

1 SITE LOCATION MAP
SCALE: 1:1,250

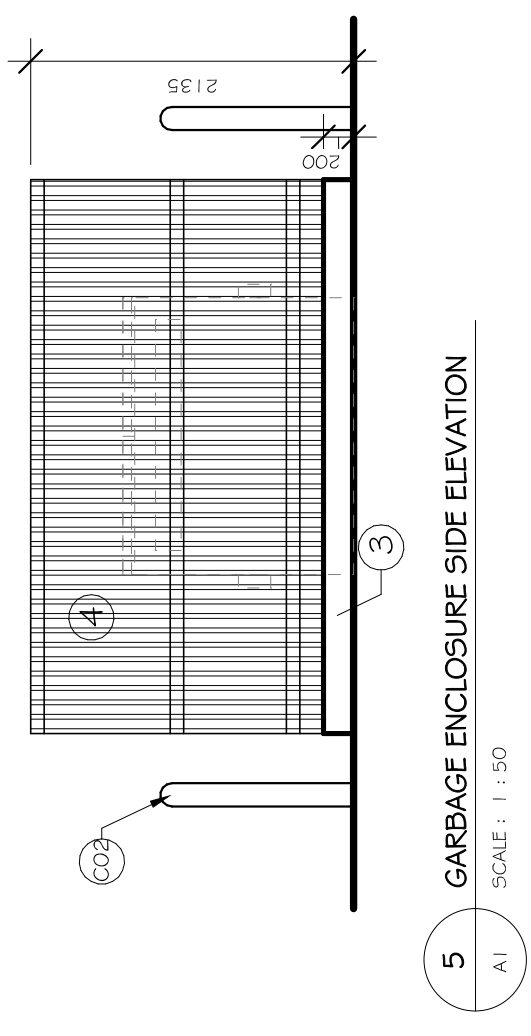
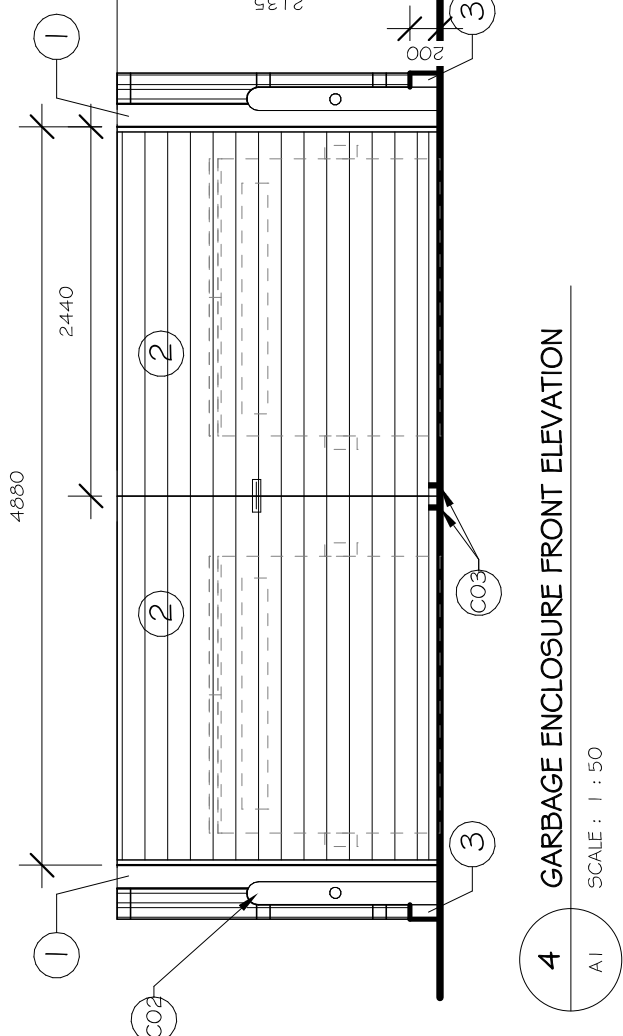
ZONING INFORMATION
2375 ST-LAURENT BLVD
WARD: 10
GLOUCESTER-SOUTHGATE: DIANE DEANS
AREA C SUBURBAN PLAN

ZONE PROVISIONS:

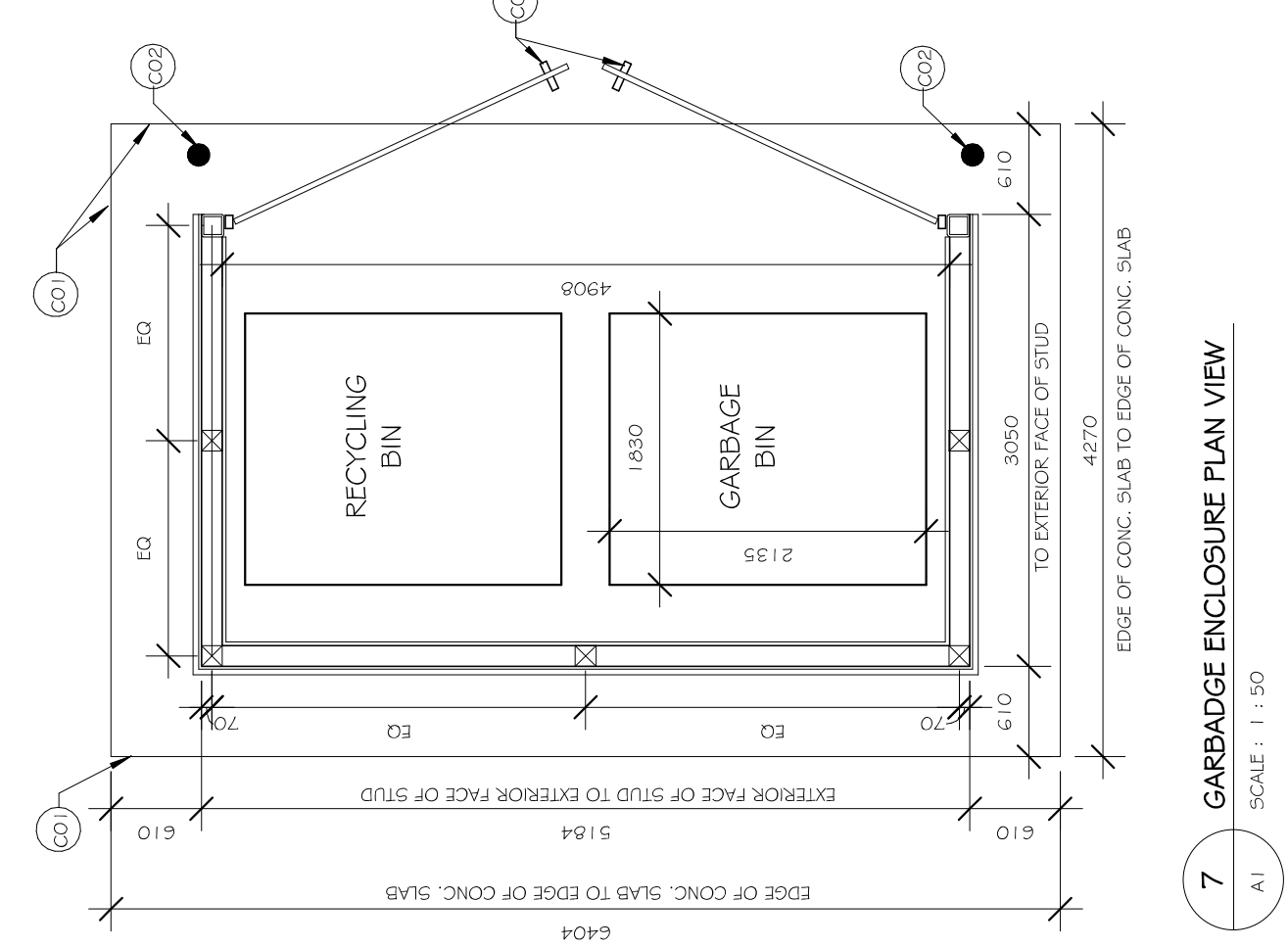
REQUIRED	2000 sq.m
MIN. LOT AREA:	6589.8 sq.m
MIN. LOT WIDTH:	51.640 mm
MAX. LOT COVERAGE:	65% (4283.45 sq.m.)
MIN. FRONT YARD SETBACK:	7500 mm
MIN. INTERIOR SIDE YARD:	7500 mm
MIN. REAR YARD:	3500mm
(ABUTTING HYDRO EASEMENT):	2 (13179.86 sq.m.)
MAX. FSI:	0.8 / 100 sq.m GFA
PARKING:	PHASE 1: 930 sq.m. PHASE 2: 0
BICYCLE:	PHASE 1: 930 / 1000 x 0.8 = 7.4 = 8 PHASE 2: 1 / 2000 sq.m GFA PHASE 1: 930 / 2000 = 0.46 = 0

PROVIDED

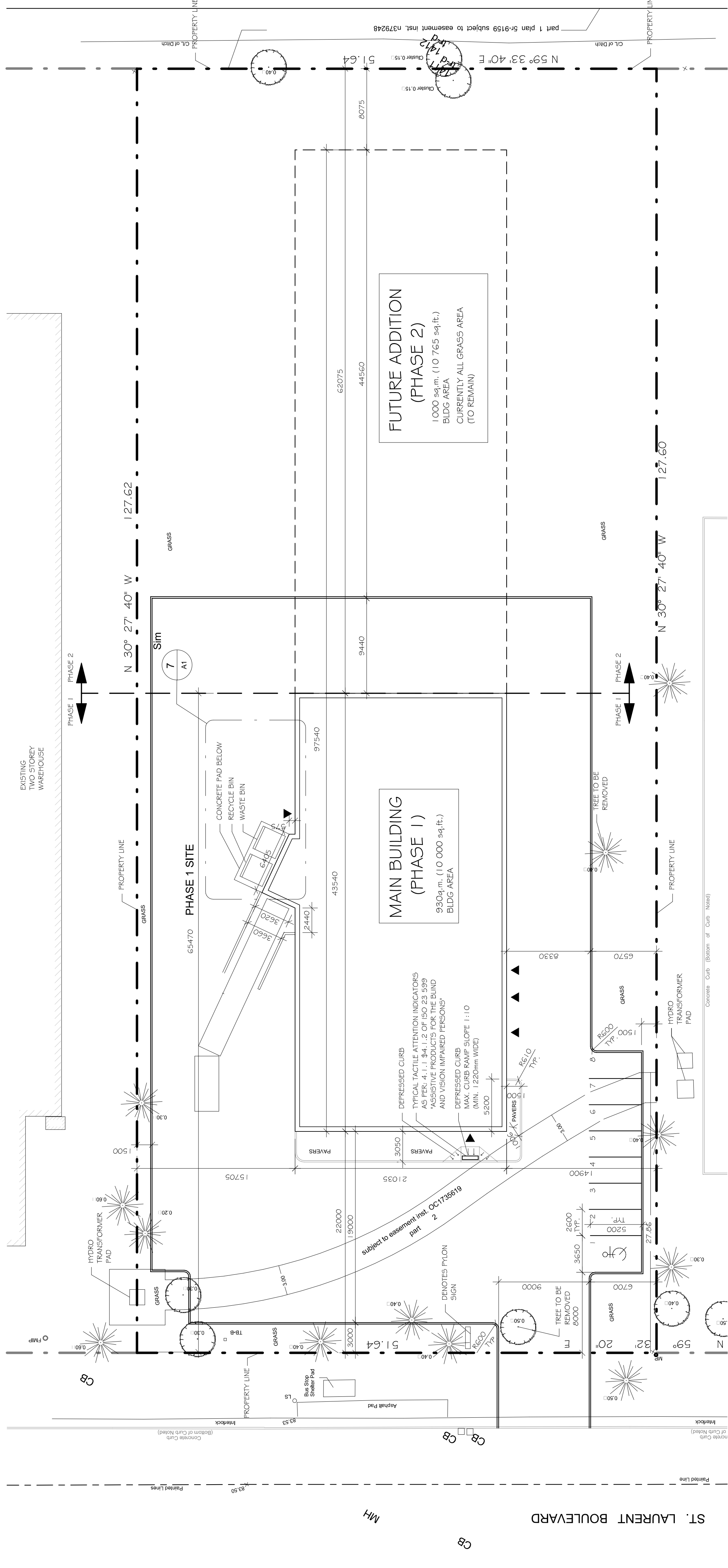
6589.8 sq.m	8 INCLUDING 1 ACCESSIBLE
51.640 mm	0
65% (4283.45 sq.m.)	
22000 mm	
14900 mm	
8000 mm	
PHASE 1: 930 sq.m.	
PHASE 2:	



- MATERIALS:**
- 1 PAINT PROTECTED EXPOSED HSS
 - 2 EXPOSED TREATED LUMBER WITH STAIN FINISH
 - 3 PARKING WITH SACK RUBBED FINISH ON EXPOSED CONCRETE
 - 4 CORRUGATED METAL PANEL EQUIVALENT TO: "VICWEST CL 7040" COLOUR - CAMBRIDGE WHITE



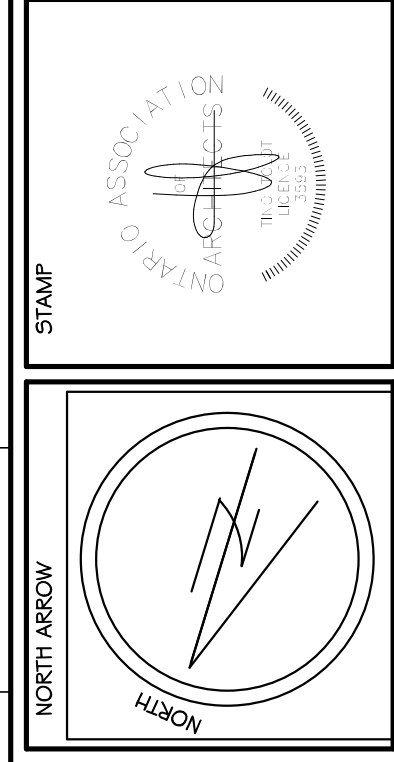
- CONSTRUCTION NOTES FOR SHEET A1:**
- 1 DENOTES EDGE OF CONC. SLAB BELOW.
 - 2 ROLLWAD TO LATER DETAIL.
 - 3 SUPPORT WHEELS FOR OPERABLE DOOR STABILITY.



NOTES:

1. DO NOT SCALE DRAWING.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE ANY WORK COMMENCES.
3. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE LANDSCAPING, STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS.
4. VERIFY DIMENSIONS WITH SURVEY DRAWINGS PREPARED BY FARLEY, SMITH & DENIS SURVEYING LIMITED DATED JULY 30, 2008. FILE NO. 280-08.

NO.	DATE	DESCRIPTION	REVISION
3.	JANUARY 2018	ISSUED FOR SITE PLAN CONTROL	
2.	DECEMBER 2017	ISSUED FOR COORDINATION	
1.	SEPTEMBER 2017	ISSUED FOR CLIENT REVIEW	



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JOB TITLE NEW BUILDING FOR 2465070 ONTARIO LTD 2375 ST-LAURENT BLVD. OTTAWA, ON	
DRAWING TITLE ARCHITECTURAL SITE PLAN	
DATE DRAFTSMAN SCALE	JOB No. 1728 REVISION AS NOTED
DRAWN BY ALEX. B.	DRAWING AI
CHECKED BY TIMO. T.	