



342 Roosevelt Avenue, Ottawa

Zoning By-law Amendment & Site Plan Control Applications

Urban Design Brief– June 5th, 2025

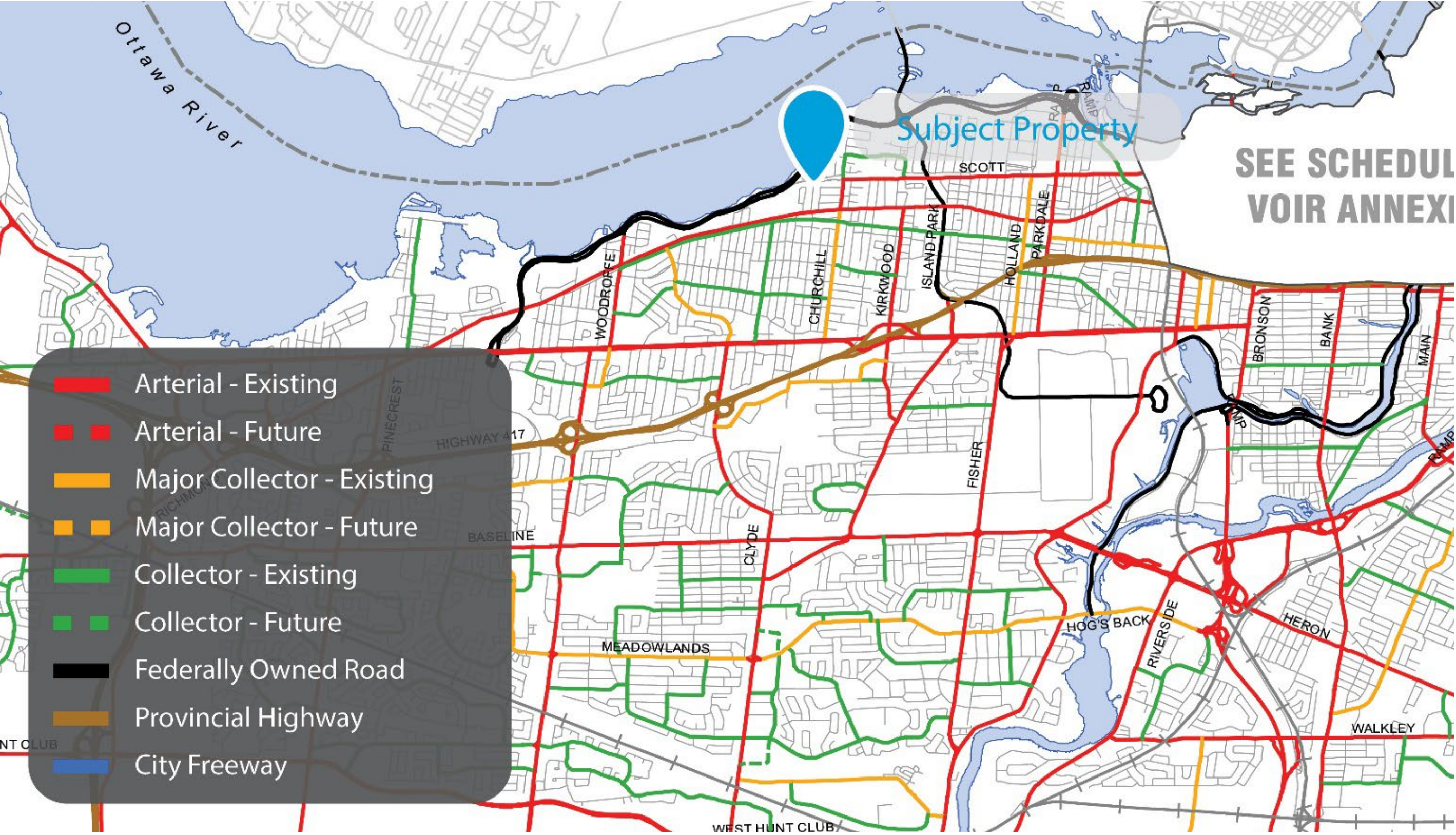


Site Context

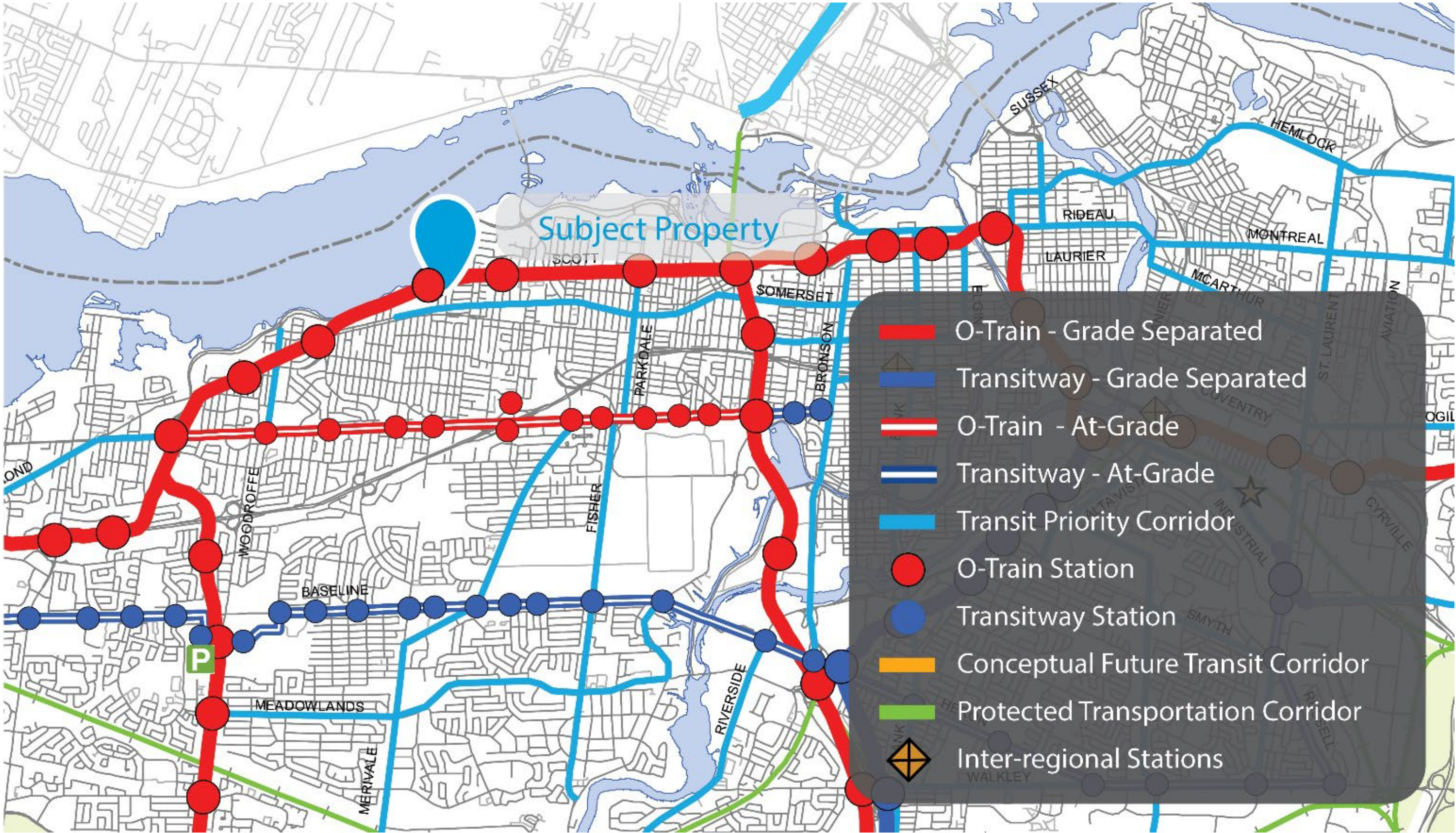


Site Context:

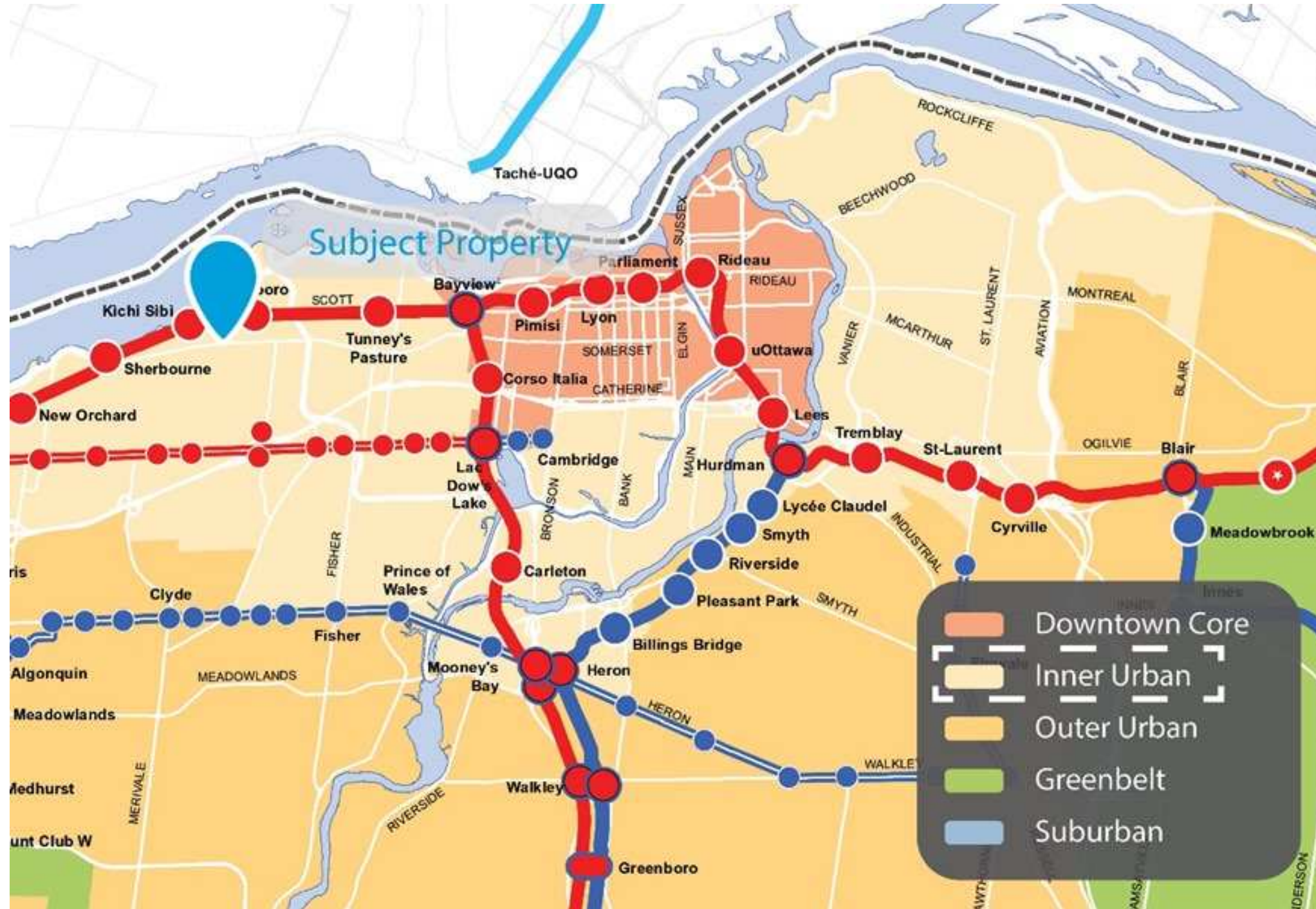
Schedule C4: Urban Road Network of the City of Ottawa's Official Plan



Site Context: Schedule C2 – Transit Network – Ultimate of the City of Ottawa’s Official Plan



Official Plan: Inner Urban



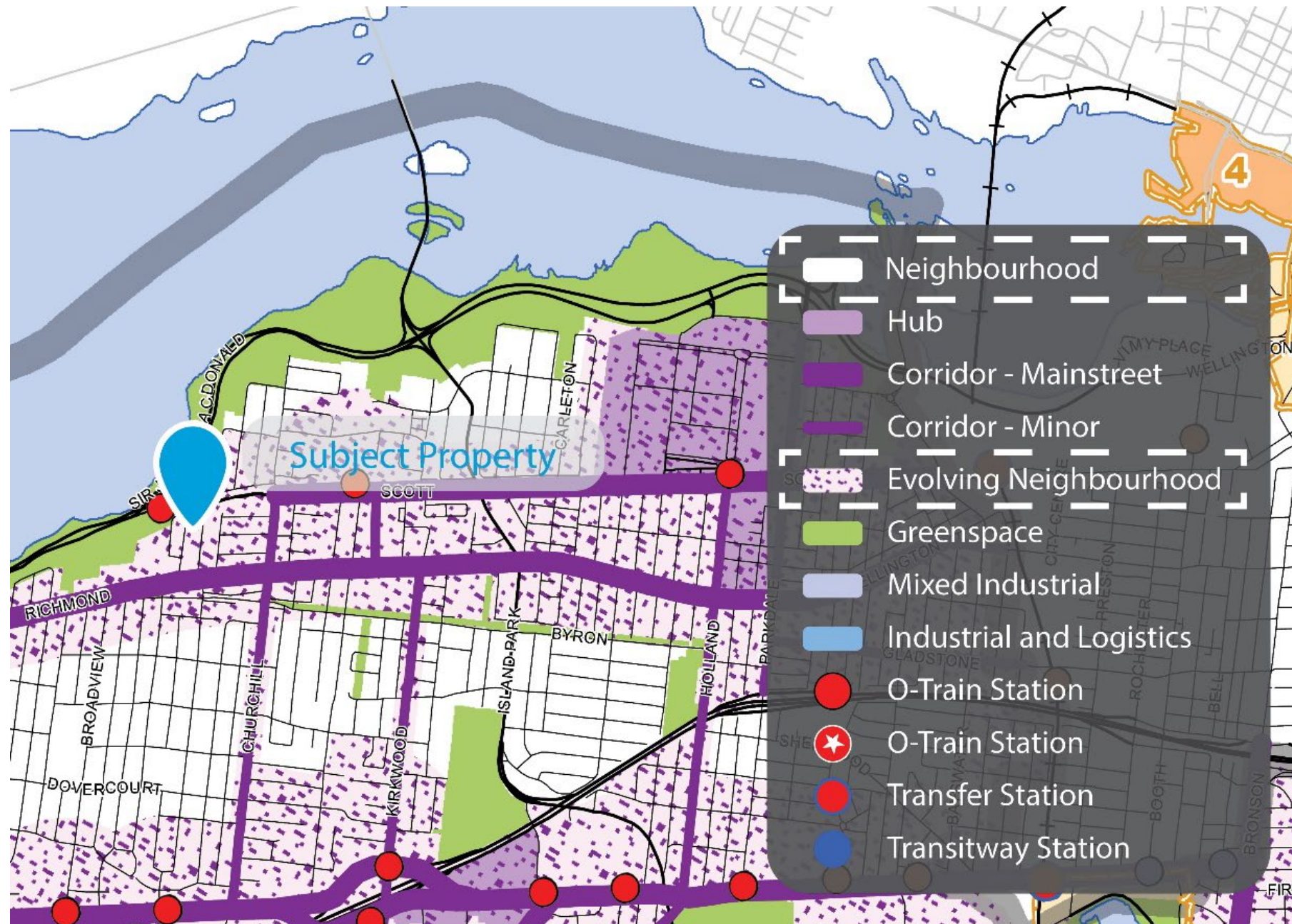
The Inner Urban Core Transect is the area surrounding the Downtown Core Transect.

The neighbourhoods within the Transect are established communities reflecting suburban characteristics.

The Official Plan seeks to prioritize active and public transit linkages to and through the Inner Urban Transect and provide additional direction to Neighbourhood designations

Schedule A - Transect Policy Area

Official Plan: Neighbourhood



- The property is designated “Neighbourhood” in the Official Plan.
- This designation permits low-rise building form (up to 4-storeys) and a full range and choice of housing types.
- The City will consider contribution to the achievement of a balance of housing types and tenures to provide a full range of housing for a variety of demographic profiles.

Secondary Plan: Richmond Road/Westboro

Secondary Plan



Schedule C2 of the Richmond Road/Westboro Secondary Plan, with General Maximum Building Height Ranges

Secondary Plan: Richmond Road/Westboro

Secondary Plan



Location of the subject property in the Richmond Road/Westboro Secondary Plan and Community Design Plan

Secondary Plan: Richmond Road/Westboro Secondary Plan



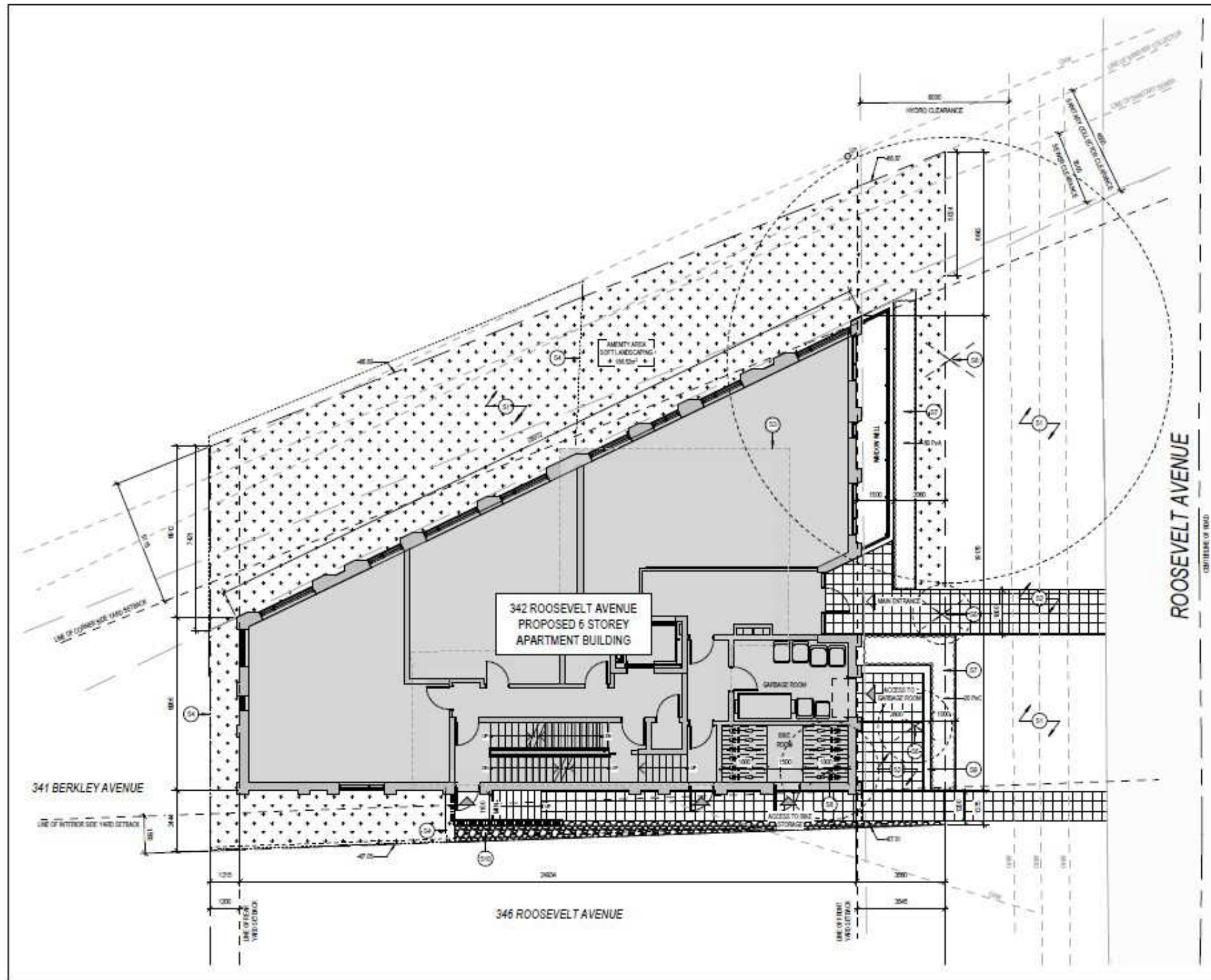
Schedule B – Greenspace Network

Zoning By-law



The subject property is zoned Residential Fifth Density Zone, Subzone B, Exception 1195, with a Height Limit of 19 metres (R5B[1195] H(19)).

Proposed Development: Site Plan



Proposal to construct a six (6) storey mid-rise apartment building containing twenty-five (26) residential units on the subject property.

This proposal will contribute to increasing residential densities and broadening housing options in the Westboro area.

The massing of the proposed building consists of a variety of materials including glass, brick and aluminum paneling. The overall design of the facades is broken up with a purpose driven strategy.

The first two (2) floors consist of brick masonry. The third floor and above is defined by a light black & grey panelling and the use of dark grey cornice lines to differentiate from the lower two floors and reduce the perception of building mass.

The facades include large windows. The residential entrance fronts Roosevelt Avenue to provide clear connections and to increase its prominence to the public realm

Proposed Development: East



Proposed Development: North



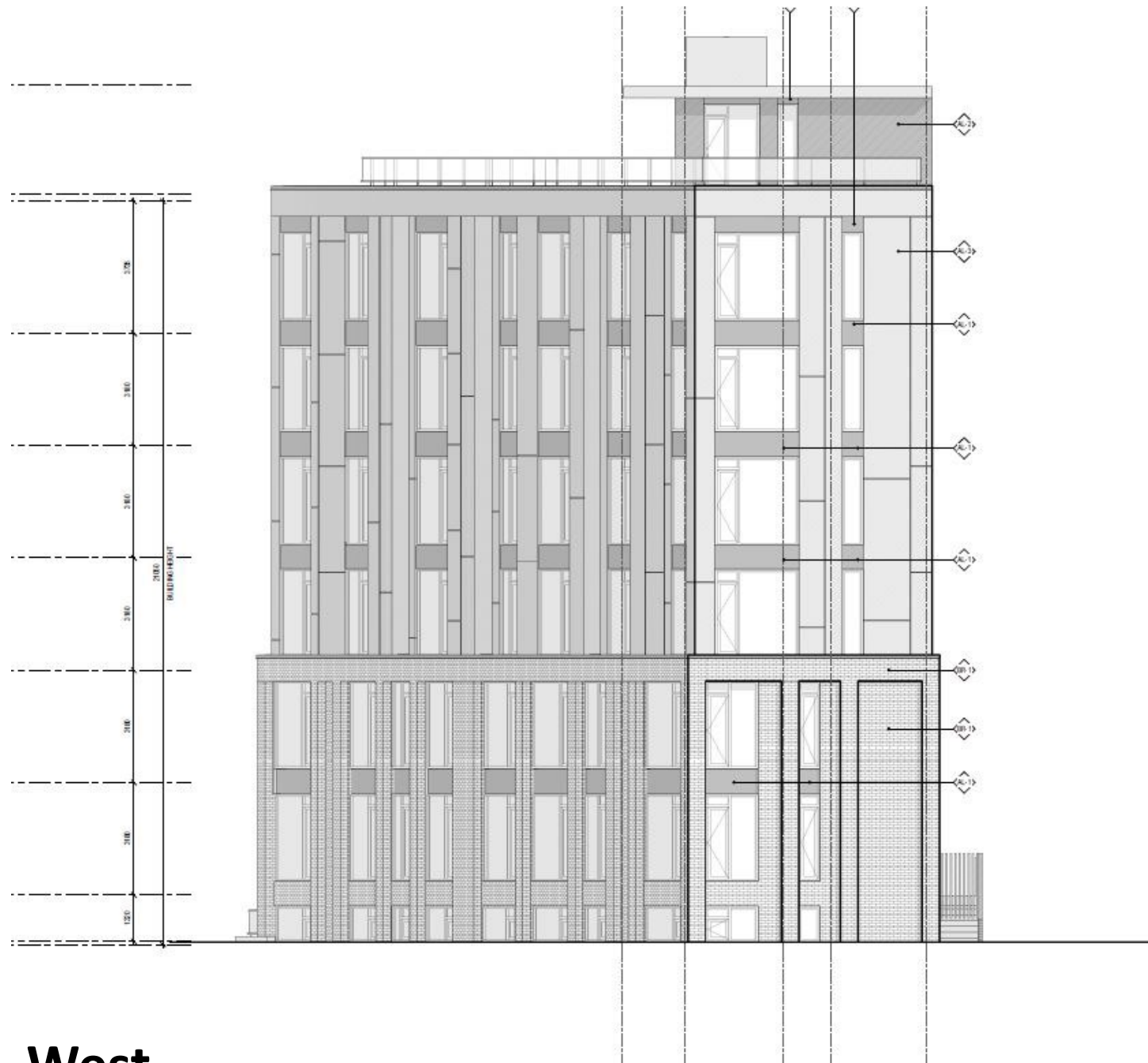
Proposed Development: North East



Proposed Development: South East



Proposed Development: Elevations

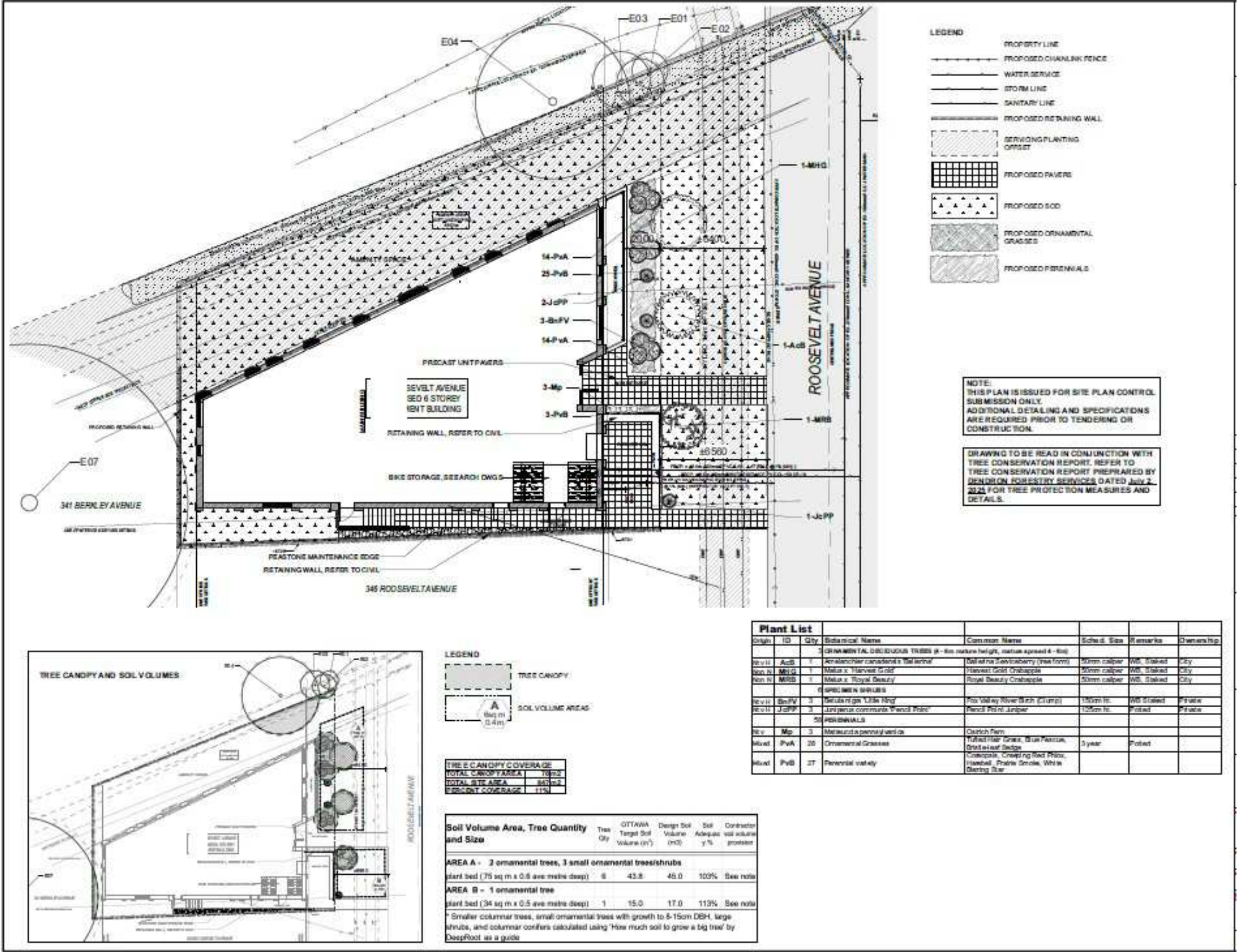


West

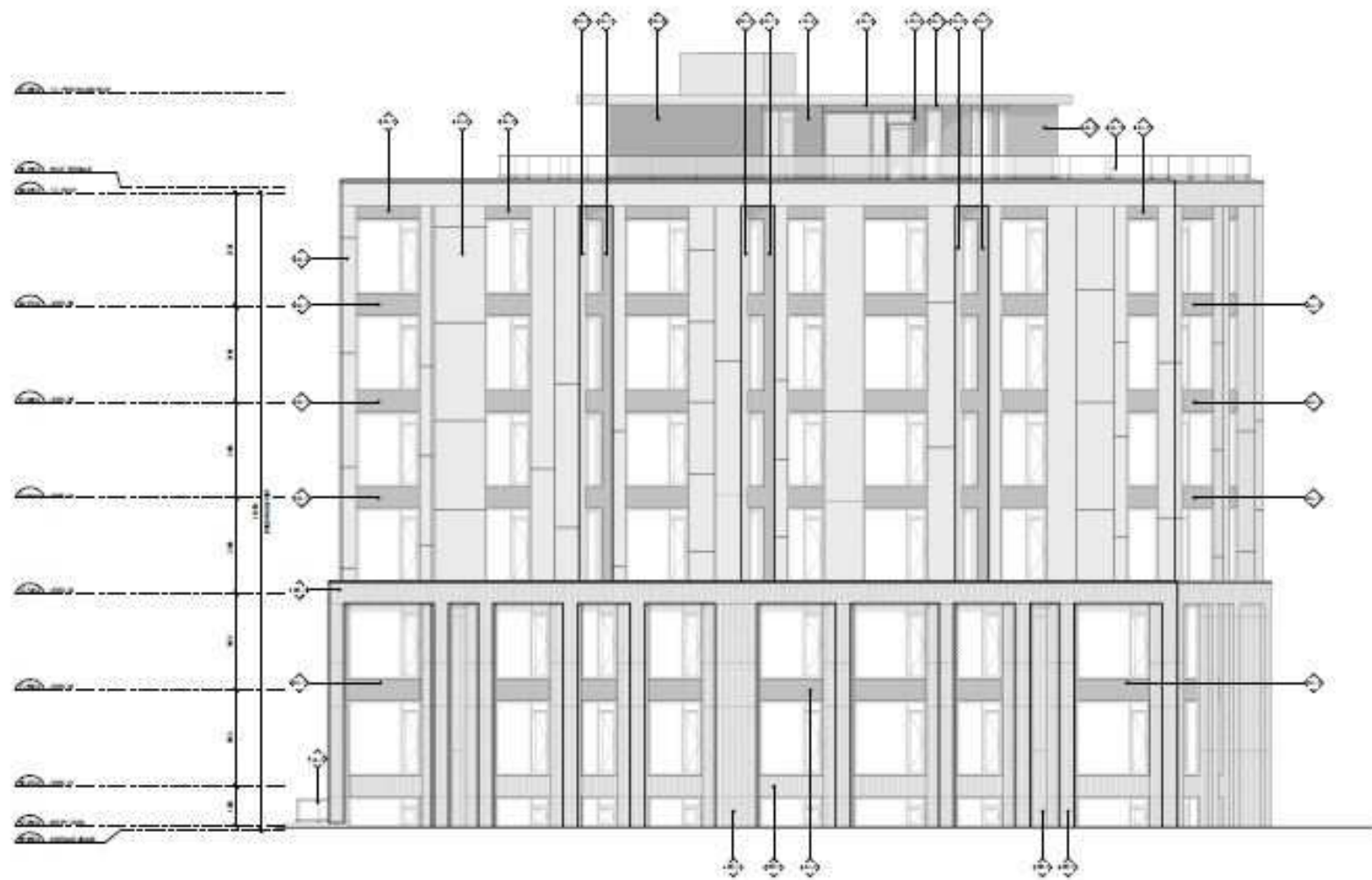


East

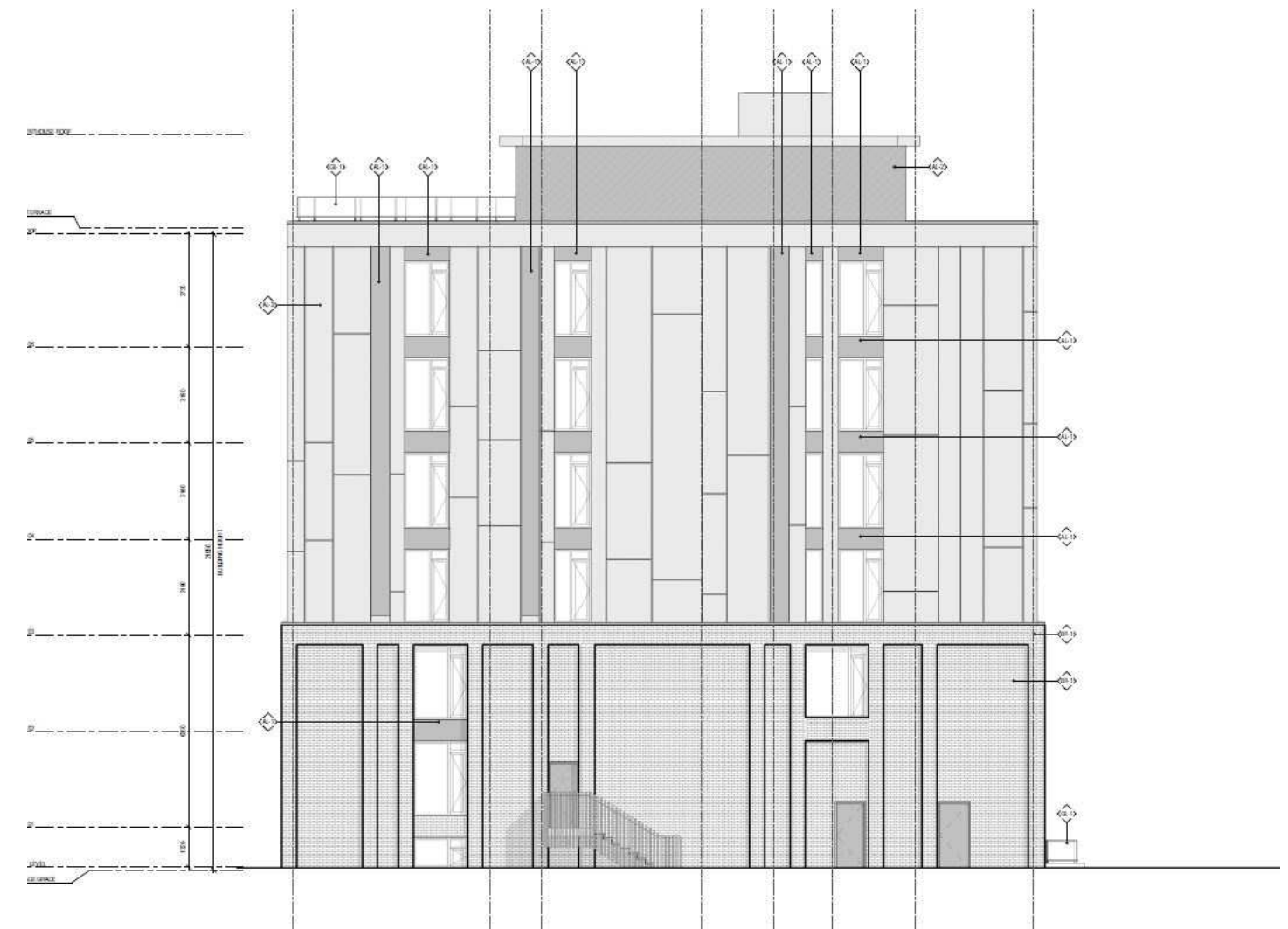
Proposed Development: Landscape Plan



Proposed Development: Elevations



North



South

FOTENN



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