

UNIT COUNT									
NAME	LVL.00	LVL.01	LVL.02	LVL.03	LVL.04	LVL.05	LVL.06	TOTAL COUNT	PERCENTAGE
1-BED	1	1	1	1	1	1	1	7	27%
1-BED + DEN	1	0	0	1	0	1	1	4	15%
1-BED + DEN + BF	0	1	1	0	1	0	0	3	12%
2-BED	1	1	2	1	2	1	2	10	38%
2-BED + BF	0	0	0	1	0	1	0	2	8%
TOTAL	3	3	4	4	4	4	4	26	100%

COMMUNAL AMENITY AREA		
NAME	AREA	AREA (SF)
YARD AMENITY	166.53 m ²	1,793 SF
ROOFTOP AMENITY	130.67 m ²	1,406 SF
TOTAL	297.20 m ²	3,199 SF

RENTABLE AREA (RESIDENTIAL)		
LEVEL	AREA	AREA (SF)
LEVEL 00	210.88 m ²	2,268 SF
LEVEL 01	211.97 m ²	2,272 SF
LEVEL 02	283.72 m ²	3,054 SF
LEVEL 03	275.49 m ²	2,965 SF
LEVEL 04	275.18 m ²	2,962 SF
LEVEL 05	275.28 m ²	2,963 SF
LEVEL 06	275.28 m ²	2,963 SF
TOTAL	1806.70 m ²	19,447 SF

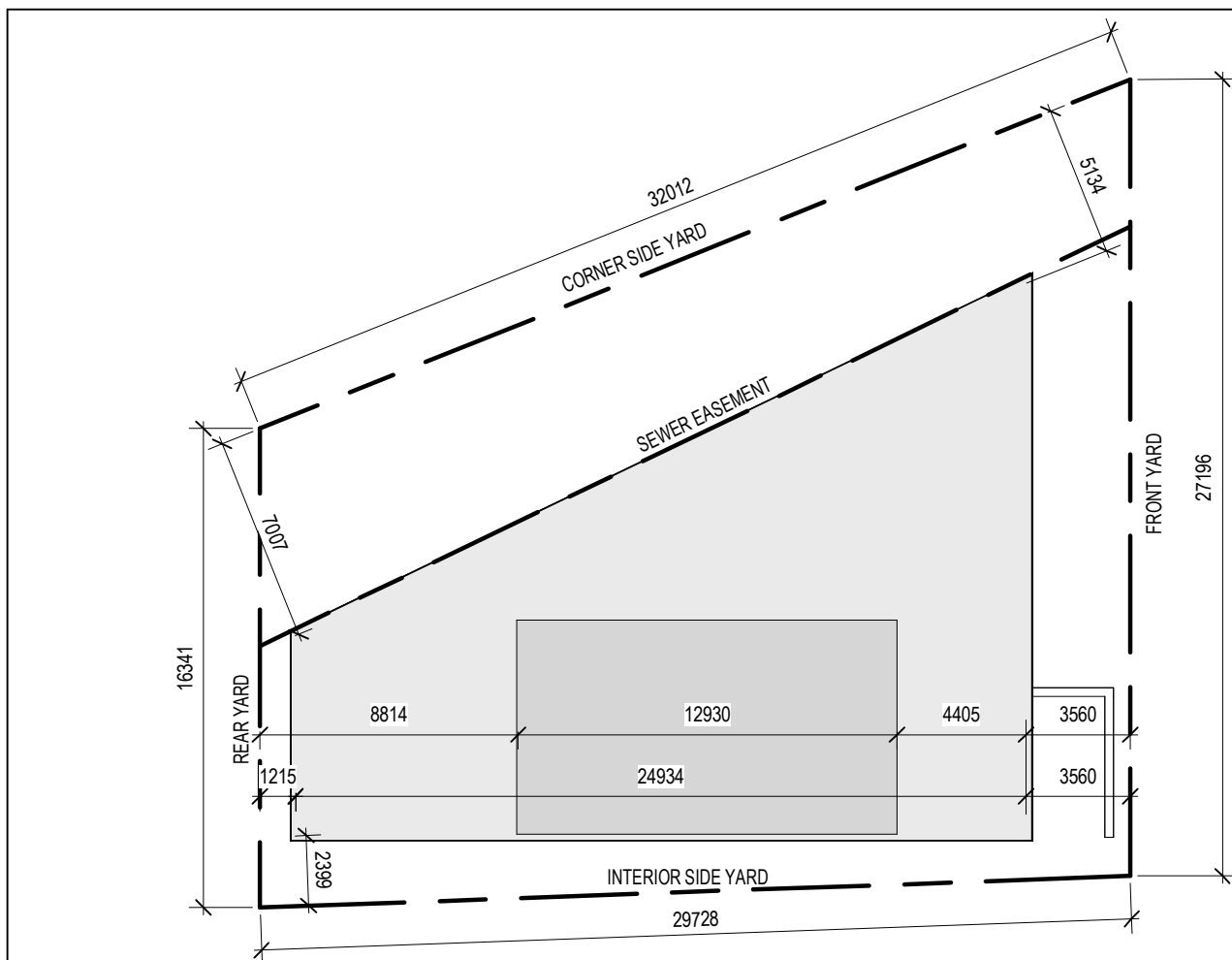
GROSS FLOOR AREA		
LEVEL	AREA	AREA (SF)
LEVEL 01	319.39 m ²	3,438 SF
LEVEL 02	318.23 m ²	3,425 SF
LEVEL 03	309.43 m ²	3,331 SF
LEVEL 04	309.32 m ²	3,330 SF
LEVEL 05	309.42 m ²	3,331 SF
LEVEL 06	309.42 m ²	3,331 SF
PENTHOUSE	94.55 m ²	1,018 SF
TOTAL	1989.78 m ²	21,203 SF

GROSS FLOOR AREA (CITY OF OTTAWA)		
LEVEL	AREA	AREA (SF)
LEVEL 00	303.52 m ²	3,267 SF
LEVEL 01	319.39 m ²	3,438 SF
LEVEL 02	318.23 m ²	3,425 SF
LEVEL 03	309.43 m ²	3,331 SF
LEVEL 04	309.32 m ²	3,330 SF
LEVEL 05	309.42 m ²	3,331 SF
LEVEL 06	309.42 m ²	3,331 SF
PENTHOUSE	94.55 m ²	1,018 SF
TOTAL	2273.30 m ²	24,470 SF

SITE PLAN NOTES

S1 SOD / SOFT LANDSCAPING
S2 INTERLOCKING STONE PAVERS
S3 EXISTING STRUCTURE TO BE DEMOLISHED
S4 EXISTING CHAINLINK FENCE TO BE DEMOLISHED
S5 CONCRETE CURB
S6 DEPRESSED CURB
S7 PLANTING BED
S8 EXISTING TREE TO BE REMOVED
S9 RETAINING WALL (300mm WIDE)
S10 RIVER STONE

SKETCH SHOWING SEWER EASEMENT
REQUIREMENTS
342 ROOSEVELT AVENUE
CITY OF OTTAWA
J.D BARNES LTD. 2024



PLANTING INFORMATION

SCALE: NTS

ID	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Perennials					
PvA	60	Sun Flowering Perennials	Low Flowering Perennials	1 gallon Pot	60cm o.c.
PvC	20	Calamagrostis acutifolia 'Karl Foerster Feather Reed Grass'	Karl Foerster Feather Reed Grass	1 gallon Pot	80cm o.c.

SURVEY INFO

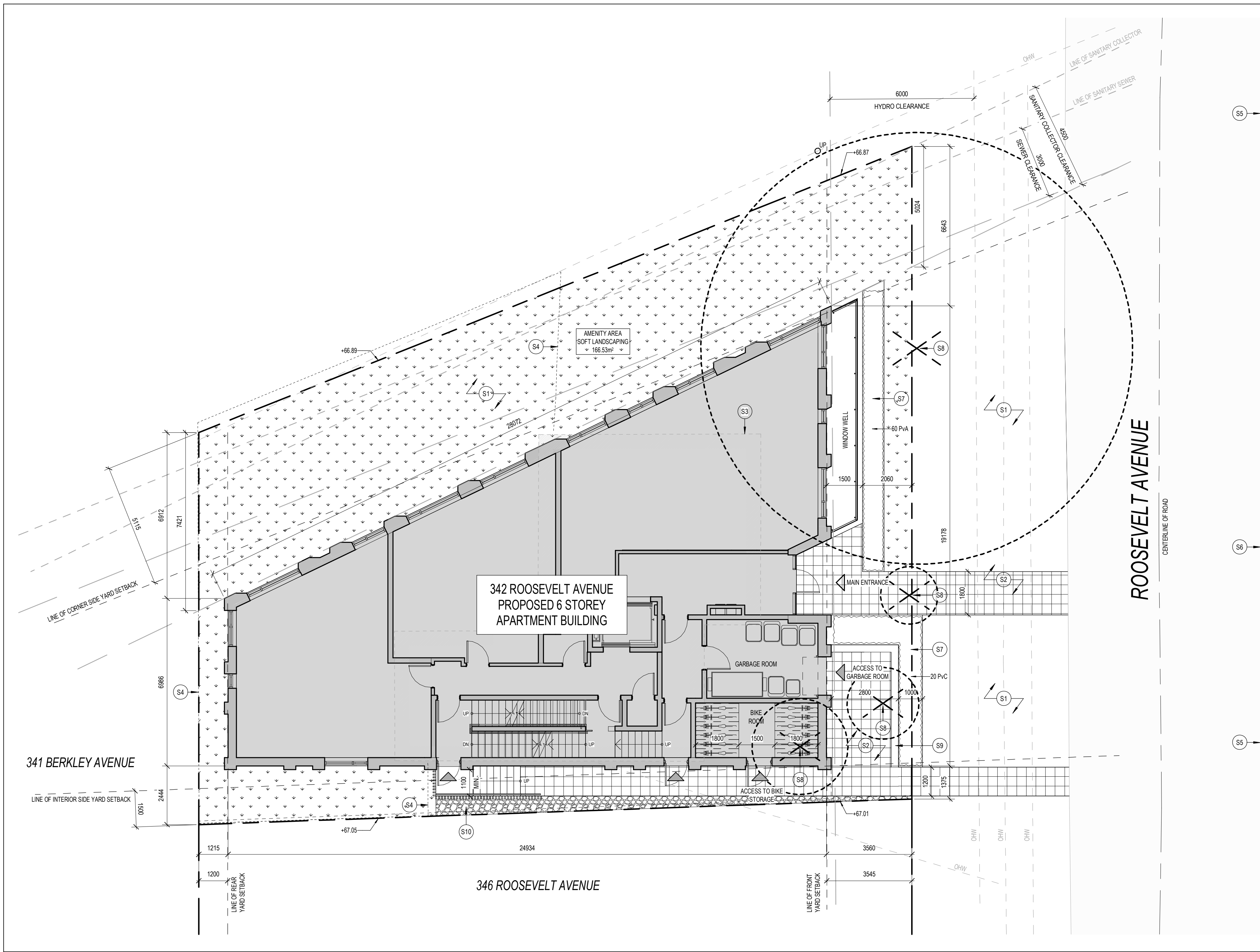
SCALE: NTS

3 SITE PLAN - SETBACKS

SP-01 SCALE: 1 : 250

2 LOCATION PLAN

SP-01 SCALE: NTS



SITE STATISTICS	
Current Zoning Designation:	R5B(1195) H(19)
Lot Width:	27.20 m
Total Lot Area:	646.7 m ²
Average Existing Grade:	66.955 m
Gross Floor Area:	2274.22 m ²
Building Area:	330.69 m ²
Floor Space Index:	3.52

PROPOSED DEVELOPMENT - 6 STOREY MID-RISE APARTMENT BUILDING

No. of units	26 Units	
Zoning Mechanism	Required	Provided
Minimum Lot Width 164A	22.5m	27.20m
Minimum Lot Area 164A	675m ²	646.7m ²
Min. Front Yard Setback 164A	3.0m	3.545m
Corner Side Yard Setback 164A	3.0m	5.115m
Min. Interior Side Yard Setback 164B	1.5m	1.5m
Min. Rear Yard Setback 164B (25% of the lot depth but need not exceed 7.5 m)	7.48m	1.2m
Maximum Building Height 164B	19.0m	21.050m
Parking Space Rates (Residents) 101 (Sch. 1A - Area X) 0.5 spaces / unit thereafter - Table 101(R11)	7 Spaces 0 spaces for first 12 units - Section 101(3)(a) 0.5 spaces / unit thereafter - Table 101(R11)	0 Spaces
Minimum Visitor Parking Rates 102 (Sch. 1A - Area X) 0.7 spaces / unit thereafter - Table 102	1 Spaces 0 spaces for first 12 units - Section 102(3) 0.7 spaces / unit thereafter - Table 102	0 Spaces
Bicycle Parking Rates (Residents) Table 111A (Sch. 1 - Area X)	13 Spaces 0.5 spaces / unit (111A(b)(i))	24 Spaces
Landscaped Area 163 (b) Table 137(4)(i)	109.01m ² (minimum 30% of lot area)	309.76m ²
Total Amenity Area Table 137(4)(i)	180m ² 6m ² / unit for 30 units	276.92m ²
Communal Amenity Area Table 137(4)(i)	90m ² Min. 50% of Total Amenity Area	276.92m ²

SITE PLAN SYMBOLS LEGEND			
	BUILDING ENTRANCE		FIRE DEPARTMENT CONNECTION
	BUILDING EXIT		FIRE HYDRANT
	BICYCLE PARKING		NEW STREET LIGHT
	PROPERTY LINE		STREET LIGHT TO BE REMOVED
	SETBACK LINE		EXISTING STREET LIGHT TO REMAIN
	OVERHEAD WIRES		EXISTING UTILITY POLE TO REMAIN
	INTERLOCKING STONE PAVERS		UTILITY POLE TO BE REMOVED/RELOCATED
	EXISTING TRAFFIC SIGNAL POST		

SITE PLAN SYMBOLS

SCALE: NTS

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- | | | |
|---|--------------------------------|----------|
| 5 | REISSUED FOR SITE PLAN CONTROL | 25-04-22 |
| 4 | REISSUED FOR SITE PLAN CONTROL | 24-12-23 |
| 3 | REISSUED FOR SITE PLAN CONTROL | 24-10-08 |
| 2 | ISSUED FOR SITE PLAN CONTROL | 24-10-01 |
| 1 | ISSUED FOR COORDINATION | 24-05-22 |

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342 ROOSEVELT

342 Roosevelt Avenue
Ottawa, ON K2A 1Z3

PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

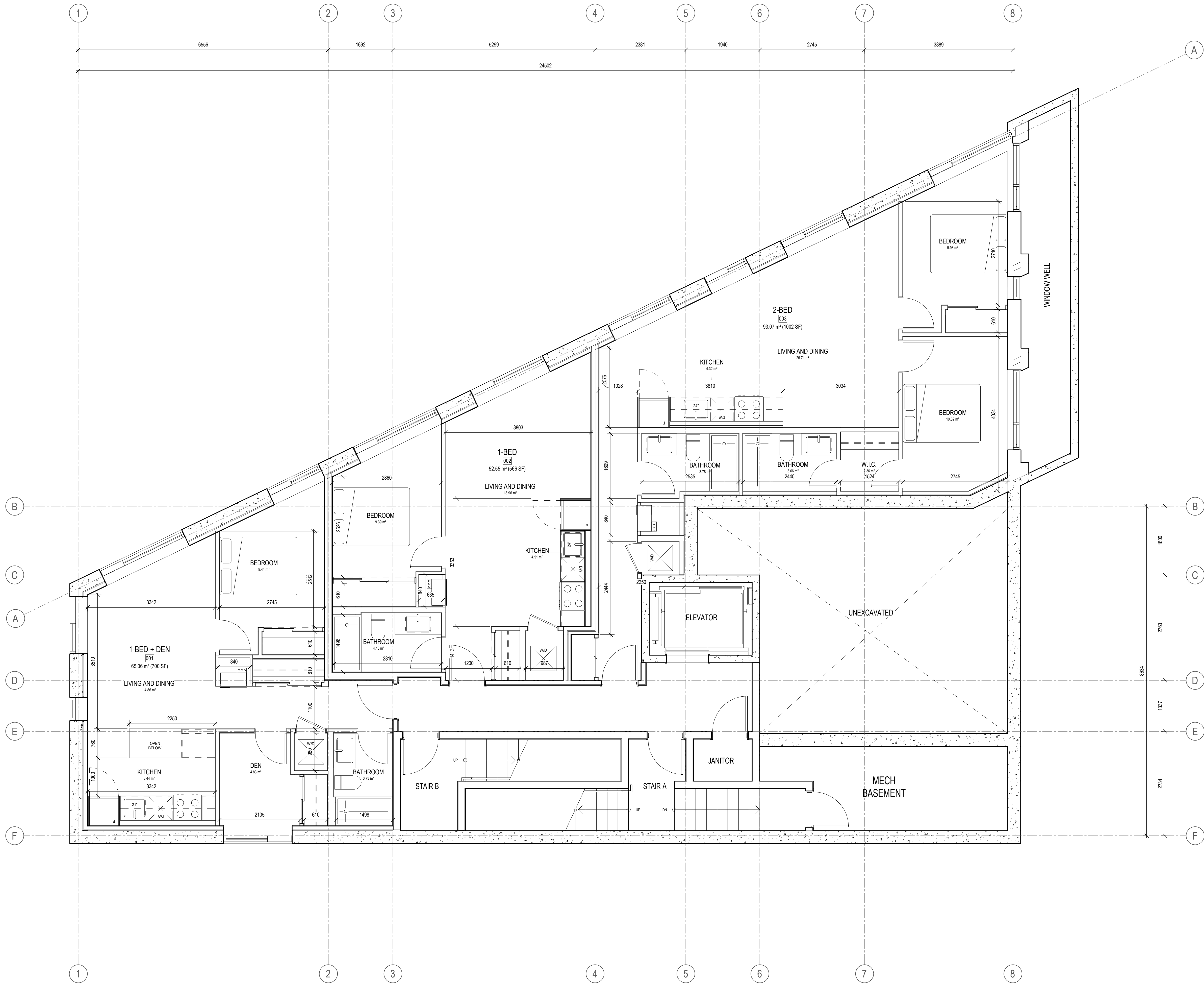
SITE & LANDSCAPE PLAN

SP-01

1 SITE & LANDSCAPE PLAN

SP-01 SCALE: 1 : 100

FOR INFORMATIONAL USE ONLY



FLOOR/ROOF PLAN NOTES

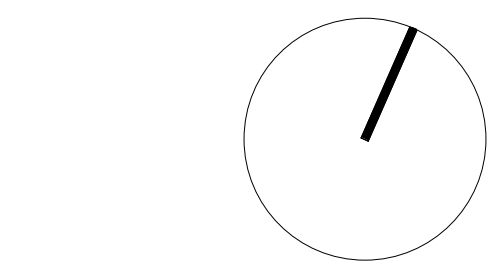
- P1 ROOF ACCESS HATCH
P2 CANOPY ABOVE
P3 GLASS AND ALUMINUM GUARD
P4 SCUPPER

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3	REISSUED FOR SITE PLAN CONTROL	24-10-08
2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

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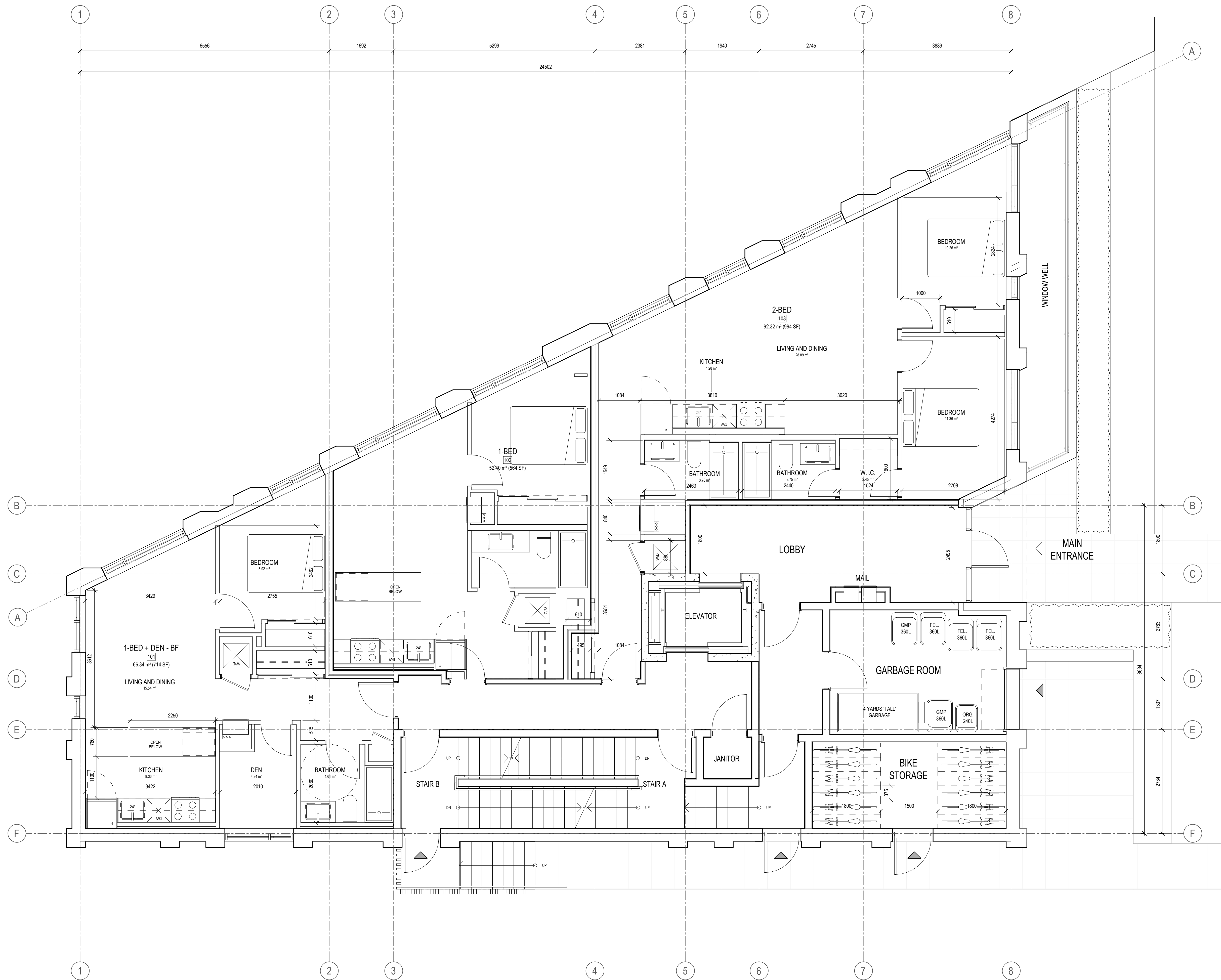
342 Roosevelt Avenue
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2405	NOTED	NL	RMK

LEVEL 00 FLOOR PLAN

A100

1 LEVEL 00 - FLOOR PLAN
A100 SCALE: 1:50



FLOOR/ROOF PLAN NOTES

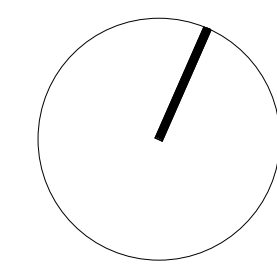
- P1 ROOF ACCESS HATCH
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2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

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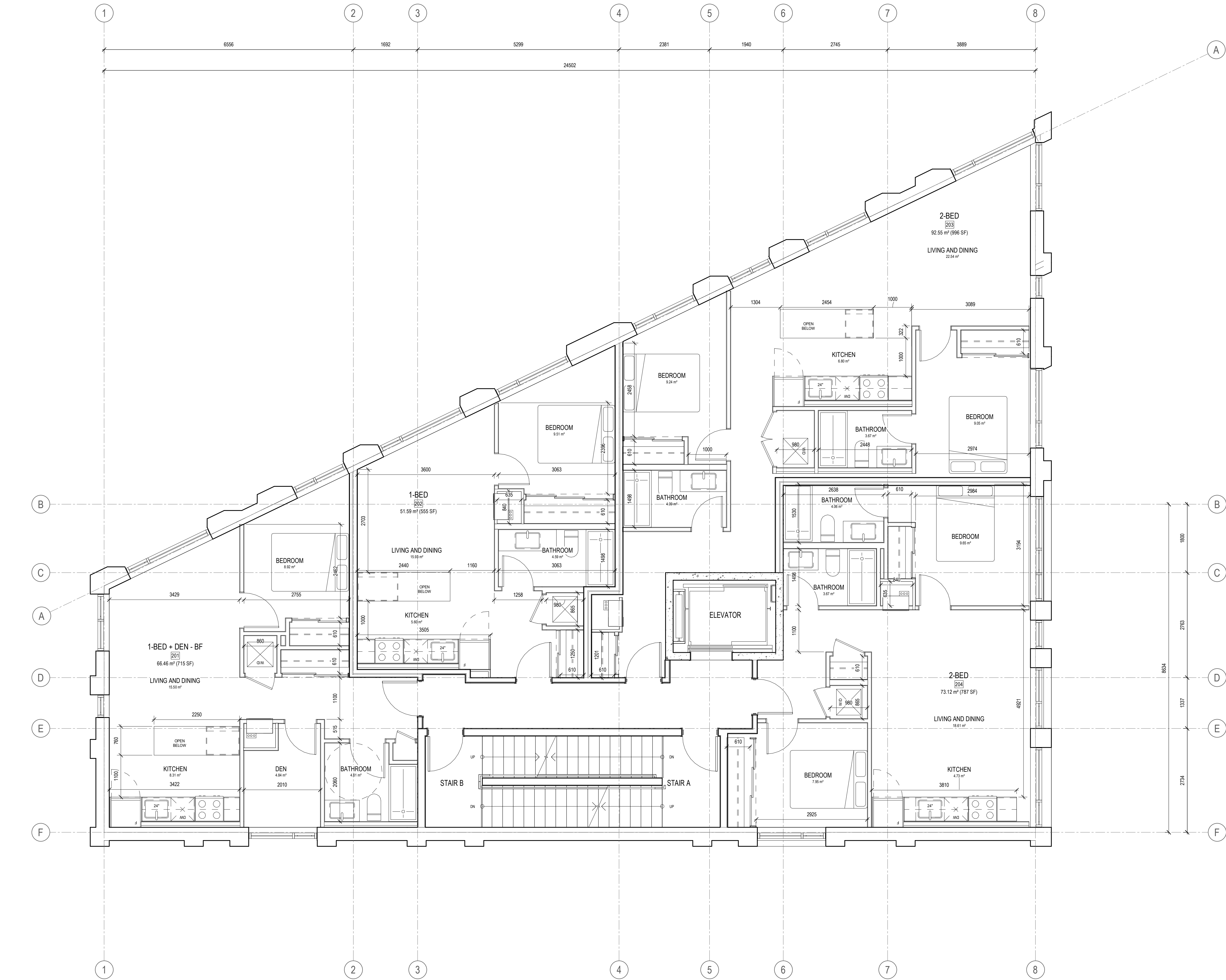
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2405	NOTED	NL	RMK

LEVEL 01 FLOOR PLAN

A101



FLOOR/ROOF PLAN NOTES

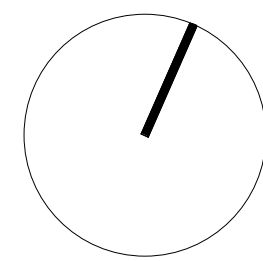
- P1 ROOF ACCESS HATCH
P2 CANOPY ABOVE
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P4 SCUPPER

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5	REISSUED FOR SITE PLAN CONTROL	25-04-22
3	REISSUED FOR SITE PLAN CONTROL	24-10-08
2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

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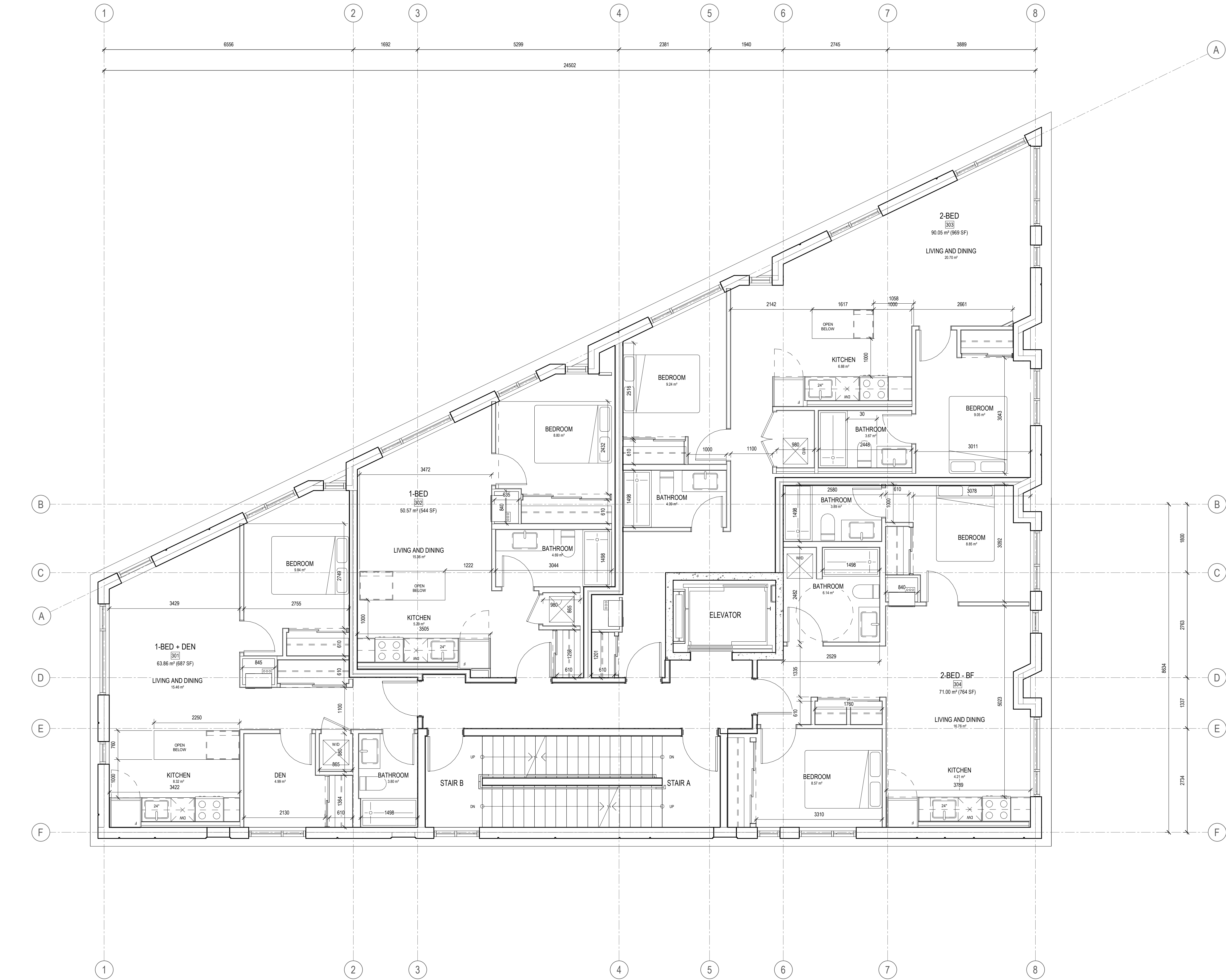
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2405	NOTED	NL	RMK

LEVEL 02 FLOOR PLAN

A102



FLOOR/ROOF PLAN NOTES

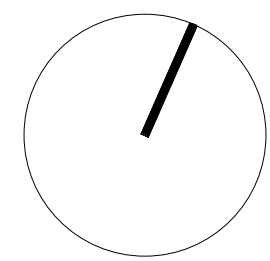
- P1 ROOF ACCESS HATCH
P2 CANOPY ABOVE
P3 GLASS AND ALUMINUM GUARD
P4 SCUPPER

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- 5 REISSUED FOR SITE PLAN CONTROL 25-04-22
3 REISSUED FOR SITE PLAN CONTROL 24-10-08
2 ISSUED FOR SITE PLAN CONTROL 24-10-01
1 ISSUED FOR COORDINATION 24-05-22

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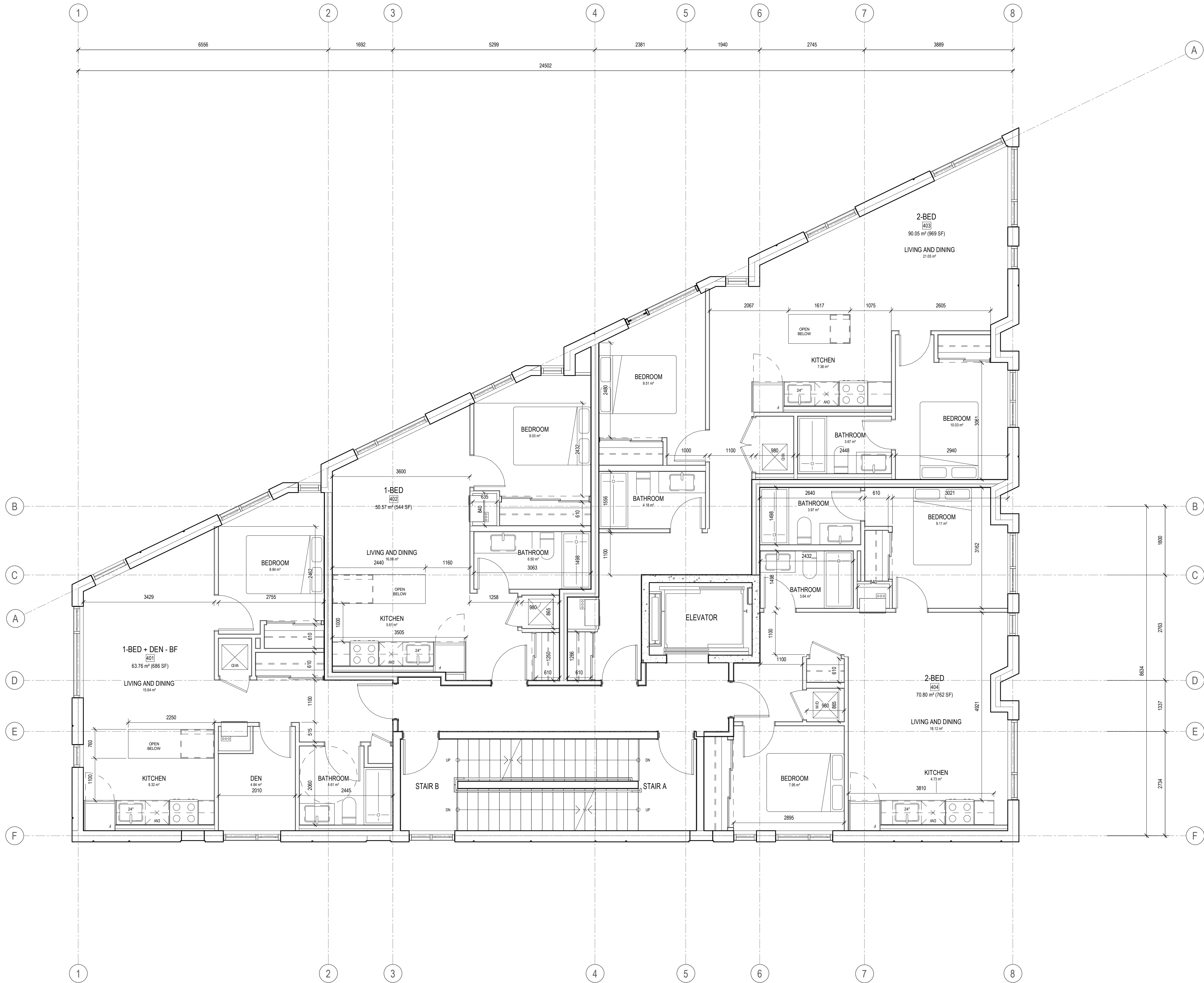
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LEVEL 03 FLOOR PLAN

A103



FLOOR/ROOF PLAN NOTES

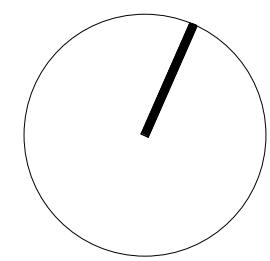
- P1 ROOF ACCESS HATCH
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5	REISSUED FOR SITE PLAN CONTROL	25-04-22
3	REISSUED FOR SITE PLAN CONTROL	24-10-08
2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

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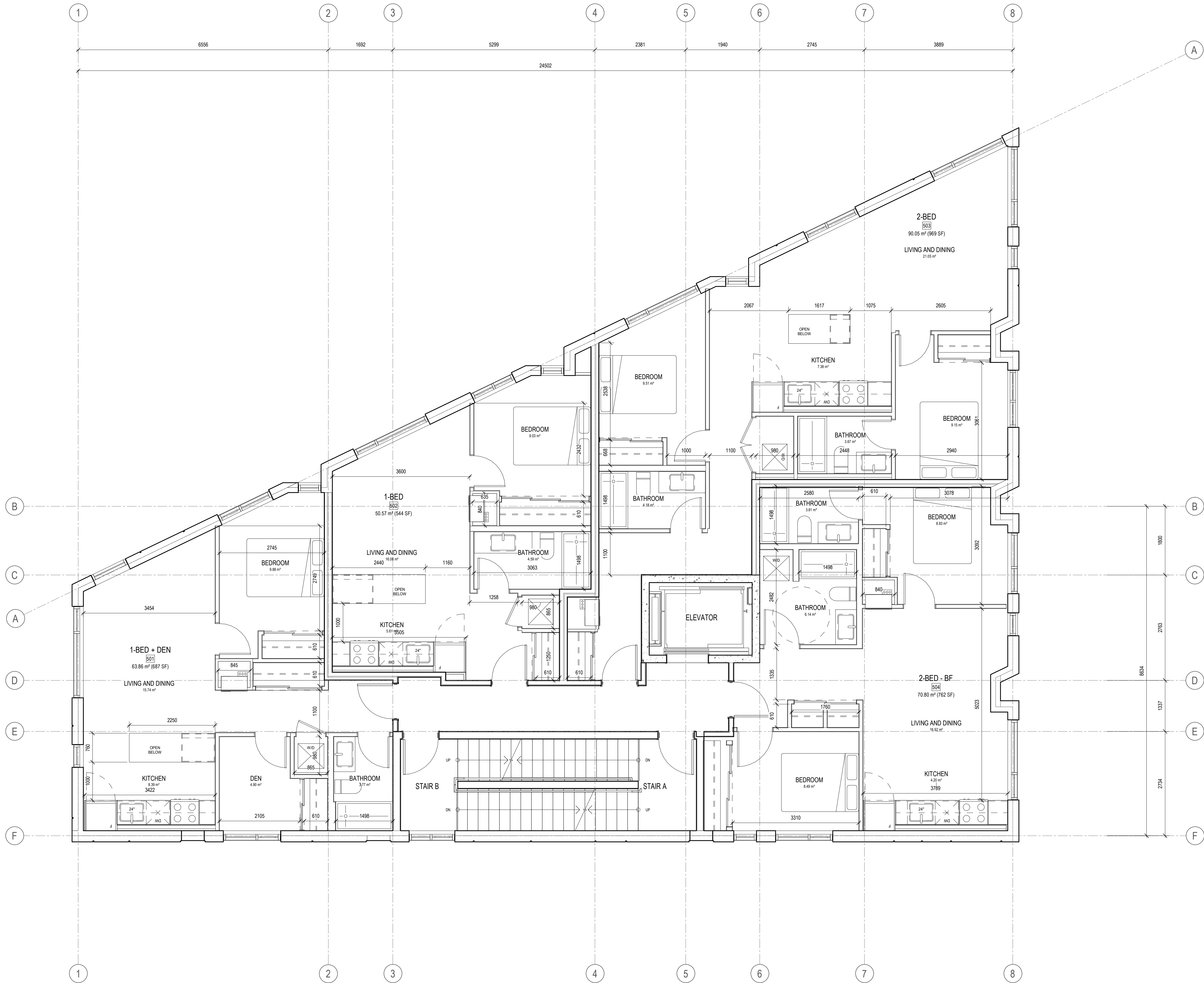
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LEVEL 04 FLOOR PLAN

A104



FLOOR/ROOF PLAN NOTES

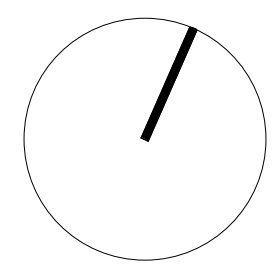
P1 ROOF ACCESS HATCH
P2 CANOPY ABOVE
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5	REISSUED FOR SITE PLAN CONTROL	25-04-22
3	REISSUED FOR SITE PLAN CONTROL	24-10-08
2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

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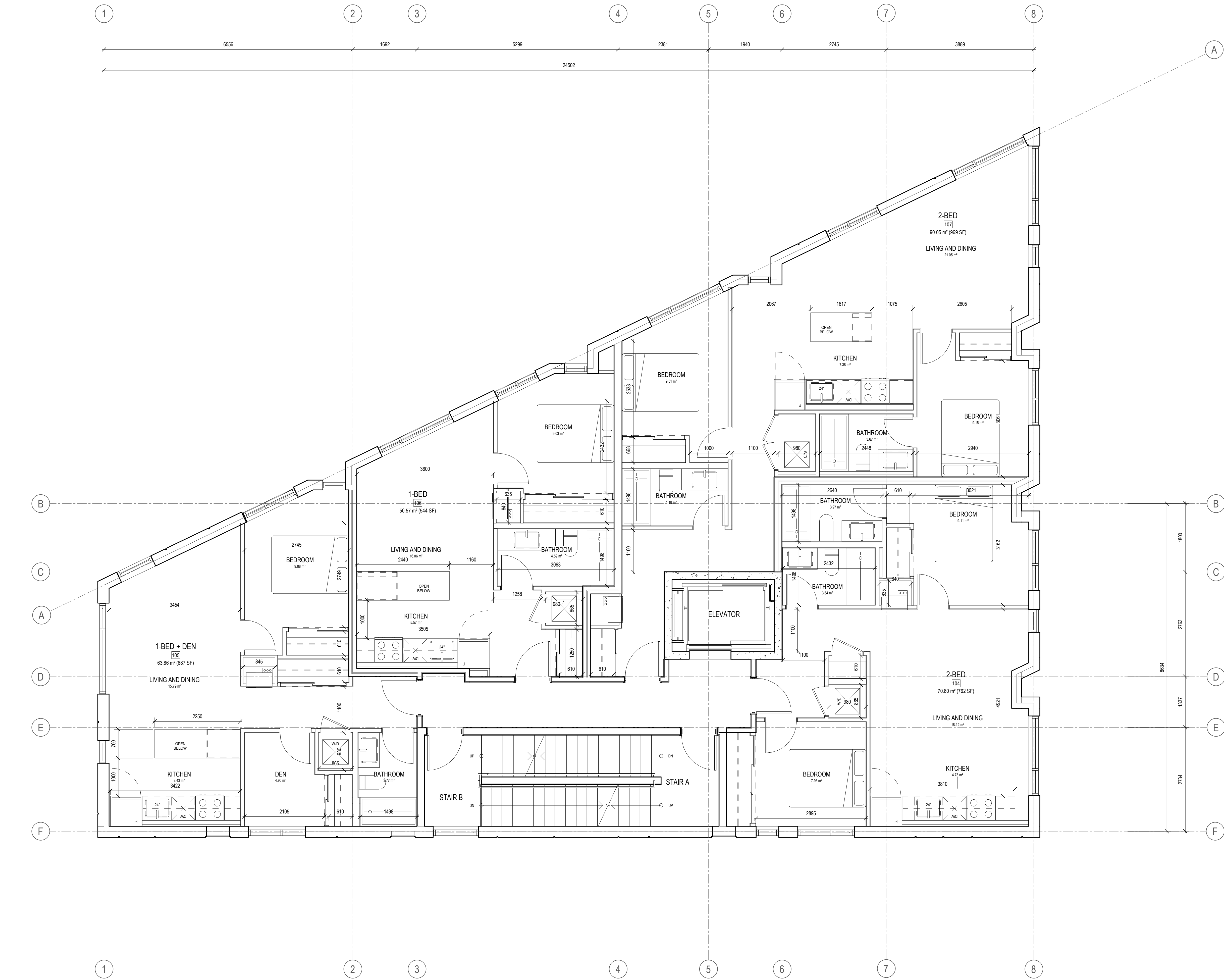
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2405	NOTED	NL	RMK

LEVEL 05 FLOOR PLAN

A105



FLOOR/ROOF PLAN NOTES

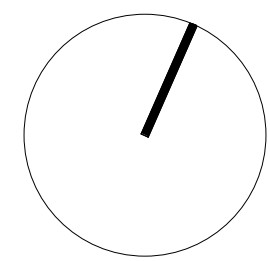
- P1 ROOF ACCESS HATCH
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- 5 REISSUED FOR SITE PLAN CONTROL 25-04-22
3 REISSUED FOR SITE PLAN CONTROL 24-10-08
2 ISSUED FOR SITE PLAN CONTROL 24-10-01
1 ISSUED FOR COORDINATION 24-05-22

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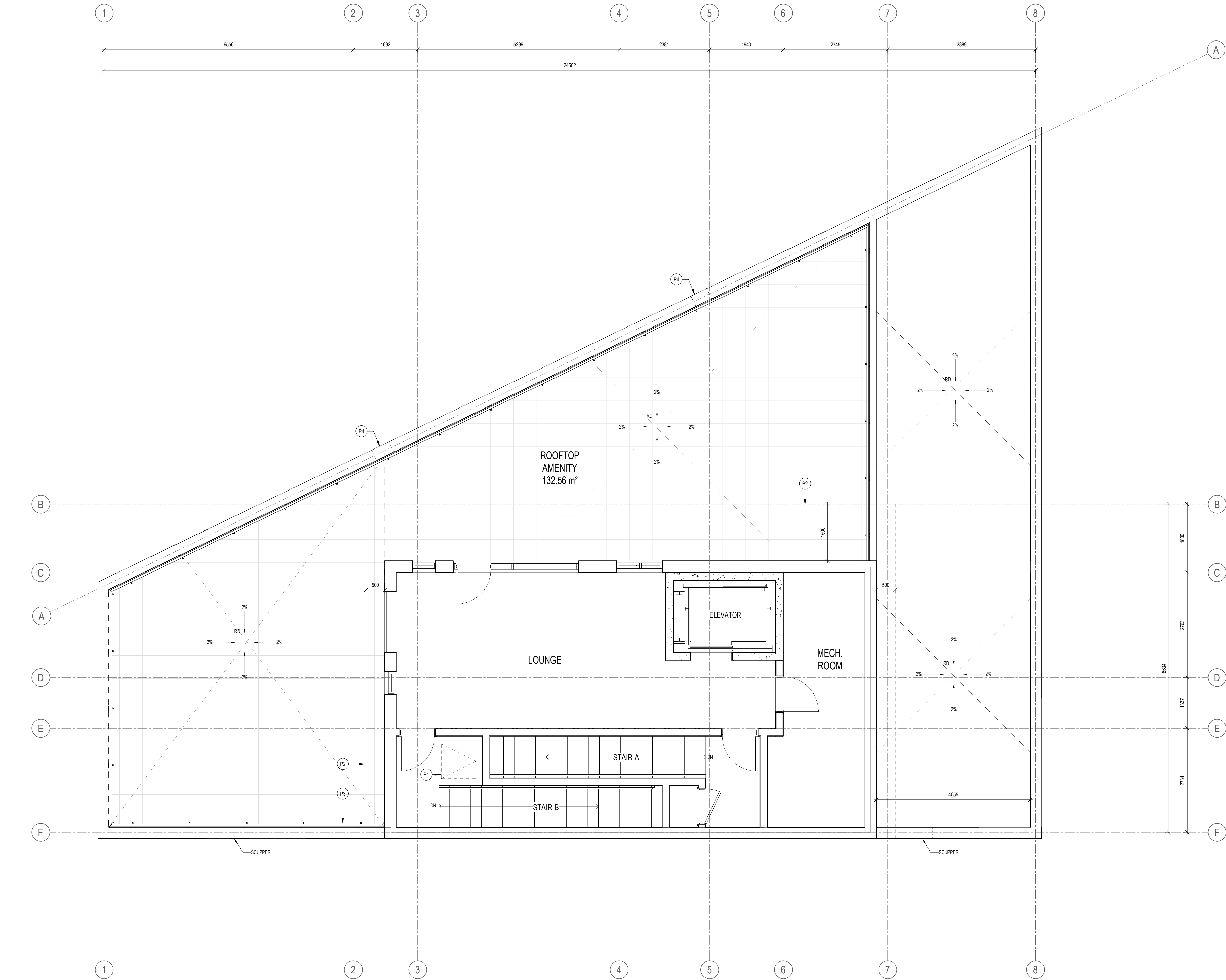
342 Roosevelt Avenue
Ottawa, ON K2A 1Z3

PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

LEVEL 06 FLOOR PLAN

A106

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FLOOR/ROOF PLAN NOTES

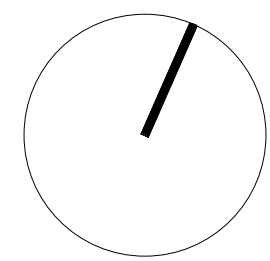
- P1 ROOF ACCESS HATCH
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P4 SCUPPER

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5	REISSUED FOR SITE PLAN CONTROL	25-04-22
3	REISSUED FOR SITE PLAN CONTROL	24-10-08
2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

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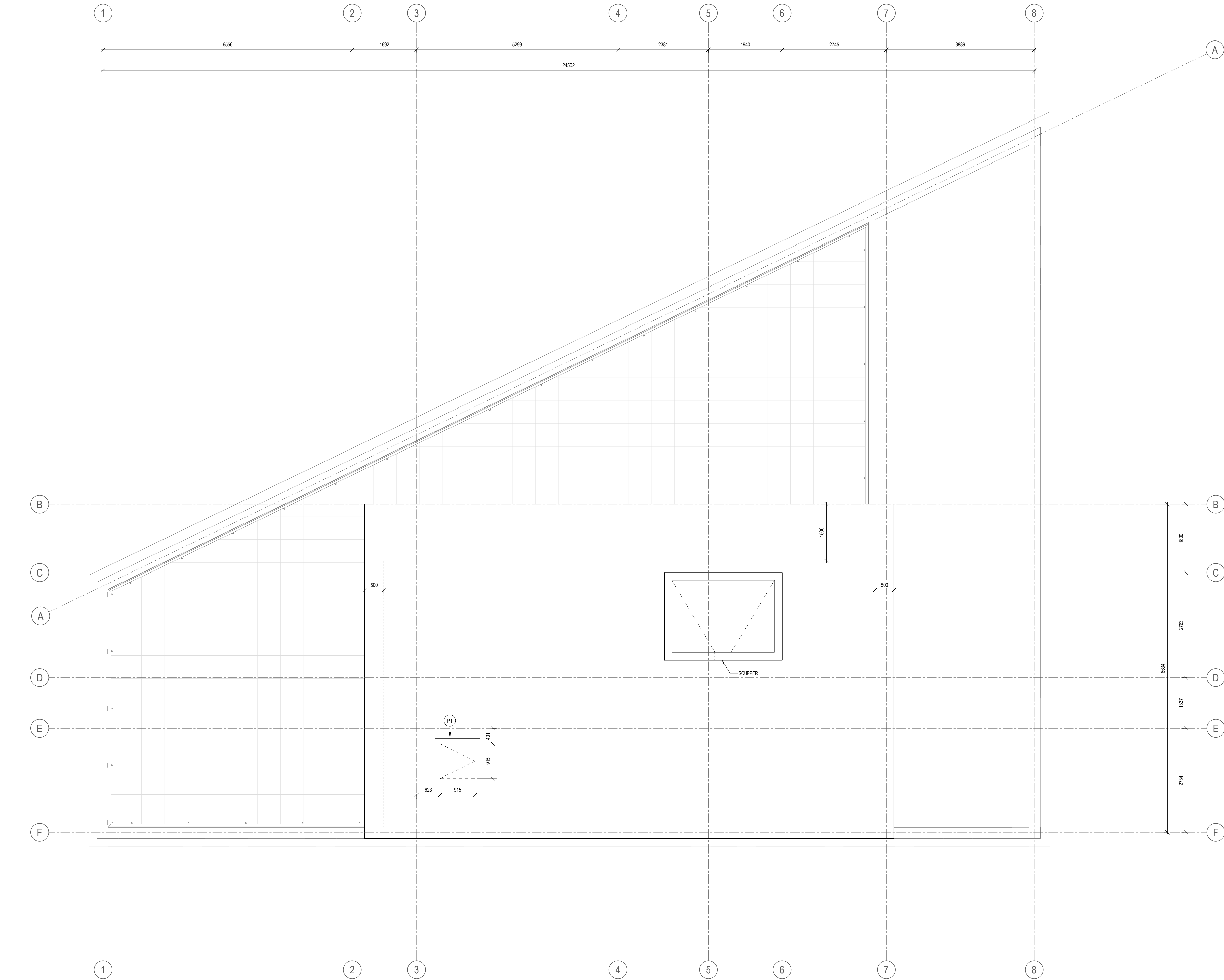
PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

ROOF PLAN

A107

1 ROOF PLAN
A107 SCALE: 1 : 50

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FLOOR/ROOF PLAN NOTES

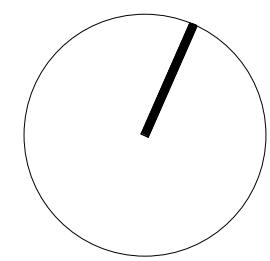
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5	REISSUED FOR SITE PLAN CONTROL	25-04-22
3	REISSUED FOR SITE PLAN CONTROL	24-10-08
2	ISSUED FOR SITE PLAN CONTROL	24-10-01

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2405	NOTED	NL	RMK

UPPER ROOF PLAN

A108



CLADDING LEGEND:

- AL-1 ALUMINUM PANEL BLACK
- AL-2 ALUMINUM PANEL BLACK, DIAGONAL PANELING
- AL-3 ALUMINUM PANEL DARK GREY
- BR-1 BRICK MASONRY BLACK
- GL-1 ALUMINUM AND GLASS RAILING

CLADDING LEGEND
SCALE: 1 : 100

- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 - Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
 - The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 - Positions of proposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 - These documents are not to be used for construction unless specifically noted for such purpose.

5	REISSUED FOR SITE PLAN CONTROL	25-04-22
3	REISSUED FOR SITE PLAN CONTROL	24-10-08
2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

ISSUE RECORD



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Project1 Studio Incorporated
[613.884.3939] | mail@project1studio.ca

342 ROOSEVELT

342 Roosevelt Avenue
Ottawa, ON K2A 1Z3

PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

EAST ELEVATION

A201



CLADDING LEGEND:		
	AL-1	ALUMINUM PANEL BLACK
	AL-2	ALUMINUM PANEL BLACK, DIAGONAL PANELING
	AL-3	ALUMINUM PANEL DARK GREY
	BR-1	BRICK MASONRY BLACK
	GL-1	ALUMINUM AND GLASS RAILING

CLADDING LEGEND
SCALE: 1 : 100

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Ottawa, ON K2A 1Z3

PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

NORTH ELEVATION

A202



CLADDING LEGEND:

- AL-1 ALUMINUM PANEL BLACK
- AL-2 ALUMINUM PANEL BLACK, DIAGONAL PANELING
- AL-3 ALUMINUM PANEL DARK GREY
- BR-1 BRICK MASONRY BLACK
- QL-1 ALUMINUM AND GLASS RAILING

CLADDING LEGEND

SCALE: 1 : 100

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2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

ISSUE RECORD



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PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

WEST ELEVATION

A203



CLADDING LEGEND:		
	<AL-1>	ALUMINUM PANEL BLACK
	<AL-2>	ALUMINUM PANEL BLACK, DIAGONAL PANELING
	<AL-3>	ALUMINUM PANEL DARK GREY
	<BR-1>	BRICK MASONRY BLACK
	<GL-1>	ALUMINUM AND GLASS RAILING

CLADDING LEGEND
SCALE: 1 : 100

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2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

ISSUE RECORD



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PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

SOUTH ELEVATION

A204