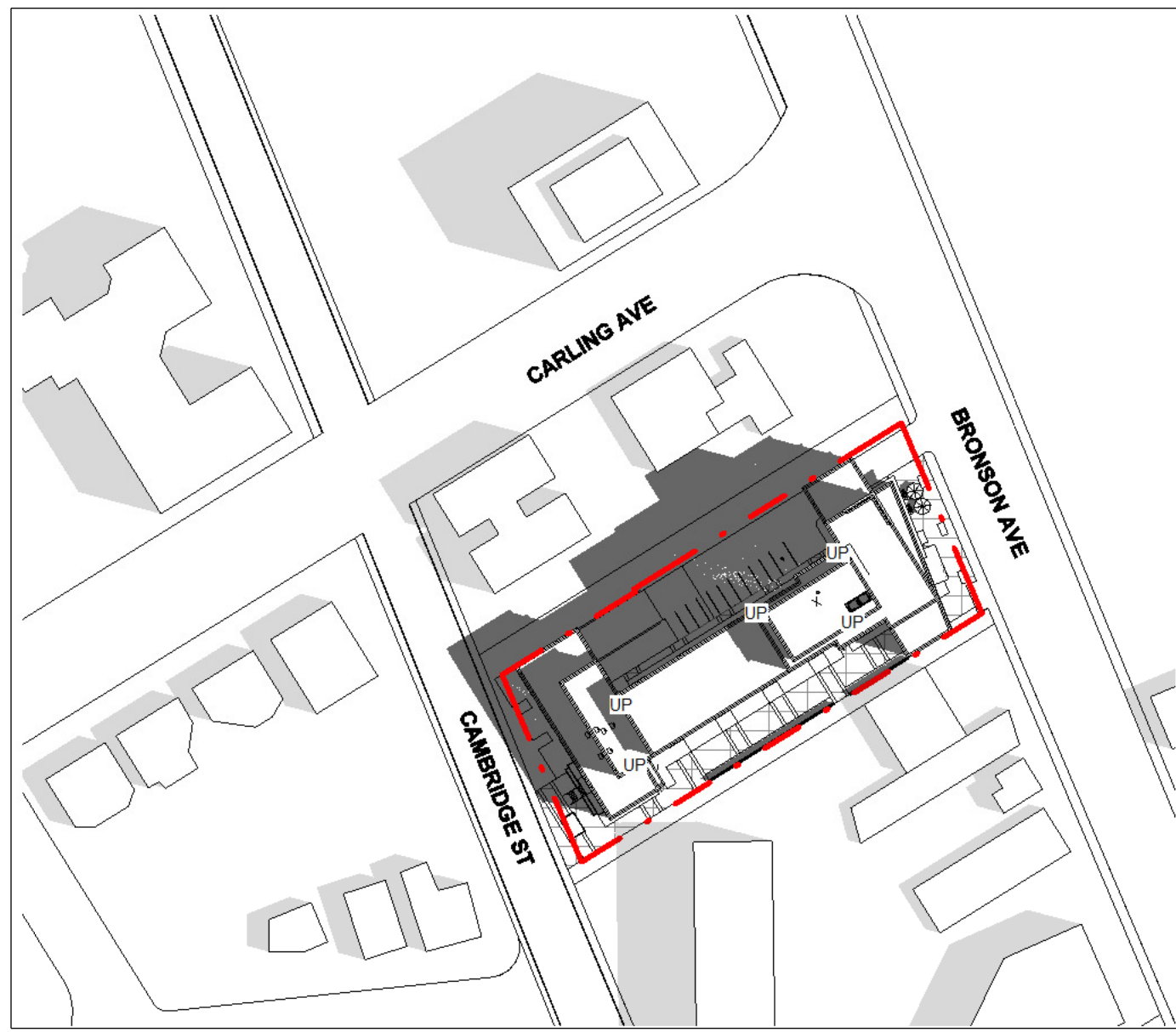
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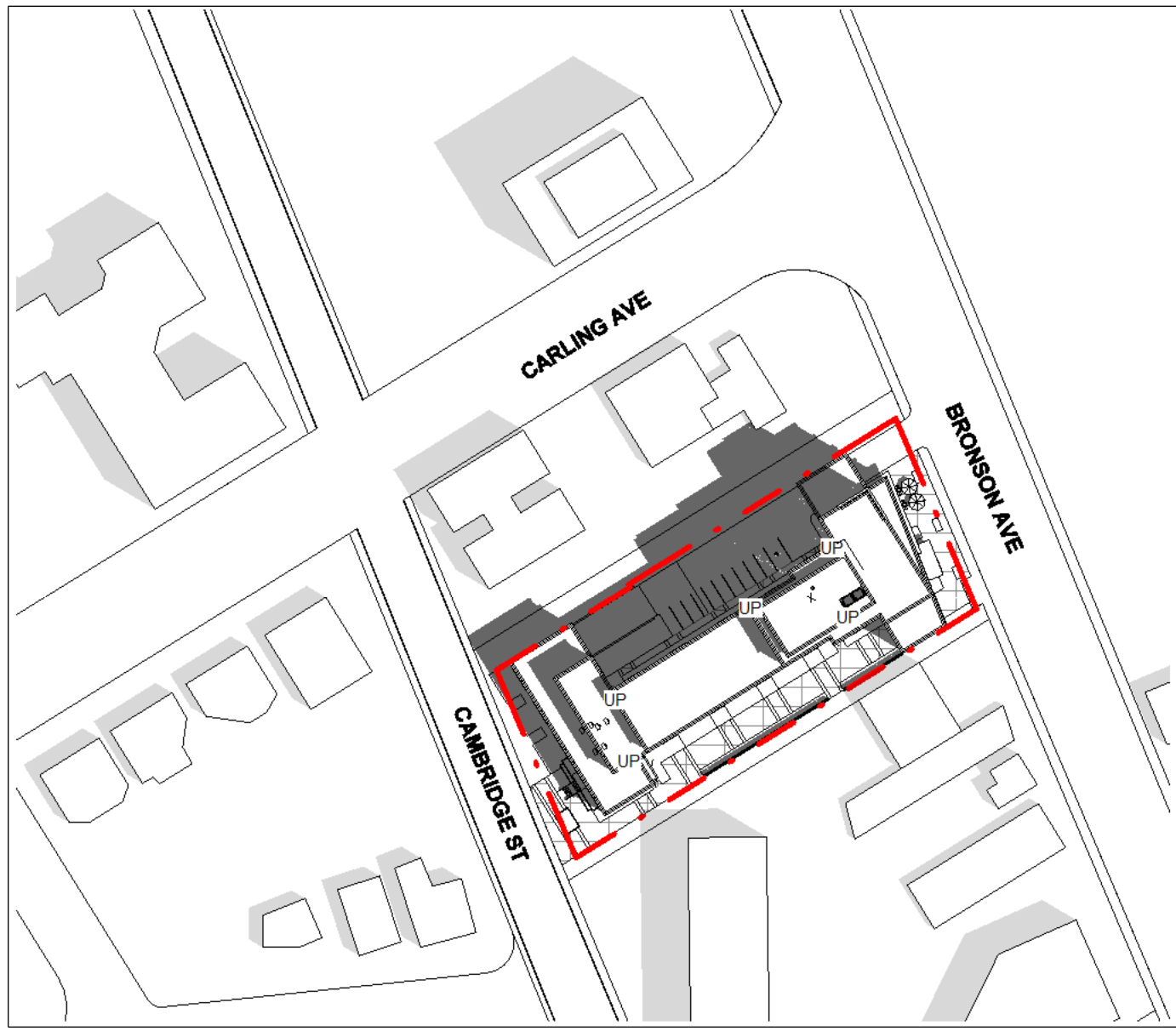
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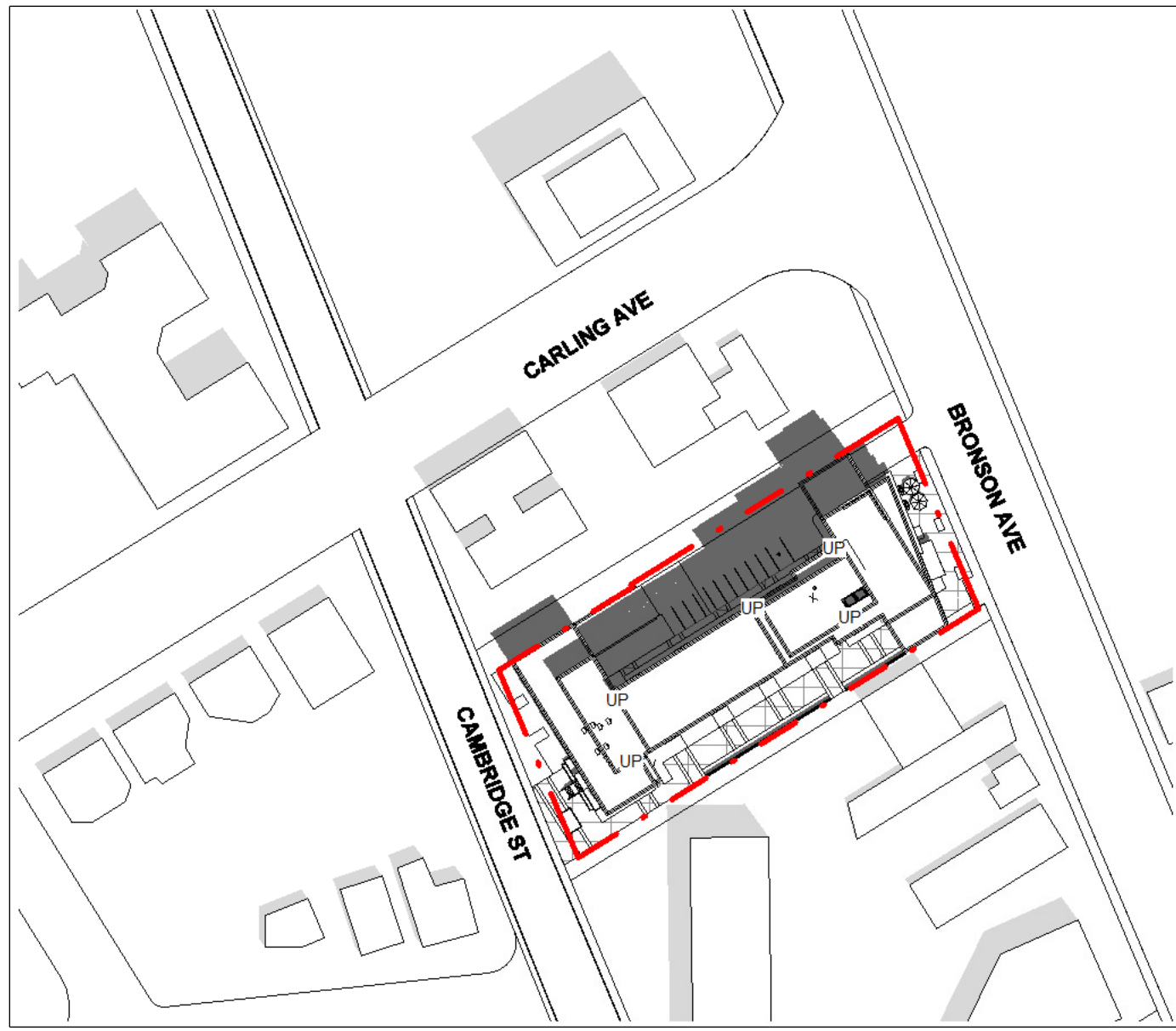
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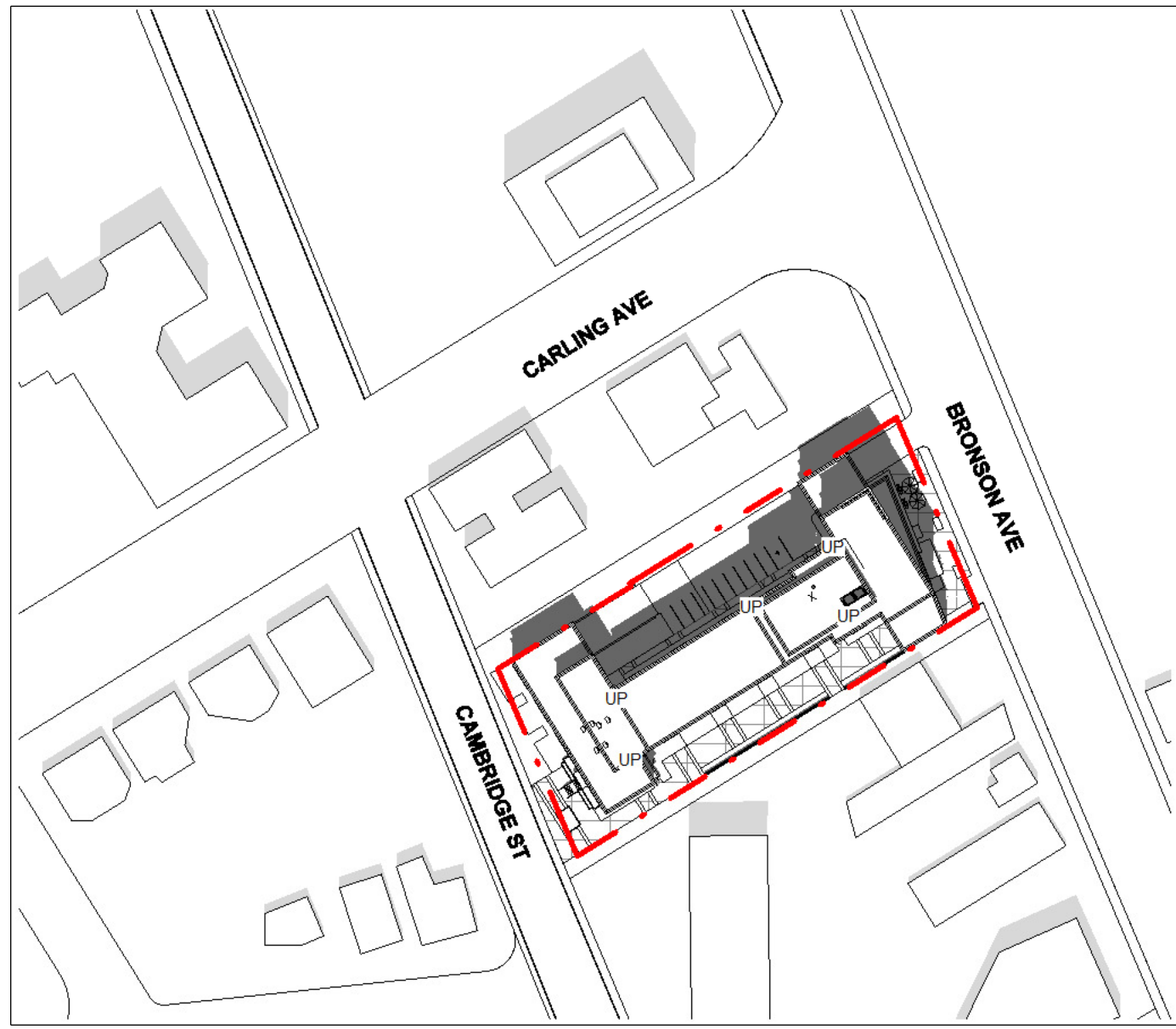
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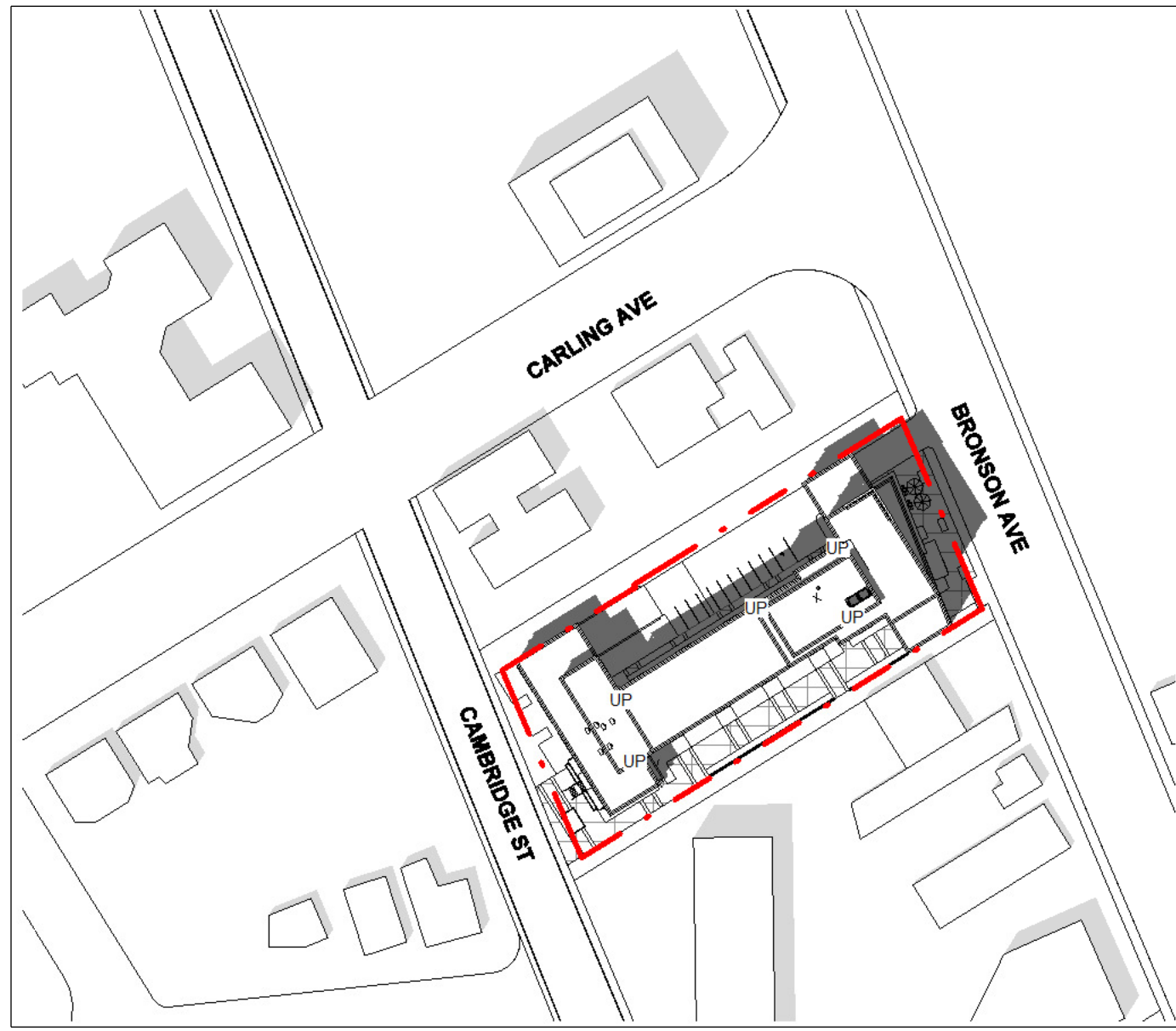
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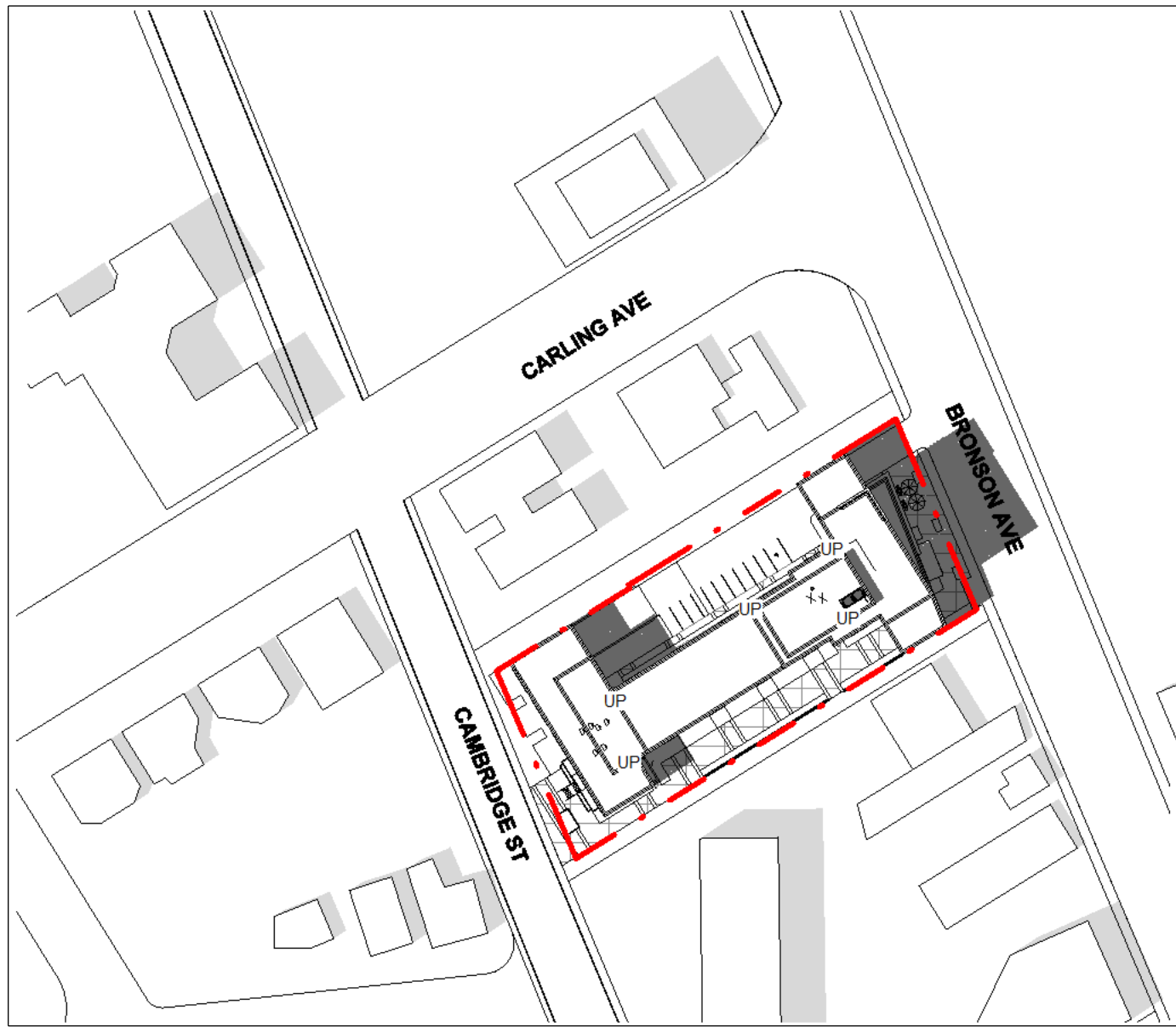
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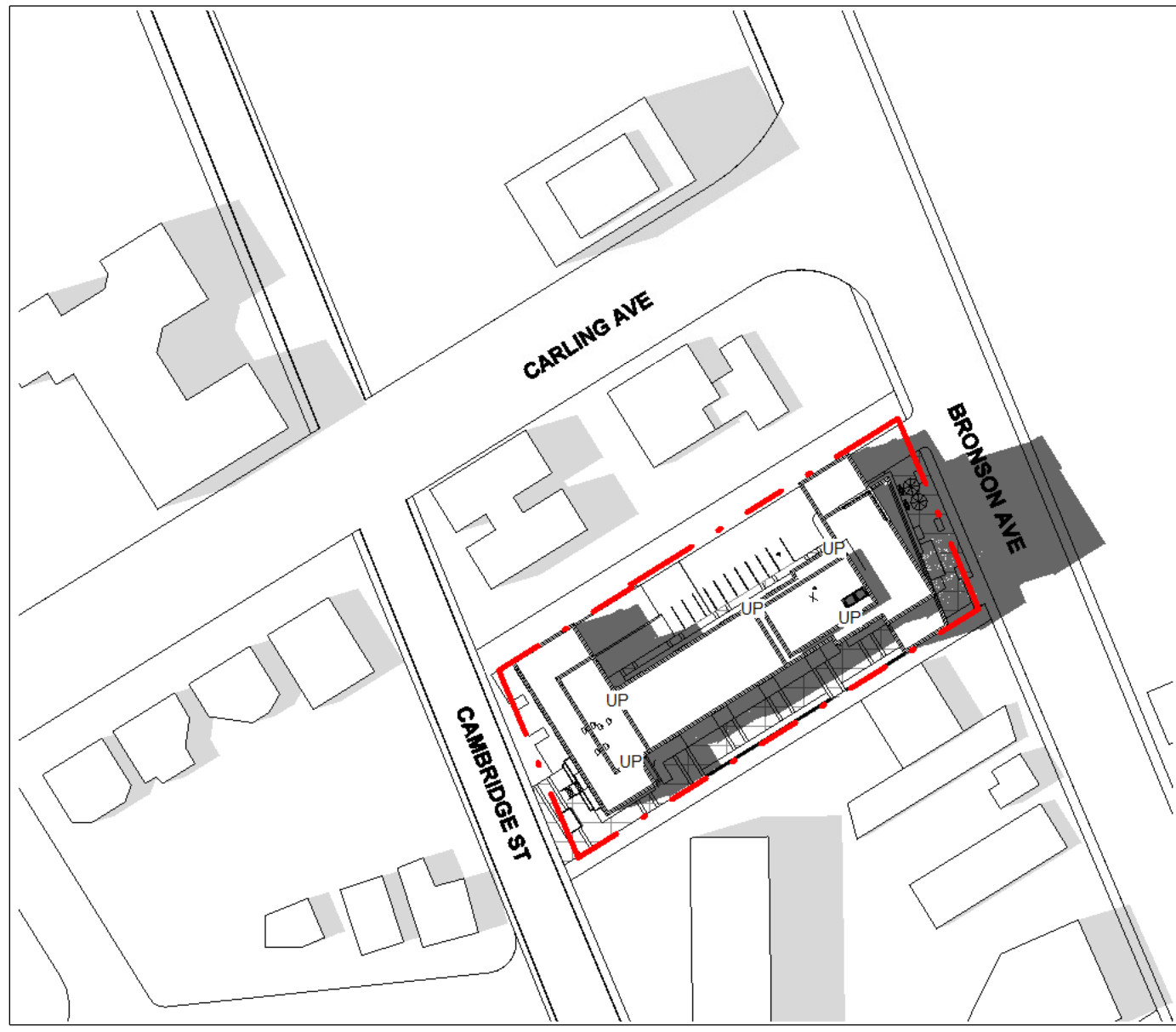
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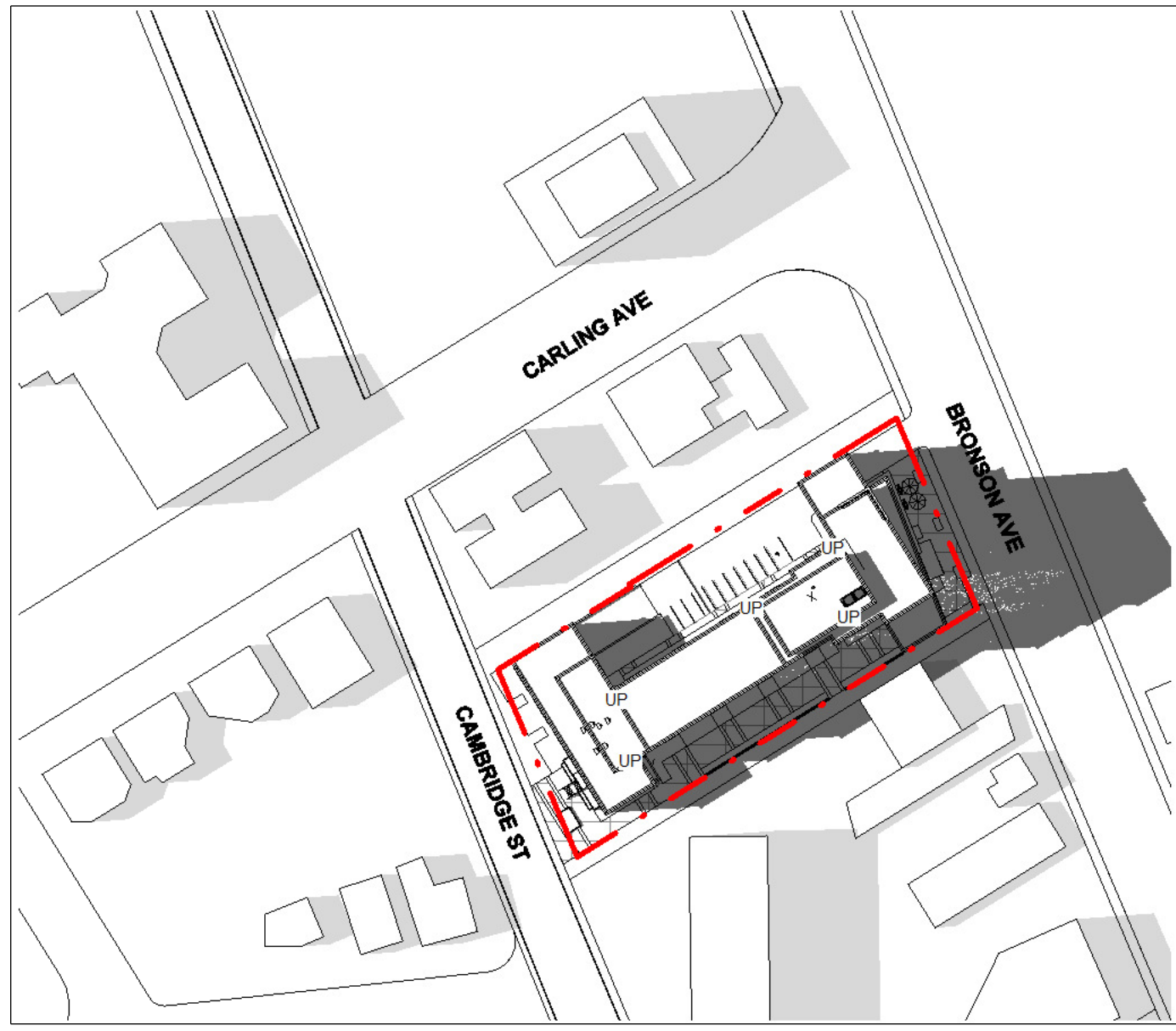
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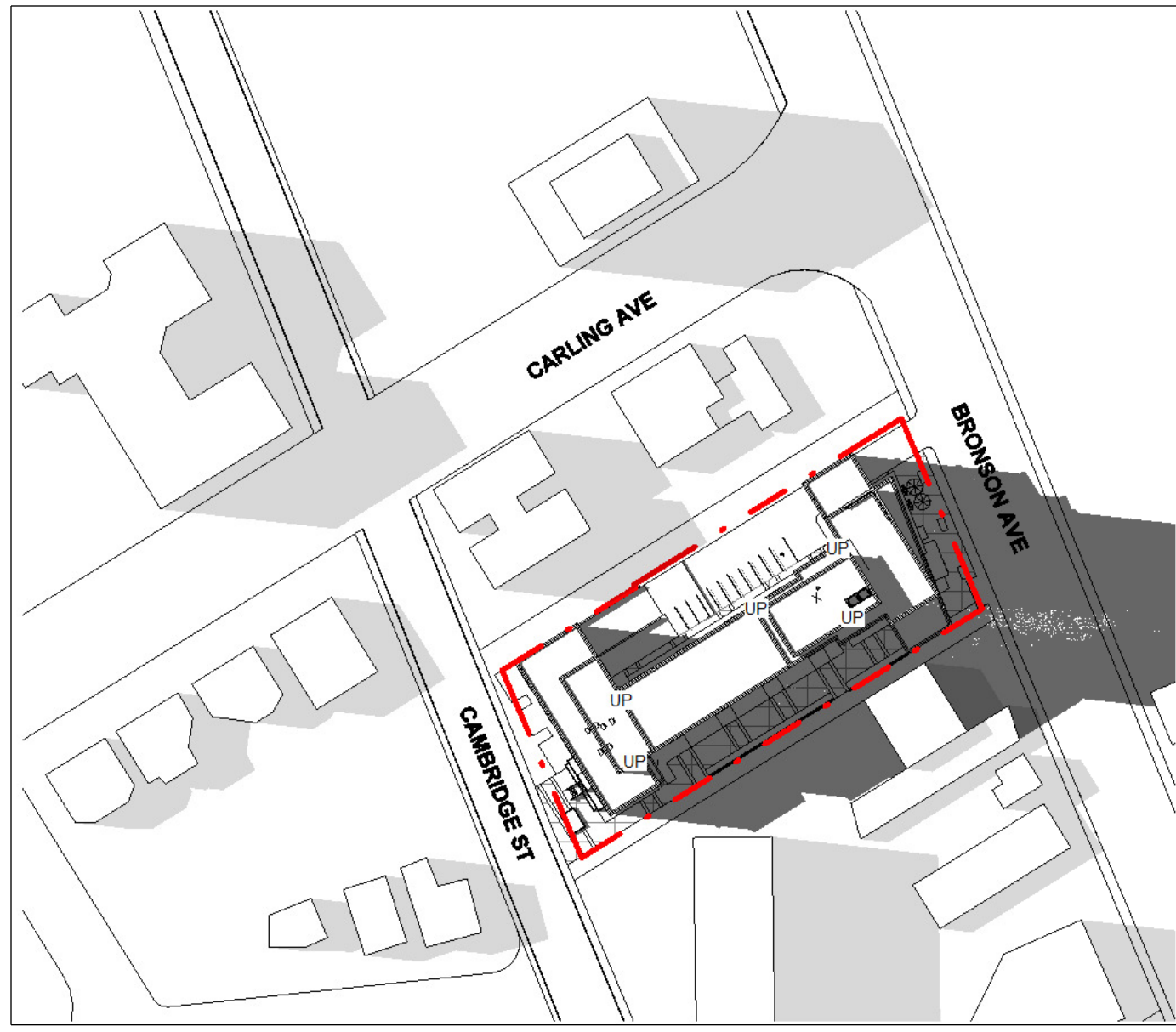
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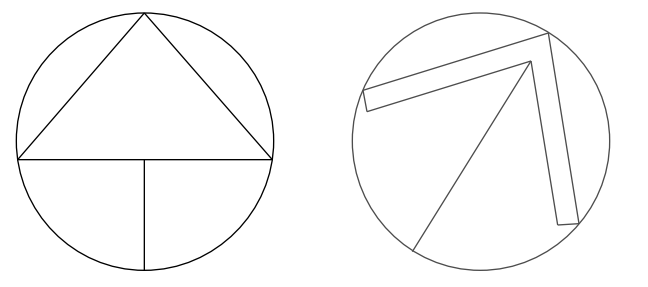
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11 June 21 - 11 - 0500pm  
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12 June 21 - 12 - 0600pm  
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No.	Date	Revision

Project No.	15076
Issue Date	2016-10-19
Drawn by	CRZ
Checked by	RH
Plot Date / Time	2016-10-19 3:27:51 PM

**TEXTBOOK SUITES**  
774 BRONSON AVENUE,  
OTTAWA

**JUNE SHADOW STUDY**

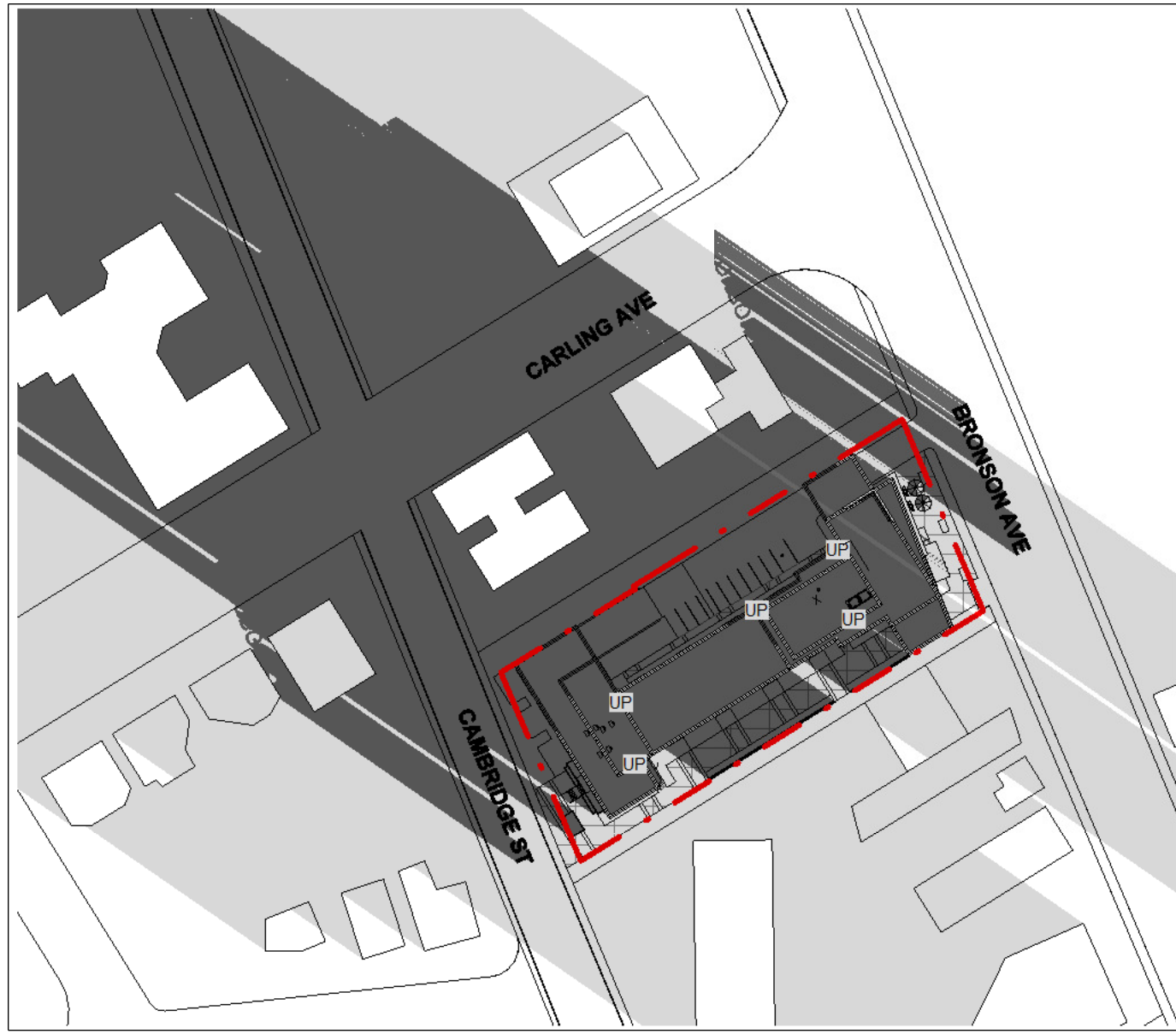
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EDWARD THOMAS LICENCE 5572

Drawing Scale: 1:1250  
Status: SITE PLAN APPROVAL  
Drawing No.: A-11.2 - r2

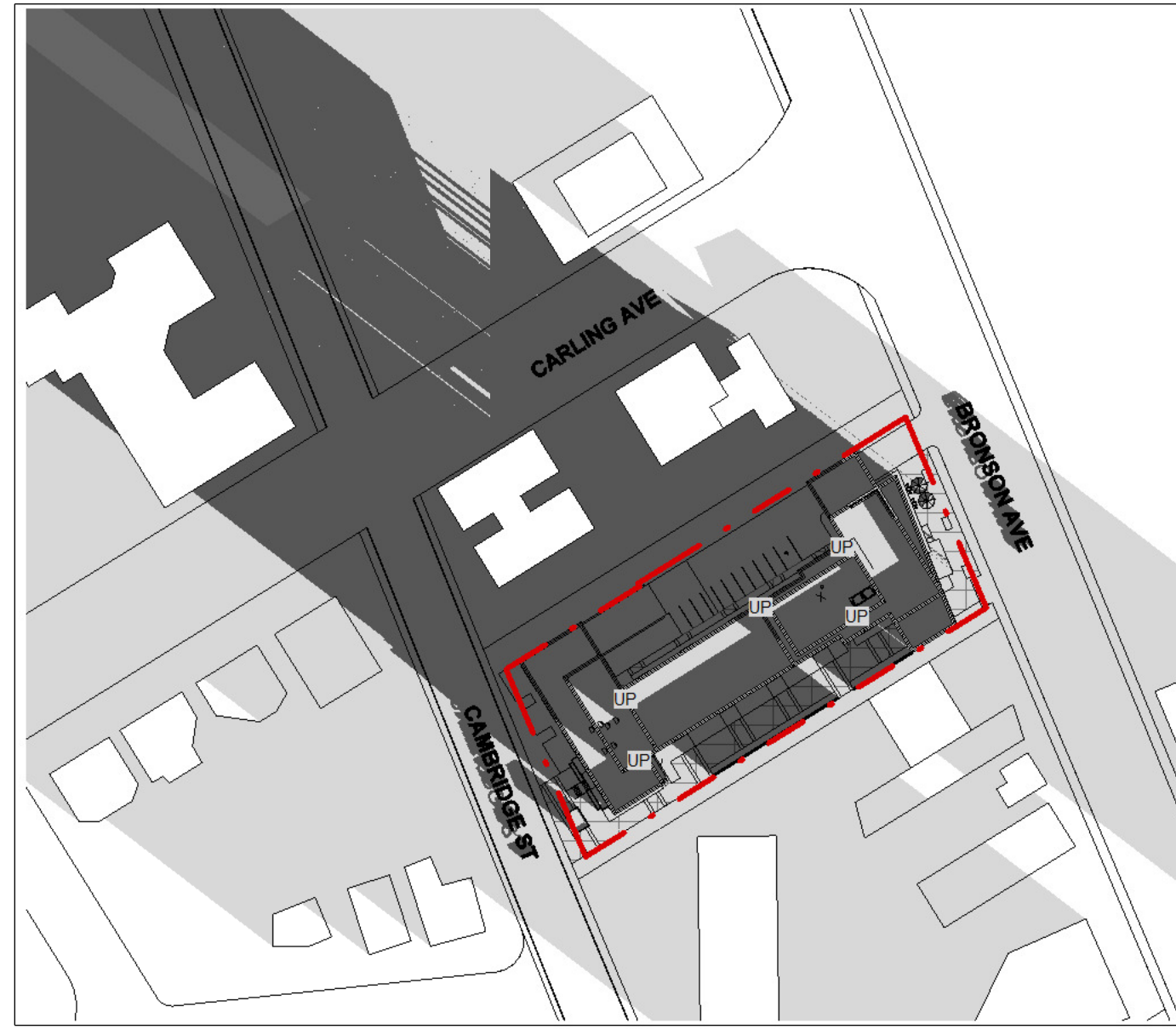
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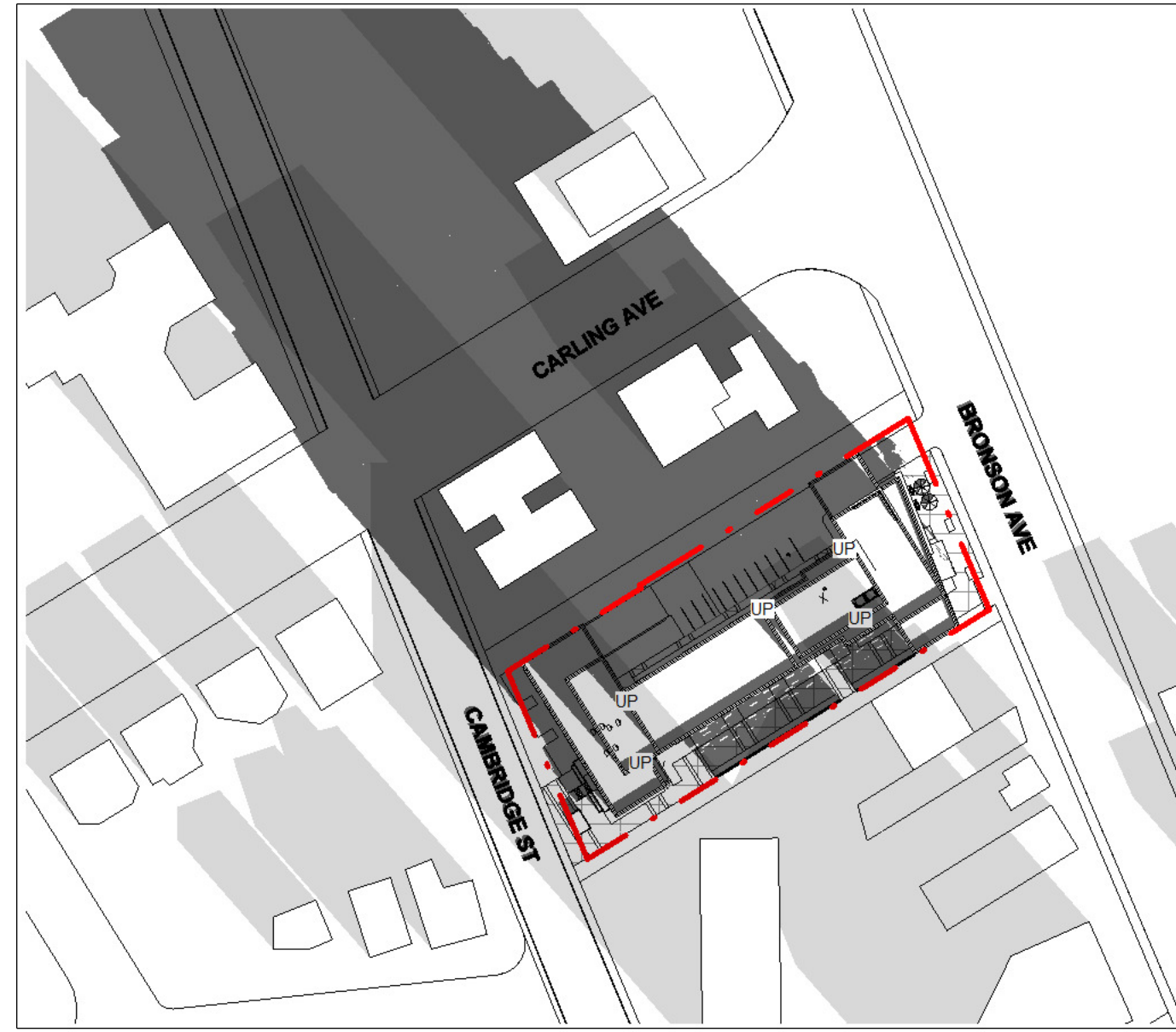




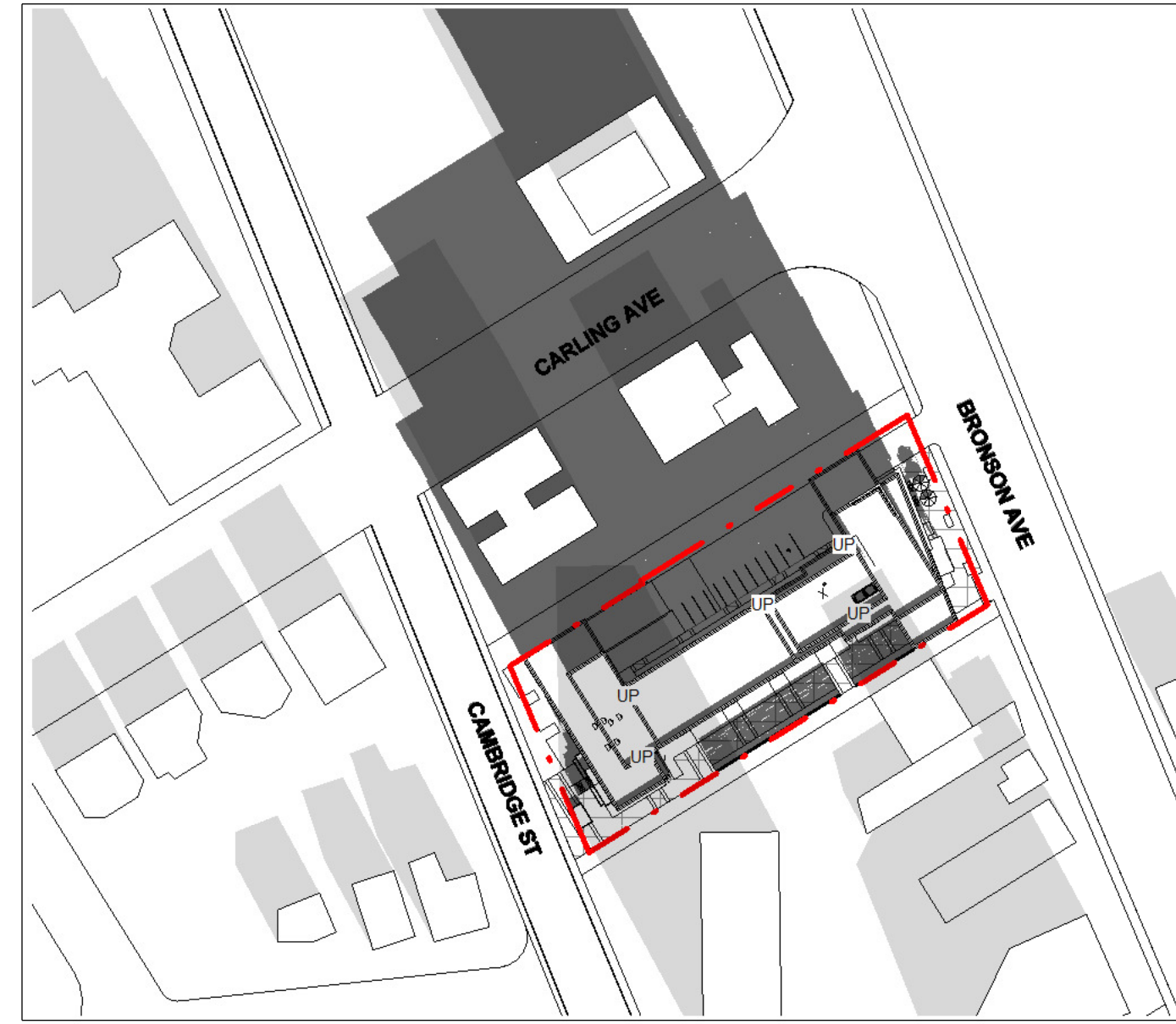
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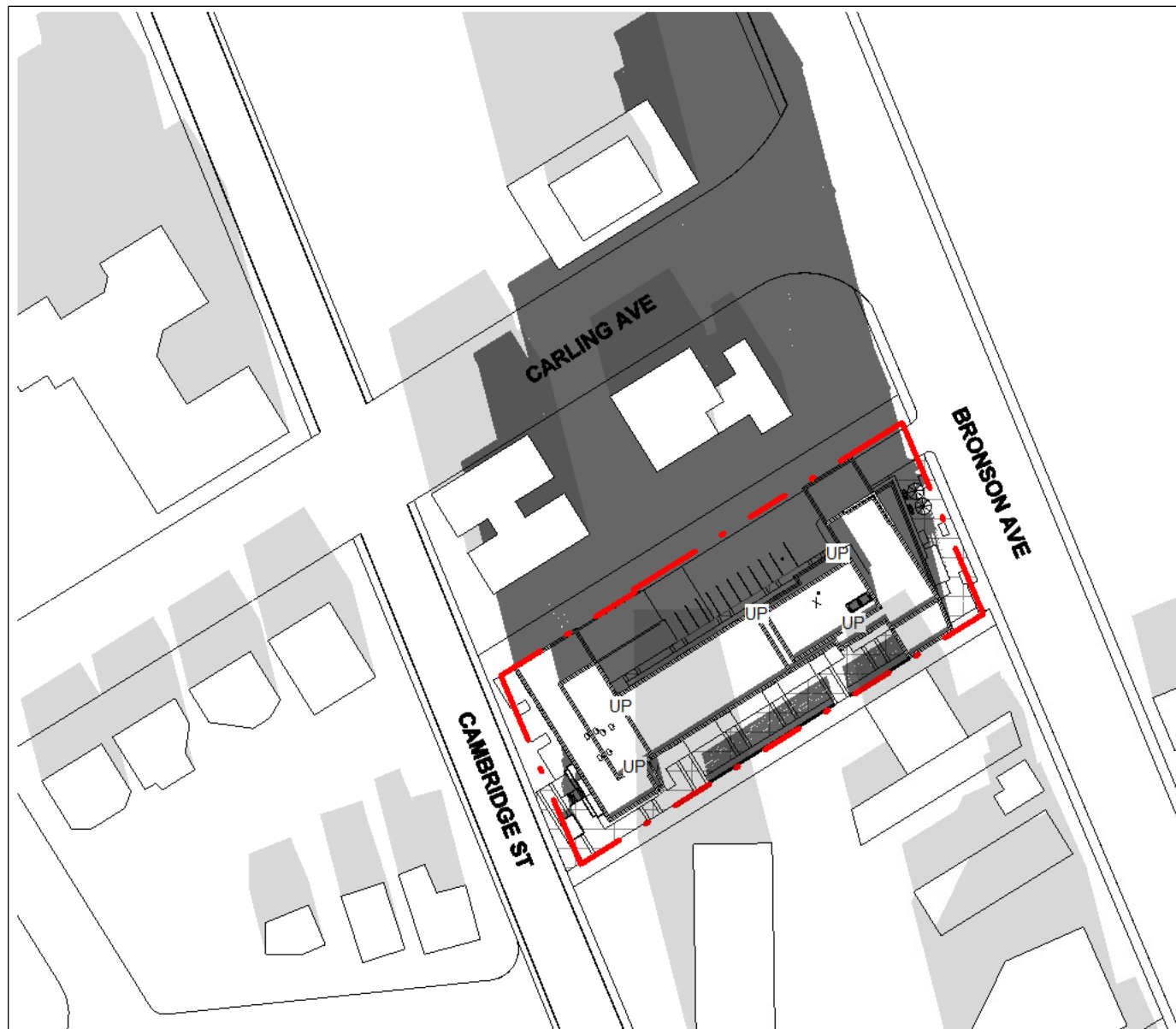
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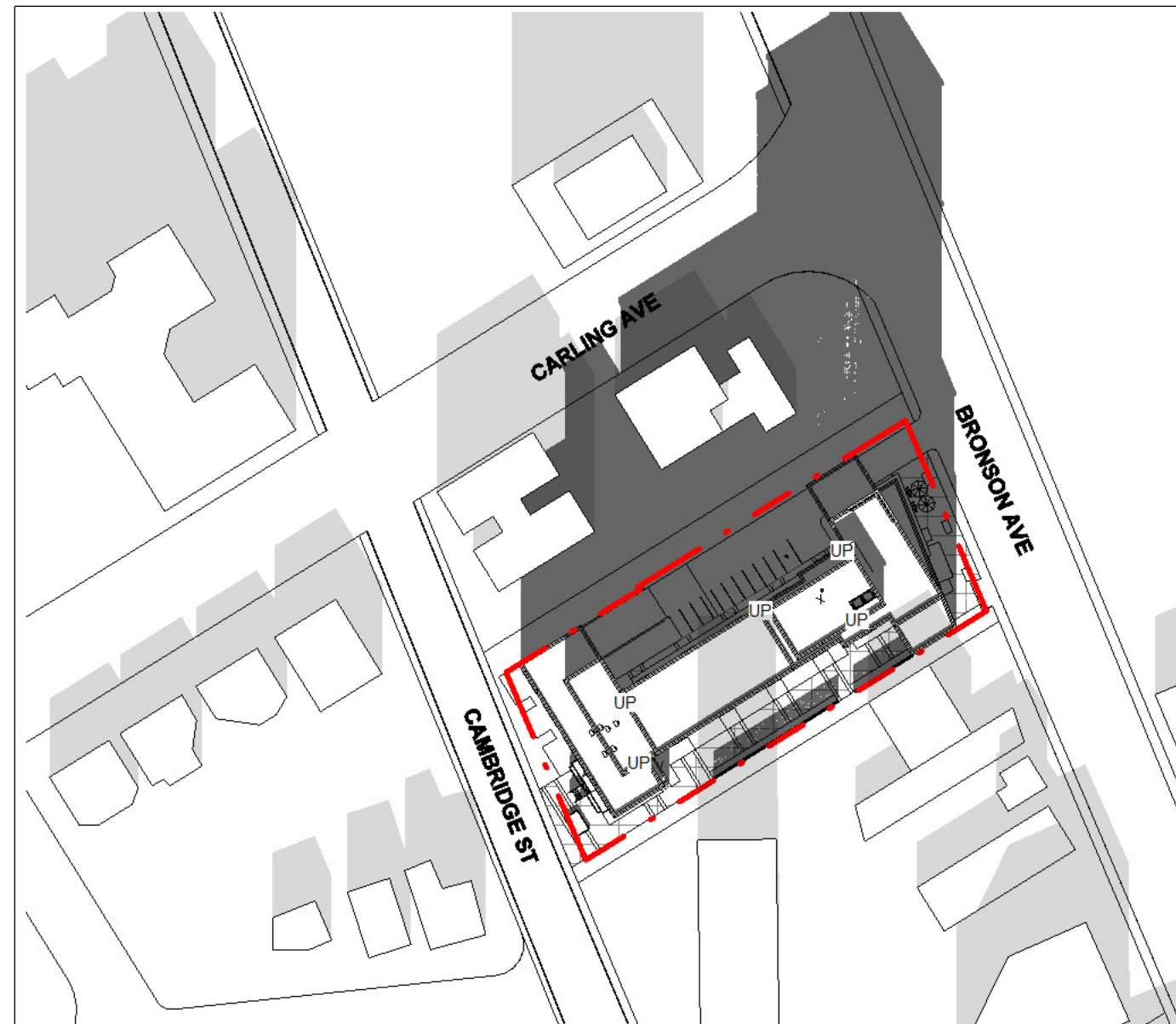
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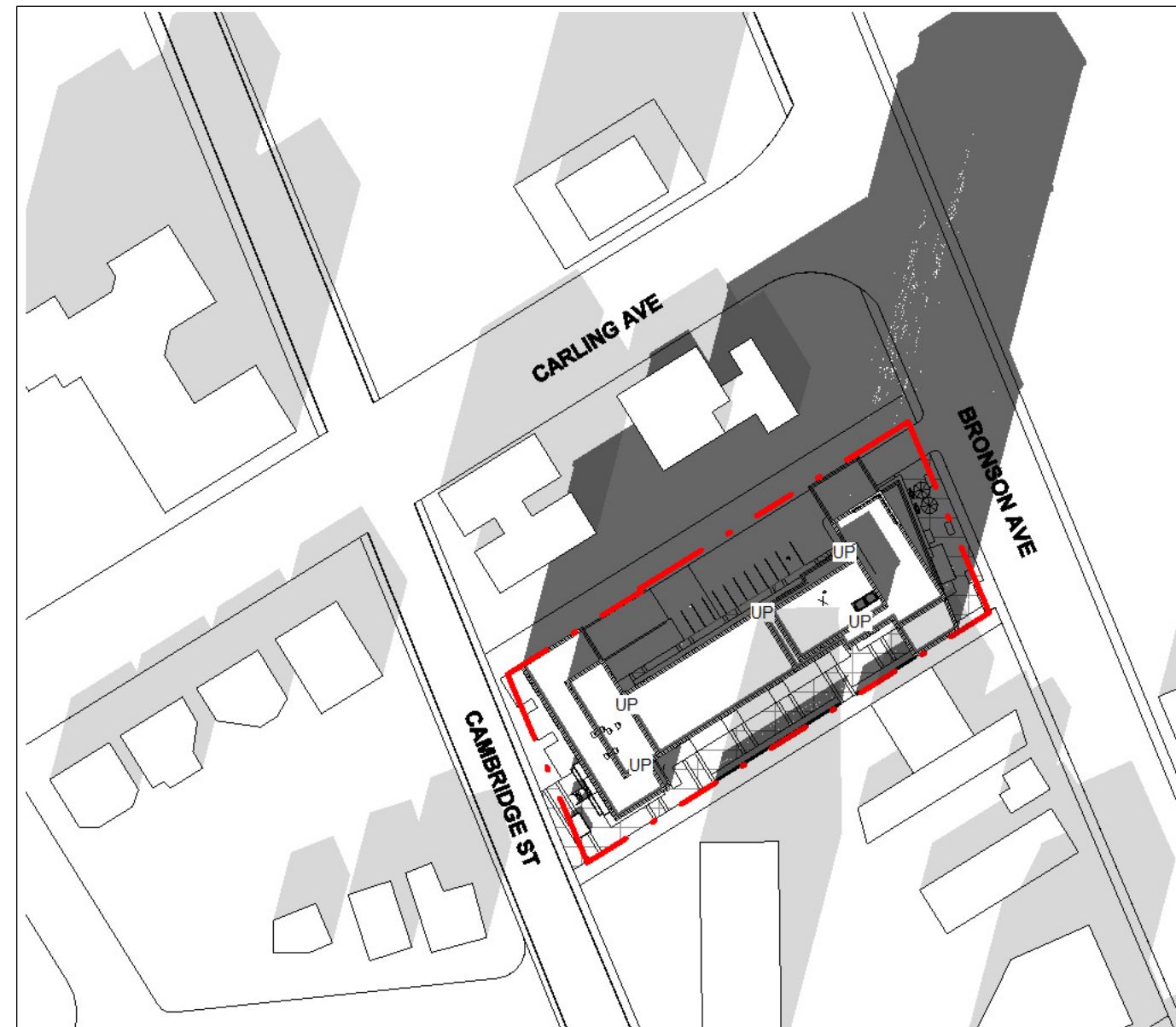
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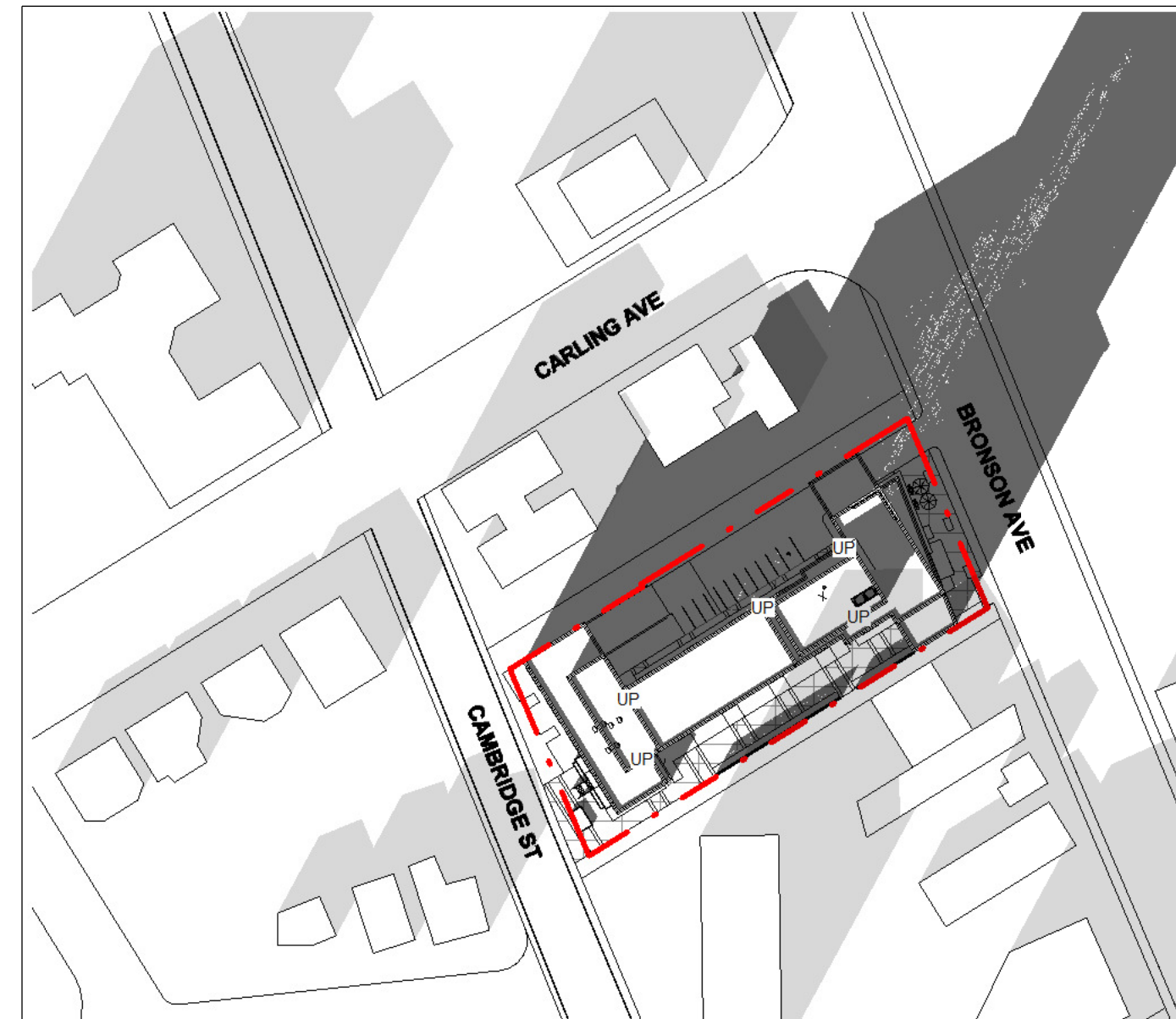
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1:1250



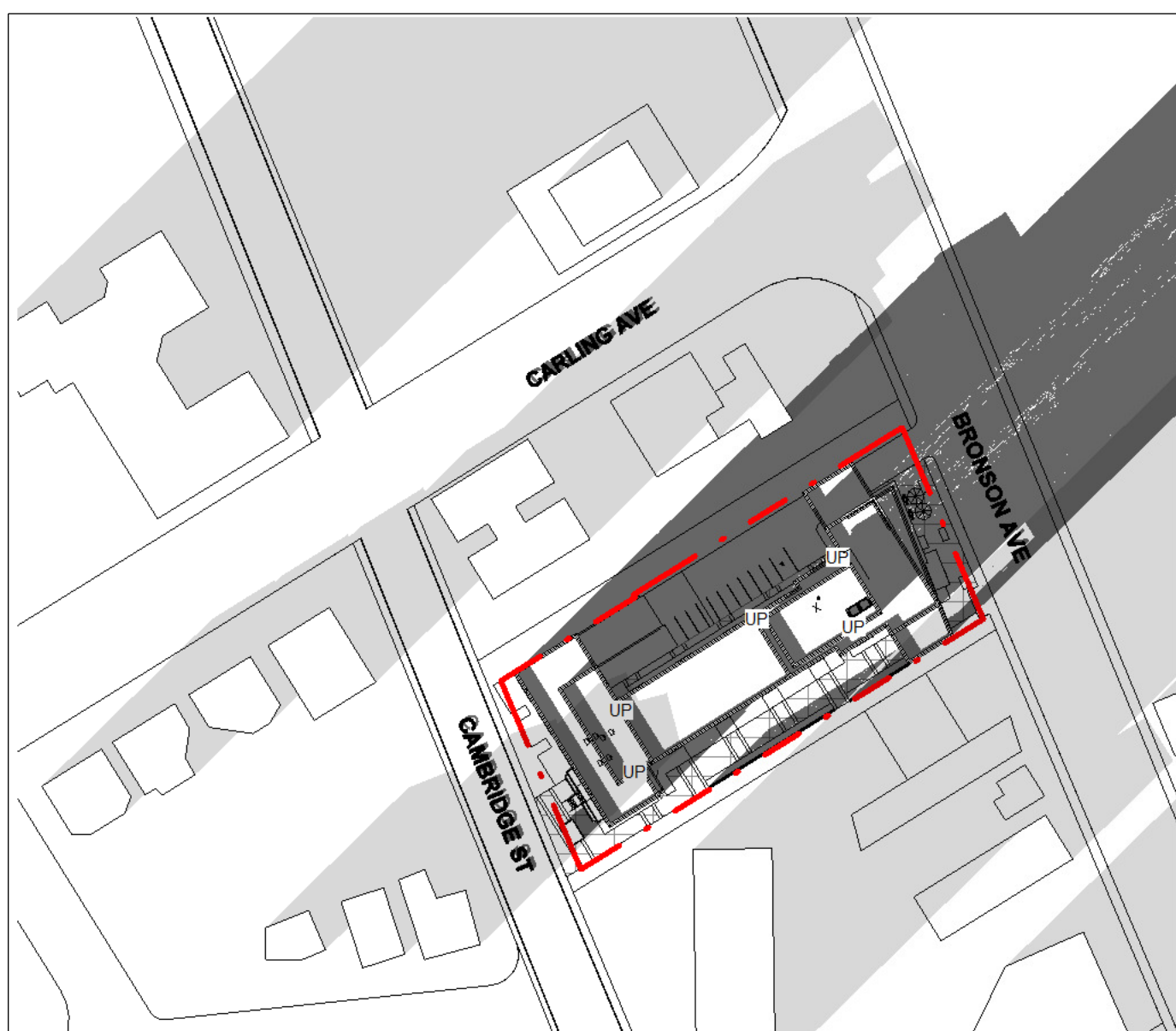
6 December 21 - 06 - 0100pm  
1:1250



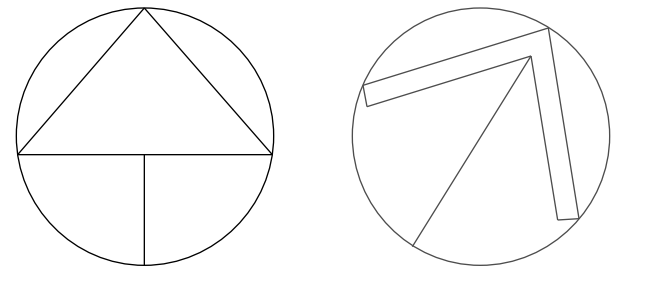
7 December 21 - 07 - 0200pm  
1:1250



8 December 21 - 08 - 0300pm  
1:1250



9 December 21 - 09 - 0422pm  
1:1250



Project North True North

1. DO NOT SCALE DRAWINGS: WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. ALL WORK SHALL COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND AMENDMENTS.
3. CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
4. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
5. ALL DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT. UNAUTHORIZED USE, MODIFICATION, AND/OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED WITHOUT WRITTEN PERMISSION. THE CONTRACT DOCUMENTS WERE PREPARED BY THE CONSULTANT FOR THE ACCOUNT OF THE OWNER.
6. THE MATERIAL CONTAINED HEREIN REFLECTS THE CONSULTANT'S BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE TO HIM AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES OF THE CONTRACT DOCUMENTS, OR ANY RELIANCE ON OR DECISIONS TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES.
7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THE CONTRACT DOCUMENTS.

2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision

	Project No.	15076
	Issue Date	2016-10-19
	Drawn by	CRZ
	Checked by	RH
	Plot Date / Time	2016-10-19 3:28:22 PM

**TEXTBOOK SUITES**  
774 BRONSON AVENUE,  
OTTAWA

**DECEMBER SHADOW STUDY**

Ontario Association of Architects logo

EDWARD THOMAS  
LICENCE  
5572

Drawing No. 1:1250  
Status  
Drawing No. Revision No.  
**A-11.3 - r2**

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the architect before proceeding with the work. All documents remain the property of the architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without the architect's permission. The contract documents were prepared by the consultant for the account of the owner. The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.  
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