

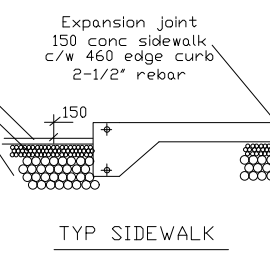
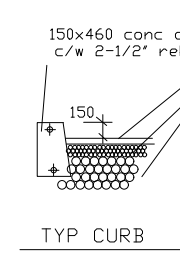
NOTE:

1. Cut and remove top 1/3 of burlap from rootball.

2. Water thoroughly after planting.

3. Wrap tree trunk for protection from climatic conditions.

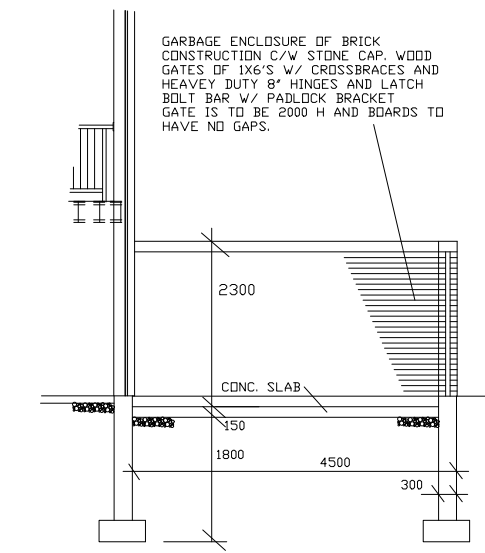
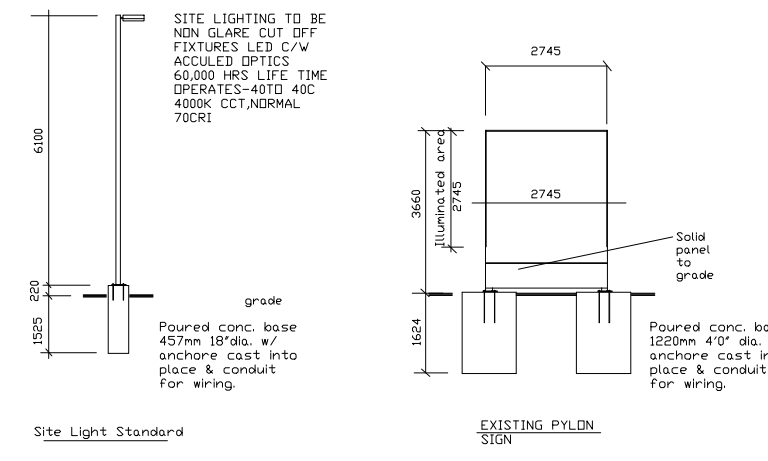
4. Remove tree ring and stakes in 1 yr.



QTY	KEY	Common Name	Botanical	SIZE	ROOT	REMARKS
3	02	LEWISIAN RED MAPLE	ACER RUBRUM	600mm	RLB	
4	04	EMERALD LINDEN	PLATANUS HYBRIDUS	600mm	RLB	
12	05	COLDHARDY BLUE SPURGE	SPICEA FRANKENS. QUINQUE	1500 x	RLB	
12	06	REDWOOD	SEWIA ALBA	300mm	potting	900 cc
15	07	FR. SP. SP. SP. SP. SP.	SP. SP. SP. SP. SP.	300mm	potting	900 cc
5	08	HOLLY BLUE SPURGE	HEX. METEORICAE	300mm	potting	900 cc
21	09	REDWOOD	SEWIA ALBA	300mm	potting	900 cc
8	10	REDWOOD	SEWIA ALBA	300mm	potting	900 cc
16	11	SILVER GRASS	POA ALBA	300mm	potting	600 cc
14	12	REDWOOD	SEWIA ALBA	300mm	potting	600 cc

ALL AREAS DAMAGED BY CONSTRUCTION SHALL BE REINTEGRATED WITH HYBRID SEED LOCAL GRASS MIX

NOTES: PLANT MATERIAL PROTECTION: CONSTRUCTION FENCES SHALL BE PROVIDED TO PROTECT ALL EXISTING PLANT MATERIAL DURING CONSTRUCTION. FENCING TO BE ERECTED AT THE CRITICAL POINTS OF THE PROJECT. THE FENCE SHALL NOT BE PLACED ANYWHERE NEAR OR WITHIN THE TREE PROTECTION ZONE. THE FENCE SHALL NOT BE PLACED ANYWHERE NEAR OR WITHIN THE TREE PROTECTION ZONE. THE FENCE SHALL NOT BE PLACED ANYWHERE NEAR OR WITHIN THE TREE PROTECTION ZONE.



ONTARIO BUILDING CODE DATA MATRIX PART 3 AND 9

- NEW CONVENIENCE STORE W/ FAST FOOD AREA 6175 ROCKDALE RD
- GROUP E MERCANTILE OCCUPANCY
- BUILDING AREA FOOT PRINT 336.49 M (3610 SQFT)
- GROSS BLDG. AREA GDFL 336.49M + 57M SEC.FL. (609 SQFT)
- ONE STOREY PLUS PARTIAL SEC. FL.
- HT. OF BUILDING 6M (19'6")
- FRONTING DNTD ROCKDALE RD AND RUSSLAND RD (3 STREETS)
- BUILDING CLASSIFICATION : GROUP E, UP TO 2 STOREYS
- 3:2:2:61 FACING 3 STREETS ALLOWED UP TO 900M PERMITTED COMBUSTIBLE OR NON COMBUSTIBLE OR MIXED. FLOOR ASSEMBLIES 45 MIN. LOAD BEARING WALLS 45 MIN.
- BUILDING NOT SPRINKLERED
- STAND PIPE NOT REQUIRED.
- FIR ALARM NOT REQUIRED.
- WATER SERVICE ON PRIVATE WELL.
- NOT A HIGH BUILDING.
- PERMITTED CONSTRUCTION COMBUSTIBLE OR NON COMBUSTIBLE OR MIX
- SECOND FLOOR (PARTIAL) 57M (609 SQFT)
- OCCUPANT LOAD AS PER TABLE 3.1.7.1 106 PEOPLE. HANDICAP WC IS REQUIRED.
- BARRIER FREE ACCESS IS PROVIDED.
- NO HAZARDOUS SUBSTANCES PRESENT.
- REQUIRED FIRE RATINGS: FLOOR 45 MIN. ROOF N/A WALLS N/A STRUCTURE 45 MIN.
- SPATIAL SEPARATION (TABLE 3.2.3.1 C)

AREA	% OPENINGS	DIST.	ALLOWED	FRR	CONST.
NORTH	80 M	11.25	7600	24%	45 MIN. LOAD BEARING COMPONENTS
SOUTH	80 M	0	15000	98%	NON COMBUSTIBLE
EAST	152	0	12000	40%	NON COMBUSTIBLE
WEST	152	N/A	INT.	100%	NON COMBUSTIBLE

6175 ROCKDALE RD. CONC. 6 PT. LOT 27 RP 50R-5729 PART 1,2 & 3 (IRREG.) OFFICIAL PLAN LAND USE DESIGNATION : GENERAL RURAL AREA

ZONE	RC	REQUIREMENT	PROVIDED
DESCRIPTION			
MIN LOT WIDTH	20M	4800 M	
MIN LOT AREA	4,000 SQM	4,000 SQM	
MIN FRONT YARD SETBACK	5M	5M	
MIN REAR YARD SETBACK	5M	5M	
MIN INTERIOR SIDE YARD SETBACK	5M (MINIMUM 4M)	5M	
MAX BUILDING HT	12M	3.6 M	
MAX LOT COVERAGE	25%	.37%	
GREEN FLOOR AREA TRAILER		38 SQ M	
PARKING SPACES FOR RESIDENTIAL (2.7 / 100 SQ M)	1	14 SPACES	
STORE/GAS BAR (250 SQ M / 3 / 100M)		15 SPACES	
RESTAURANT (800M / 18 / 100M)		15 SPACES	
DRIVE THRU		15 SPACES	
LOADING SPACE		1 SPACE	

NO CHANGES TO EXISTING GRADES.

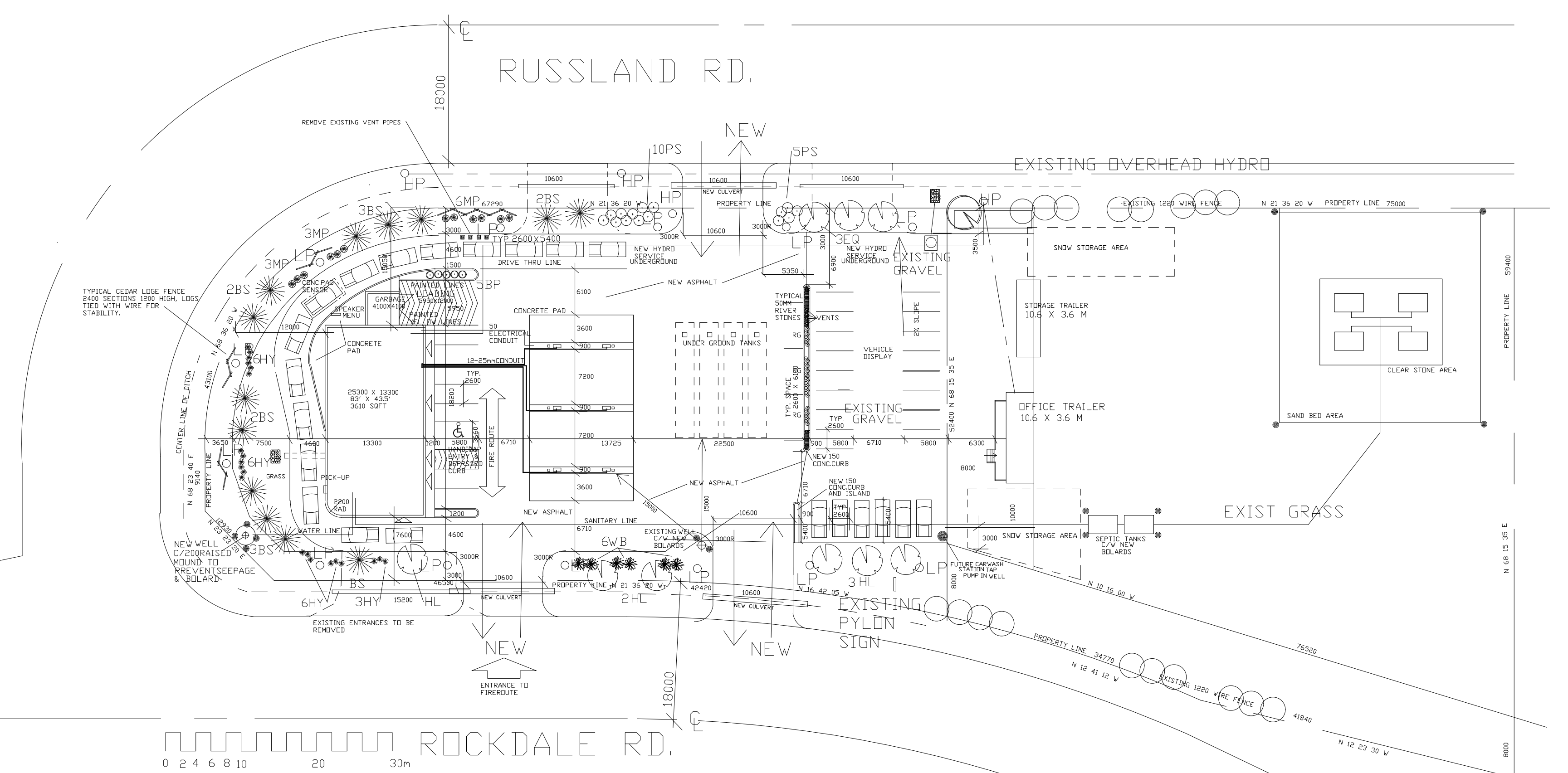
LEGEND

- INDICATES EXISTING WILD BUSHES
- INDICATES EXISTING TREE 300MM
- HP INDICATES EXISTING HYDRO POST C/W OVERHEAD ELECTRICAL SERVICE WIRES
- ARROWS INDICATE SLOPE OF EXISTING GRAVITY DRAINAGE TO EXISTING SERVICE ROAD DITCHES
- LR INDICATES EXISTING LIGHT STANDARDS 5500 H. C/W CUT OFF LIGHT FIXTURES AND CONNECTED TO EXISTING GAS BAR
- 6" BOLARDS FILLED WITH CONCRETE
- CEDAR LOG FENCE
- DRAINAGE RIP RAP

0 2 4 6 8 10 20 30m
1 : 500

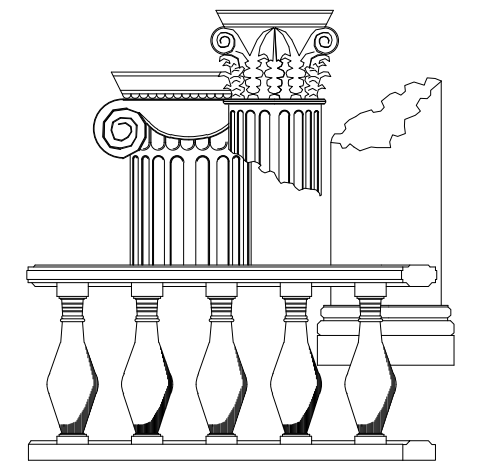
SITE PLAN
LANDSCAPE PLAN

6175 ROCKDALE RD.
CONC 6 PT LOT 27 RP 50R-5729 PART 1,2 AND 3 (IRREG.)
ALL INFORMATION FROM SURVEY BY FARLEY, SMITH & MURRAY SURVEYING LTD. FEBRUARY 11, 1988

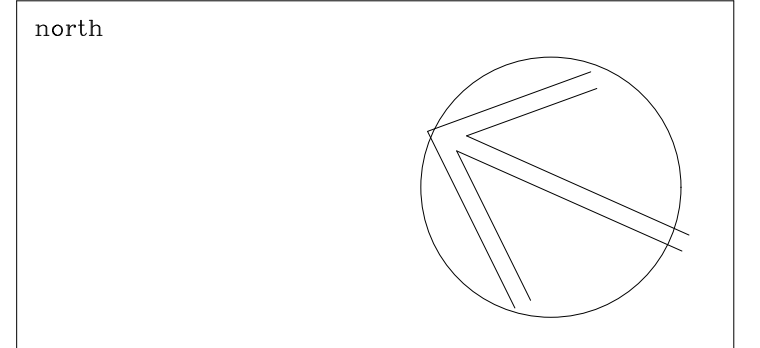


REVISIONS		
no.	description	date
3	REVISED MAR. 12/2019	
2	REVISED APRIL 30 2018	
1	EXISTING SITE PLAN APPROVAL JULY 2016	

These plans remain the property of the designer and may be used only for the purpose for which they were issued; contractors shall check and verify all dimensions on the job site and report any errors or omissions to the designer before work continues or the contractor will be held responsible. Each contractor shall be responsible to ensure that the work is in accordance with the building code. The designer is not responsible for any errors or omissions if work commences before building permit is issued.



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client
GHADA EL-SEBLANI
6175 ROCKDALE ROAD
RR1
VARS DNT. K0A 3H0

title
SITE PLAN
LANDSCAPE PLAN

date	JANUARY 2018	
scale	1:400	
designer	ez.jr. b.arch.	
co ordinator		job no.
drawn by	ez.jr. b.arch.	dwg.no.
approved	date	
Not for construction until signed by client.		S1