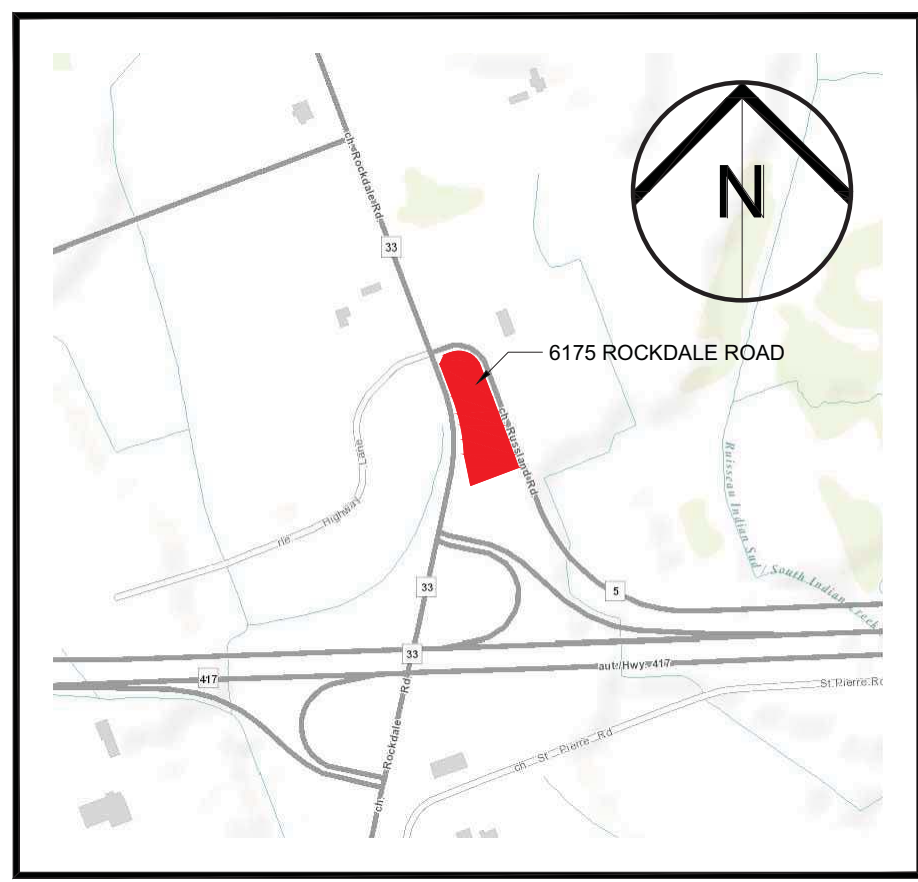




1
A0
Location Plan
Scale = N/A

LEGAL DESCRIPTION: LOT 27 & LOT 28 PIN14557-0136

PROPERTY:

PROPERTY AREA: 9115.9 sq.m
FRONTAGE: 48.77 m
DEPTH: 172.96 m
PROPOSED BUILDING FOOT PRINT: 336 sq.m
EXISTING BUILDING FOOT PRINT: 94.84 sq.m
PROPOSED LOT COVERAGE: 4.7%

SITE BOUNDARY INFORMATION DERIVED FROM SURVEY OF PROPERTY, PART OF LOTS 27 & 28 CONCESSIONS 6 AND CONCESSION 7 (CLOSED BY INST. No. RR83392), GEOGRAPHIC TOWNSHIP OF CUMBERLAND, CITY OF OTTAWA, SURVEYED BY FARLEY, SMITH & DENIS SURVEYING LTD, MAY 17, 2024, PLAN 50R-5729

ZONING:

MINIMUM LOT WIDTH: 30 m
MINIMUM LOT AREA: 4000 sq.m
MINIMUM FRONT YARD SETBACK: 10 m
MINIMUM REAR YARD SETBACK: 10 m
MINIMUM INTERIOR SIDE YARD SETBACK: 6 m
MINIMUM CORNER YARD SETBACK: 11 m
MAXIMUM BUILDING HEIGHT: 11 m
MAXIMUM LOT COVERAGE: 25%

PARKING REQUIREMENTS:

USE	RATE	AREA	SPACES REQUIRED	SPACES PROVIDED
FAST FOOD	10 PER 100 SQ.M	80 SQ.M	8	9
RETAIL STORE	3.4 PER 100 SQ.M	256.6 SQ.M	8.72	9
CAR DEALERSHIP	.75 PER 100 SQ.M	38.16 SQ.M	0.29	
ACCESSORY STORAGE TO CAR DEALERSHIP	.75 PER 100 SQ.M	56.49 SQ.M	0.42	1 EMPLOYEE 14 DISPLAY
GAS BAR	N/A	N/A	N/A	N/A
DRIVE THROUGH (WITH ORDER BOARD)	7 BEFORE/AT ORDER BOARD MINIMUM 11	N/A	7 BEFORE/AT ORDER BOARD MINIMUM 11	7 BEFORE/AT ORDER BOARD 4 BEFORE/AT PICK UP WINDOW
			TOTAL:	32 PARKING SPACES 11 QUEUE SPACES

BARRIER FREE SPACES PROVIDED: 1
BICYCLE PARKING SPACES PROVIDED: 2

GENERAL NOTES FOR DRAWING A0:

A. REFER TO L1.1 FOR PLANT LIST.

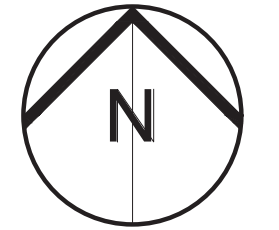
NOTES FOR DRAWING A0:

- CANOPY ABOVE, CONCRETE PAD AT GRADE.
- DEPRESSED CURB
- GRAVEL TO REMAIN, REGRADED AS REQUIRED, REFER TO CIVIL.
- ASPHALT.
- PAVED ENTRY.
- CULVERT.
- EXISTING ENTRY TO BE REMOVED.
- EXISTING WELL TO BE DECOMMISSIONED.
- EXISTING SIGN TO REMAIN.
- TYPICAL GAS PUMP STATION ON CONCRETE CURB.
- GARBAGE STORAGE.
- LOADING SPACE.
- SNOW STORAGE.
- ORDER BOARD.
- PICK-UP WINDOW.
- SEPTIC TANKS.
- BOLLARD.
- SEPTIC FIELD.
- UNDERGROUND GAS TANKS.
- BICYCLE RACK.
- DRAINAGE RIP RAP.
- STORM DRAIN, REFER TO CIVIL.
- TYPICAL QUEUE SPACE 3000 x 5700.
- CONCRETE PAD VEHICLE SENSOR.
- PROPOSED LOCATION OF NEW WELL, FOUR BOLLARDS TO BE PLACED EQUALLY AROUND.
- EXISTING EXTENT OF PAVEMENT, TO BE MODIFIED TO SUIT NEW LAYOUT.
- WOODEN FENCE, REFER TO LANDSCAPING PLAN FOR DETAIL.
- PAINTED PEDESTRIAN WALK.

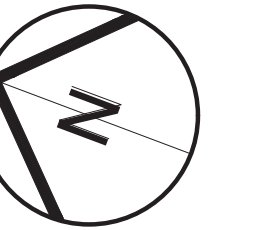
- GAS TANK VENTS.
- RAISED CONCRETE CURB.
- APPROXIMATE CENTER LINE OF ROAD.
- PROTECTED RIGHT-OF-WAY.
- EXTENDED CURB FOR FIRE ROUTE SIGNAGE.
- MTO HIGHWAY PROPERTY LINE.
- MTO HIGHWAY PROPERTY LINE 14m STRUCTURE SETBACK.
- MTO HIGHWAY PROPERTY LINE 30m WELL SETBACK.
- GRAVEL ENTRY.
- RIGHT ONLY SIGN.
- SEMI PERMEABLE LANDSCAPING PAVERS.
- 127 x 127 x 6mm H.S.S. STEEL POST.
- 102 x 50 x 5mm H.S.S. STEEL FRAME - TYPICAL.
- 38 x 140mm PRESSURE TREATED LUMBER SPACED @150mm O.C. FINISHES TO MATCH EXISTING.
- GATE CONSTRUCTION:
- 76.2 x 76.2 x 6.35mm H.S.S. ALL 4 SIDES AND DIAGONAL.
- 250mm SOND TUBE TO EXTEND 1500mm BELOW GRADE.
- 12mm DIA. x 200mm LONG STAINLESS STEEL SURFACE BOLT.
- GATE LATCH.
- 50 x 50 x 6mm. BOLT GUIDES WELDED TO GATE FRAMES.
- LOCKING DEVICE.
- 100 x 200 x 10mm. STEEL PLATE FASTENED TO PRESSURE TREATED LUMBER FACING.
- 50 x 50 x 6mm BOLT REST.
- HEAVY DUTY CUSTOM PIVOT HINGE.
- 1/4" TAPCON FASTENER BY ENGINEER.
- BASE PLATE WELDED TO UNDERSIDE OF POST, 250 x 250 x 12mm STEEL PLATE ON 25mm SETTING BED C/W 4-12M DIA. ANCHOR BOLTS.
- BARRIER FREE PARKING SIGNAGE (BILINGUAL FRENCH/ENGLISH).
- METAL POST.
- FIRE ROUTE SIGNAGE.

LEGEND FOR DRAWING A0:

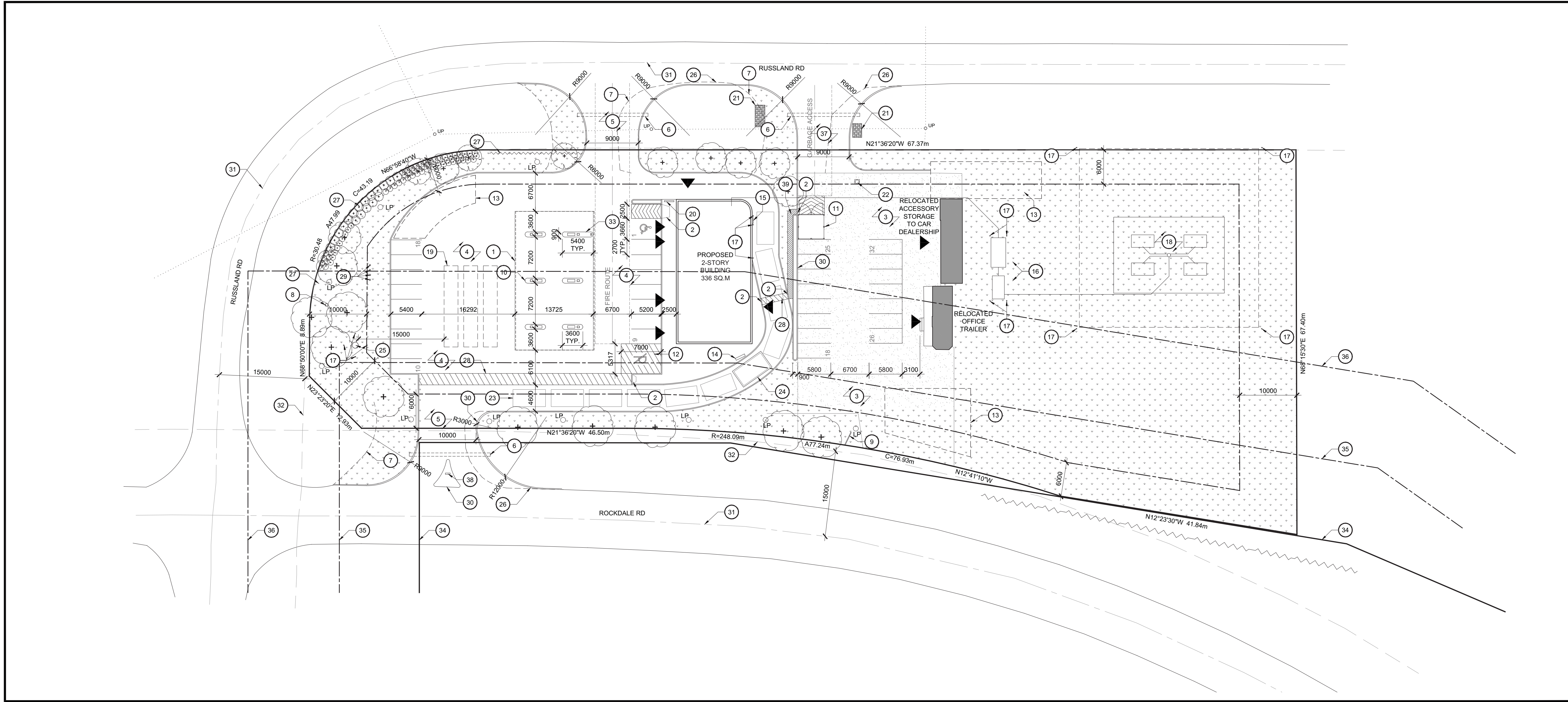
- (X) DRAWING NOTE ANNOTATION.
- NEW DOOR
- BUILDING ENTRANCE
- LP LIGHT POST
- UP UTILITY POST
- SOD
- GRAVEL
- PLANTINGS
- PROPERTY LINE
- SET BACK
- OVERHEAD WIRE
- FENCE
- SANITARY



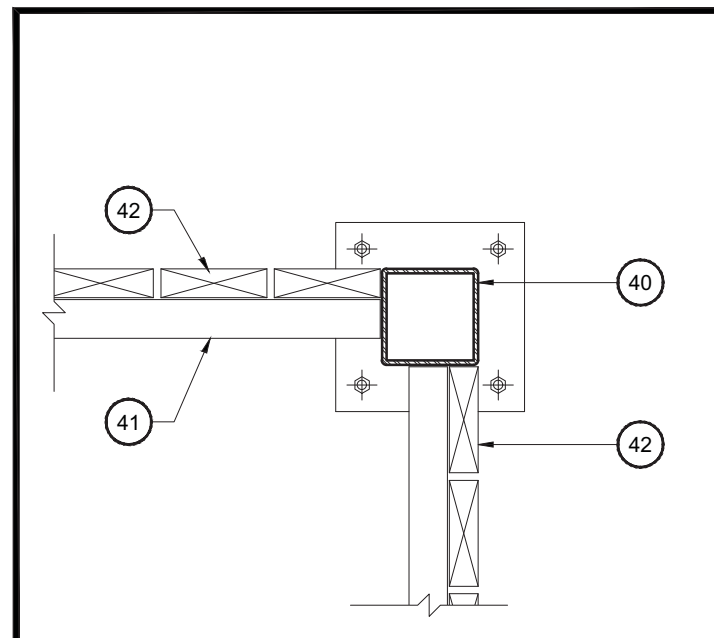
CONSTRUCTION NORTH



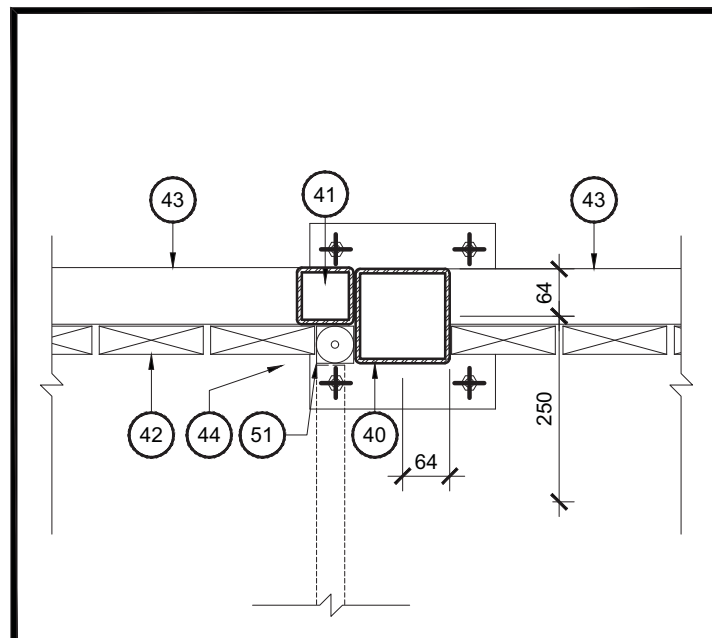
TRUE NORTH



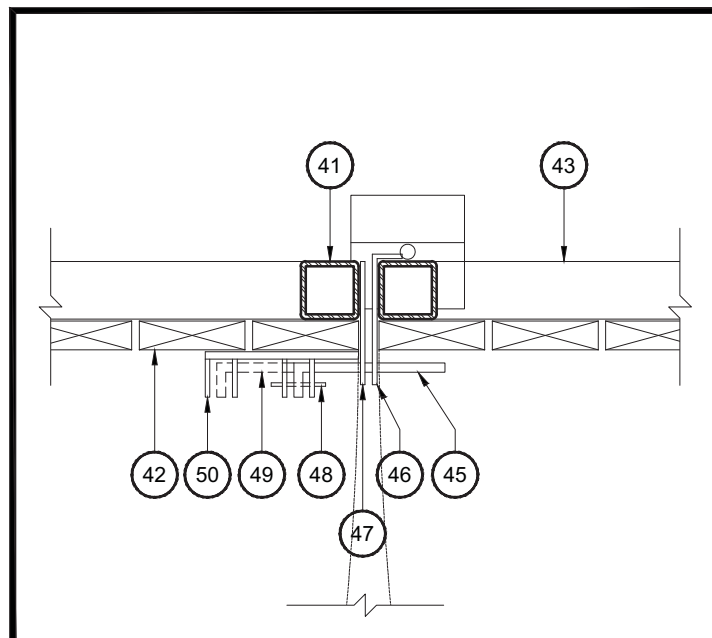
2
A0
Site Plan
Scale = 1:400



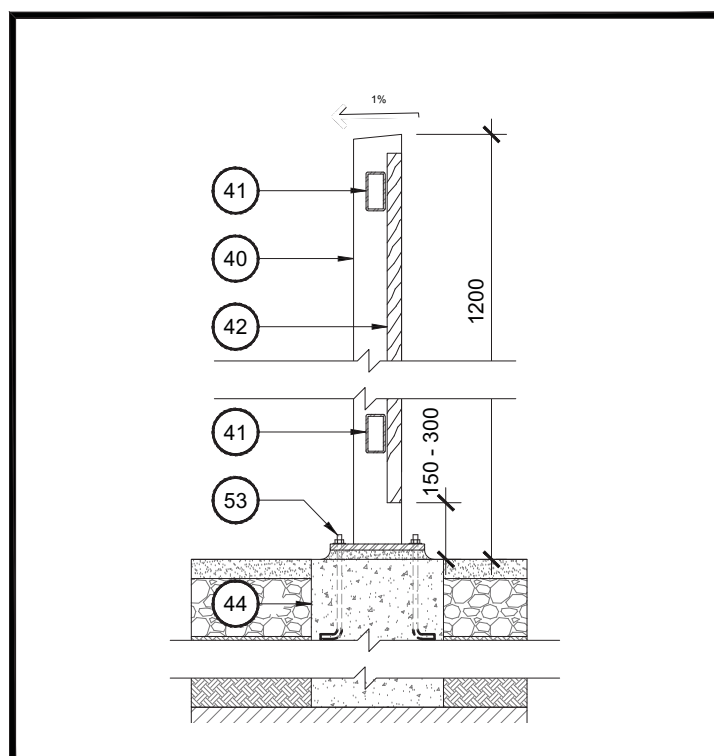
3
A0
Enclosure Corner Detail
Scale = 1:10



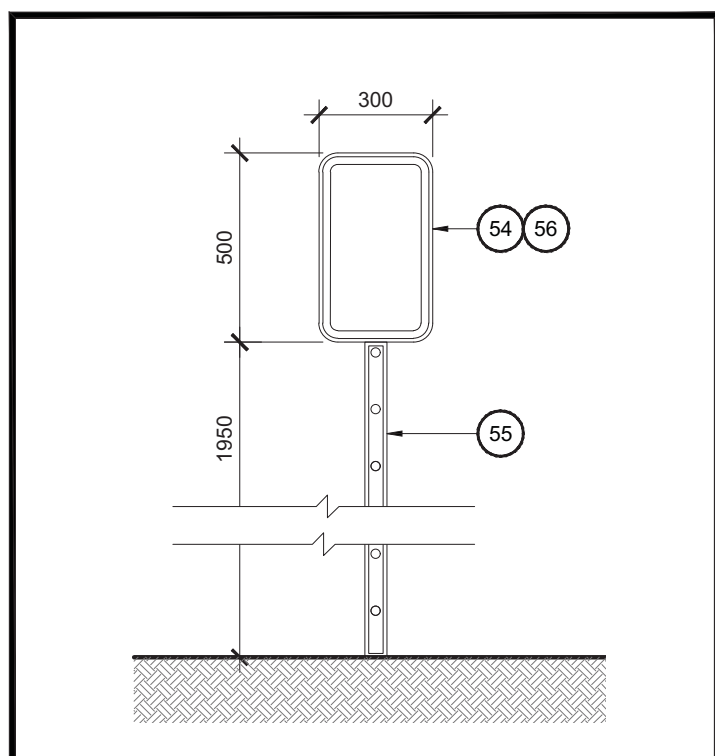
4
A0
Enclosure Gate Hinge Detail
Scale = 1:10



5
A0
Enclosure Latch Detail
Scale = 1:10



6
A0
Enclosure Section Detail
Scale = 1:20



7
A0
Signage Elevation
Scale = 1:20

3	Issued for Site Plan Control / MTO	25.09.25
2	Issued for Site Plan Control	24.06.24
1	Issued for Coordination	03.06.24
No N°	ISSUE/REVISION ÉMISSION/RÉVISION	DATE DD/MM/YY



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Telephone: 613.724.9914 E-mail: architecture@brydengibson.ca

PROJECT NAME
NOM DU PROJET
6175 Rockdale Rd

6175 Rockdale Rd. Vars ON. K0A 3H0

DRAWING TITLE
TITRE DU DESSIN

**Site Plan
Location Plan
Site Details**

JOB No 810-24	N° DE PROJET	DATE May 2024	DATE
SCALE As Noted	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
CONCEPTION BY SG	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
DRAWN BY KS	DESSINÉ PAR	SI CETTE LIGNE NE MESURE PAS 25mm, AJUSTER VOTRE ÉCHELLE D'IMPRESSION.	
CHECKED BY SG	VÉRIFIÉ PAR		

ARCHITECT'S STAMP ONTARIO ASSOCIATION OF ARCHITECTS Suzanne Gibson SUZANNE GIBSON LICENCE 8808	DRAWING No DESSIN N° A0	REVISION No RÉVISION N° 3
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