

# Architectural Design Brief

Nov 04, 2022

For a 9 Storey Apartment Building 'B'  
at Q-West Development by Ashcroft Homes,  
114 Richmond Road Ottawa



**M. David Blakely**  
**Architect Inc.**



***ASHCROFT***



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Architectural Design Brief  
June 2, 2022

For a 9 Storey Apartment Building “B”  
at Q-West Development by Ashcroft Homes,  
114 Richmond Road Ottawa

Context

The Construction of Building ‘B’ will be Phase 2-Aa of Ashcroft’s Q-West development. Building ‘B’ is more or less in the middle of the site that extends north/ south from Richmond Road to Byron Avenue. Building ‘B’ will be directly south of the retained part of the former Soeurs de la Visitation Monastery, now referred to as the Convent on our site plan, and will be linked to the convent at the west side with a ‘glazed gasket’ as indicated on SP1b Rev.1.

Previous Approvals

Council of the City of Ottawa, on August 29, 2018 approved:

- 1) The removal of part of the two storey west wing and all of the one-storey south wing of the monastery according to plans prepared by Roderick Lahey Architect Inc.
- 2) The restoration of the historic remaining portion of the monastery in accordance with drawing and conservation plan prepared by Robertson Martin Architects.
- 3) The application to construct a nine-storey apartment building and alter the former monastery in accordance with plans prepared by Roderick Lahey Architect Inc. (final revision Aug 24, 2018) and to be conditional upon the issuance of 2 permits for:
  - a. The restoration of the front verandah.
  - b. The landscape plan for the courtyard.
- 4) Delegate authority for minor design changes.

Architectural Plans - \_prepared by M. David Blakely Architect Inc.

The Architectural Design Brief includes the following;

SP1a Site Plan

SP1b Site Plan and Demolition Plan

A1 – A10 Building ‘B’ Underground Parking Plans, Floor Plans and Roof Plan.

A11 – A12 Building ‘B’ Elevations.

A13 Building ‘B’ Sections.



Architectural Design Brief  
June 2, 2022

For a 9 Storey Apartment Building  
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The Proposed Building 'B'

Site Plan

The site plan SP1a Rev.1 and SP-1b Rev. 1 prepared by M. David Blakely Architect Inc. is the same as the City approved Roderick Lahey Site Plan with exception of:

- a. Minor exterior Building 'B' wall articulations due to floor plan development but still within the approved site plan envelope.
- b. Curb line and landscaping changes between the buildings west wall and west property line to allow for building exiting, deliveries, garbage pick-up and staff parking (Reference plans SP-1a, SP-1b and A3). The service lane from Richmond Road does not extend through to Shannon Street but now stops at the extent of phase 2Aa. A pathway and landscaping replace the laneway along the west wall of building 'D' which still allows pedestrian access from the south (Byron Ave and Shannon Street) to the Old Chapel entrance (reference SP-1a).

The proposed Site Plan and Building design are consistent with the Cultural Heritage Impact Assessment R2 prepared by Robertson Martin Architects and approved Architectural design by Roderick Lahey Architect Inc.

- a. The west façade of the historic courtyard is a two storey interpretive wall using salvaged stone from the demolition. This two storey wall has a roof terrace at the 3<sup>rd</sup> floor with the new building set back above defining the transition from old to new (Reference Elevation drawing 2/A12).
- b. The historic section of the west wing will be separated from the new building by a two storey glazed "gasket" in order to highlight the junction of old and new (Reference floor plan drawing A3 and A4 and elevation drawing 2/A12).
- c. A 1 ½ storey salvaged stone wall feature will be built as part of Phase 2A-b at the separation between the historic and new courtyards. This wall takes inspiration from both old and new buildings in the size and spacing of openings. This feature wall will be complemented with a glazed canopy to reinforce the use of the old south wing as a corridor and to provide a sheltered area in the courtyard (Reference SP-1b).
- d. The old monastery and the new Building 'B' are visually distinguishable from one another. The use of compatible materiality and thoughtful transitions from old to new provides the design a feeling of cohesiveness.



Architectural Design Brief  
June 2, 2022

For a 9 Storey Apartment Building  
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Cont/...

- e. The new Building 'B' materials at the 6 storey "base" are brick and glass. The upper 3 floors are setback from the base and are clad in a lighter appearing metal panel with glazed opening and semi continuous balcony projections.
- f. The brick will be smooth face grey/ beige tone which will complement and provide a backdrop to the existing rough faced limestone of the old monastery.
- g. Glazed areas are extensive and will provide a visual lightness and a reflection of the historic building within the new building elevation.
- h. The window and balcony pattern is much like the Lahey design but are based on actual floor plan and structural design "minor design changes".
- i. The joining of balconies and simple masonry grid is to create an elegant but quiet contemporary aesthetic in contrast to (and will not compete with) the existing stone heritage building.
- j. Landscaping and site lighting will be designed in concert with Kallala Design, Landscape Architect.

Sun/ Shadow Study – prepared by Roderick Lahey Architect Inc. and are included as part of this Design Brief.

This sun/ shadow study is still relevant as the proposed Building 'B' is within the same building envelope (schedule 397).

Perspective Drawings – prepared by RLA Architecture are included as part of this Design Brief.

Although there are minor design changes in the new building, the spatial separations between new and existing treatment of outdoor spaces, and the connections between new and existing vistas shown on the rendering are the same.

Sustainability

Permeable pavers are specified outside of the area of the underground parking deck in order to maximize holding of rain water within the soil.

Green roofing is specified at 1<sup>st</sup> floor roof deck level and building rooftop amenity area.

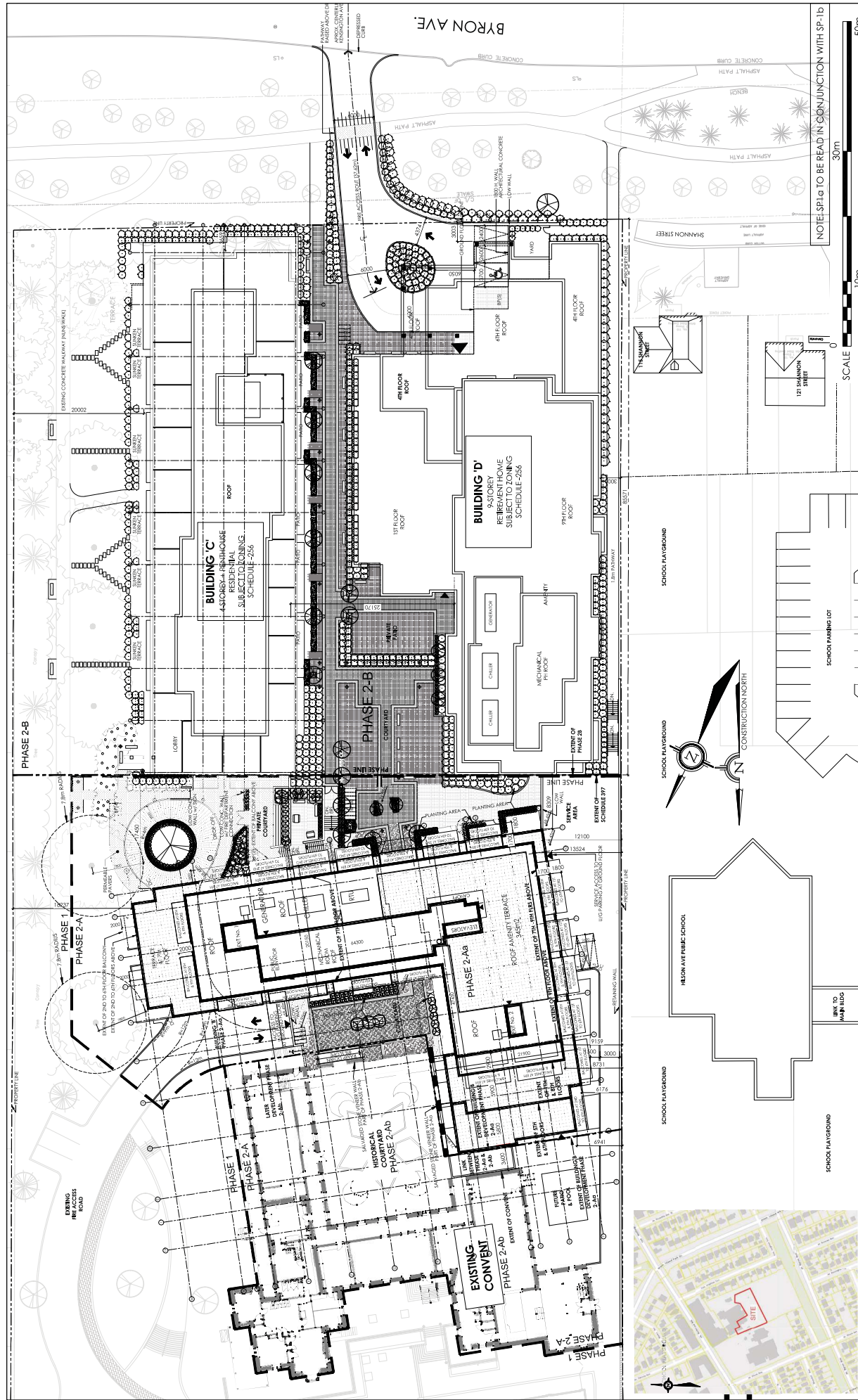
Cistern within P2 underground level will retain storm water and provide rain water storage for site irrigation.

Shading in the form of cantilevered concrete balconies and canopies to reduce solar heat gain.



Zoning Schedule 397-

Building 'B' is designed to be built within the building envelope established by Schedule 397 (see page 27).



**NOTE: SEE SP1b FOR BUILDING 'B' SITE PLAN INFORMATION**

**LINK TO MAP 1100**

**GENERAL NOTES:**

1. THIS SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO APPROVAL BY THE CITY OF OTTAWA.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. THE SITE PLAN IS TO BE READ IN CONJUNCTION WITH SP-1b.
4. THE SITE PLAN IS TO BE READ IN CONJUNCTION WITH SP-1c.
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25. THE SITE PLAN IS TO BE READ IN CONJUNCTION WITH SP-1x.
26. THE SITE PLAN IS TO BE READ IN CONJUNCTION WITH SP-1y.
27. THE SITE PLAN IS TO BE READ IN CONJUNCTION WITH SP-1z.

**DATE:** MARCH 2022  
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**PROJECT NO.:** 123456789  
**CLIENT:** M. David Blakely Architect Inc.  
**ARCHITECT:** M. David Blakely  
**DATE:** MARCH 2022  
**SCALE:** 1:250  
**PROJECT NO.:** 123456789  
**CLIENT:** M. David Blakely Architect Inc.  
**ARCHITECT:** M. David Blakely

**SP1a**

**Q WEST**  
 114 RICHMOND ROAD  
 OTTAWA, ONTARIO

**ASSOCIATION OF ARCHITECTS & BUILDERS OF ONTARIO**

**CONSTRUCTION NORTH**

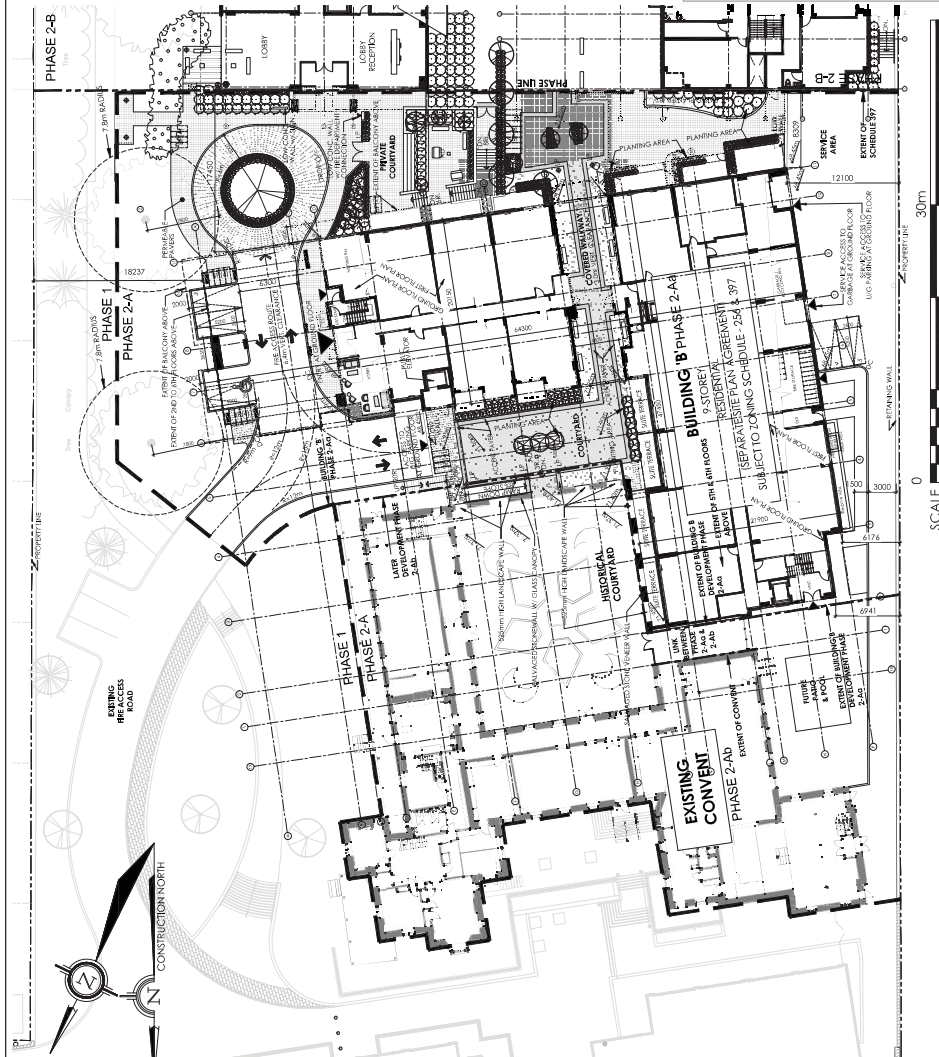
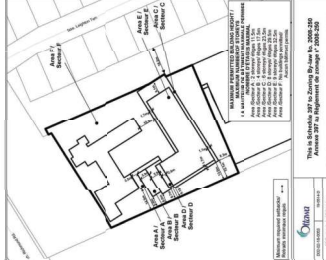
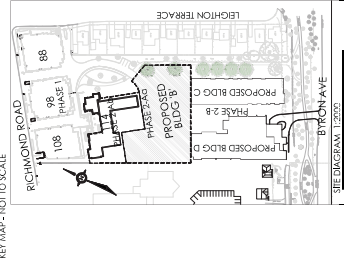
**121 SHANNON STREET**

**BRON AVE**

**SHANNON STREET**

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**NOTE: SP1g TO BE READ IN CONJUNCTION WITH SP-1b**

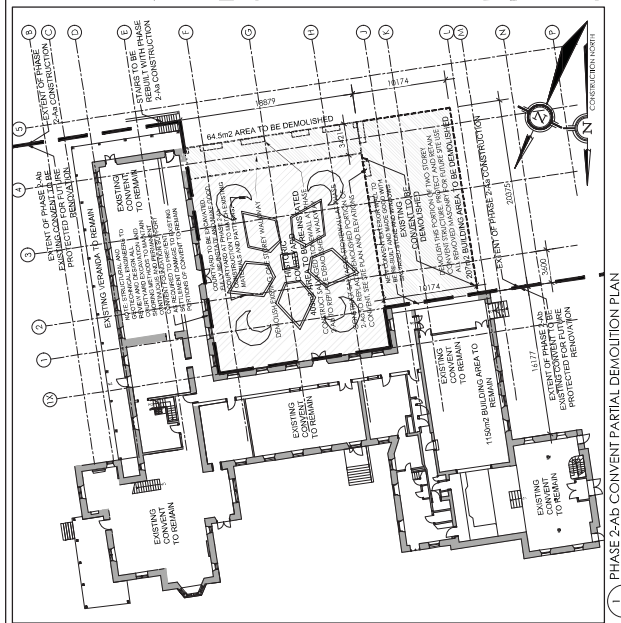


SCALE 1:250  
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2. BUILDING B PHASE 2-AG SITE PLAN  
SCALE 1:250

PARAMETER	REQUIRED	PROVIDED	DEFICIENCY
<b>BUILDING B AMENITY AREA</b>	REQUIRED = 197.4 SQ M D.U. = 112sqm	PROVIDED = 239sqm COMMERCIAL GROUND FLOOR RINNS	842sqm COMMERCIAL GROUND FLOOR RINNS
<b>BUILDING B AMENITY AREA</b>	REQUIRED = 197.4 SQ M D.U. = 112sqm	PROVIDED = 239sqm COMMERCIAL GROUND FLOOR RINNS	842sqm COMMERCIAL GROUND FLOOR RINNS
<b>GRAND OVERALL</b>			
PHASE 2-A	1000sqm	1000sqm	
PHASE 2-B	1750sqm	1750sqm	
PHASE 2-C	1320sqm	1320sqm	
PHASE 2-D	1880sqm	1880sqm	
PHASE 2-E	1500sqm	1500sqm	
PHASE 2-F	1320sqm	1320sqm	
PHASE 2-G	1150sqm	1150sqm	
<b>TOTAL ABOVE GRADE</b>	<b>12200sqm</b>	<b>12200sqm</b>	

NOTE: SP1-G TO BE READ IN CONJUNCTION WITH SP-1-G



PARAMETER	REQUIRED	PROVIDED
<b>PHASE 2-A5 CONVENT PARTIAL DEMOLITION PLAN</b>		
CONVENT	1157sqm	1157sqm
EXISTING CONVENT PARTIAL DEMOLITION PLAN	64.3sqm	64.3sqm
<b>TOTAL</b>	<b>1221.3sqm</b>	<b>1221.3sqm</b>

3. BUILDING B PHASE 2-AG INFORMATION  
SCALE 1:250

PARAMETER	REQUIRED	PROVIDED
<b>PHASE 2-A5 CONVENT PARTIAL DEMOLITION PLAN</b>		
CONVENT	1157sqm	1157sqm
EXISTING CONVENT PARTIAL DEMOLITION PLAN	64.3sqm	64.3sqm
<b>TOTAL</b>	<b>1221.3sqm</b>	<b>1221.3sqm</b>

NOTE: SEE SP1-G FOR ADDITIONAL SITE PLAN INFORMATION



114 RICHMOND ROAD  
OTTAWA, ONTARIO  
K1R 1C9  
TEL: 453-1111  
WWW.MDBA.COM

PHASE 2-A5 CONVENT PARTIAL DEMOLITION PLAN  
SCALE 1:250

PHASE 2-A5 CONVENT PARTIAL DEMOLITION PLAN  
SCALE 1:250

PHASE 2-A5 CONVENT PARTIAL DEMOLITION PLAN  
SCALE 1:250

PHASE 2-A5 CONVENT PARTIAL DEMOLITION PLAN  
SCALE 1:250





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**GENERAL NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. VERIFY ALL CODES, REGULATIONS, & BY-LAWS.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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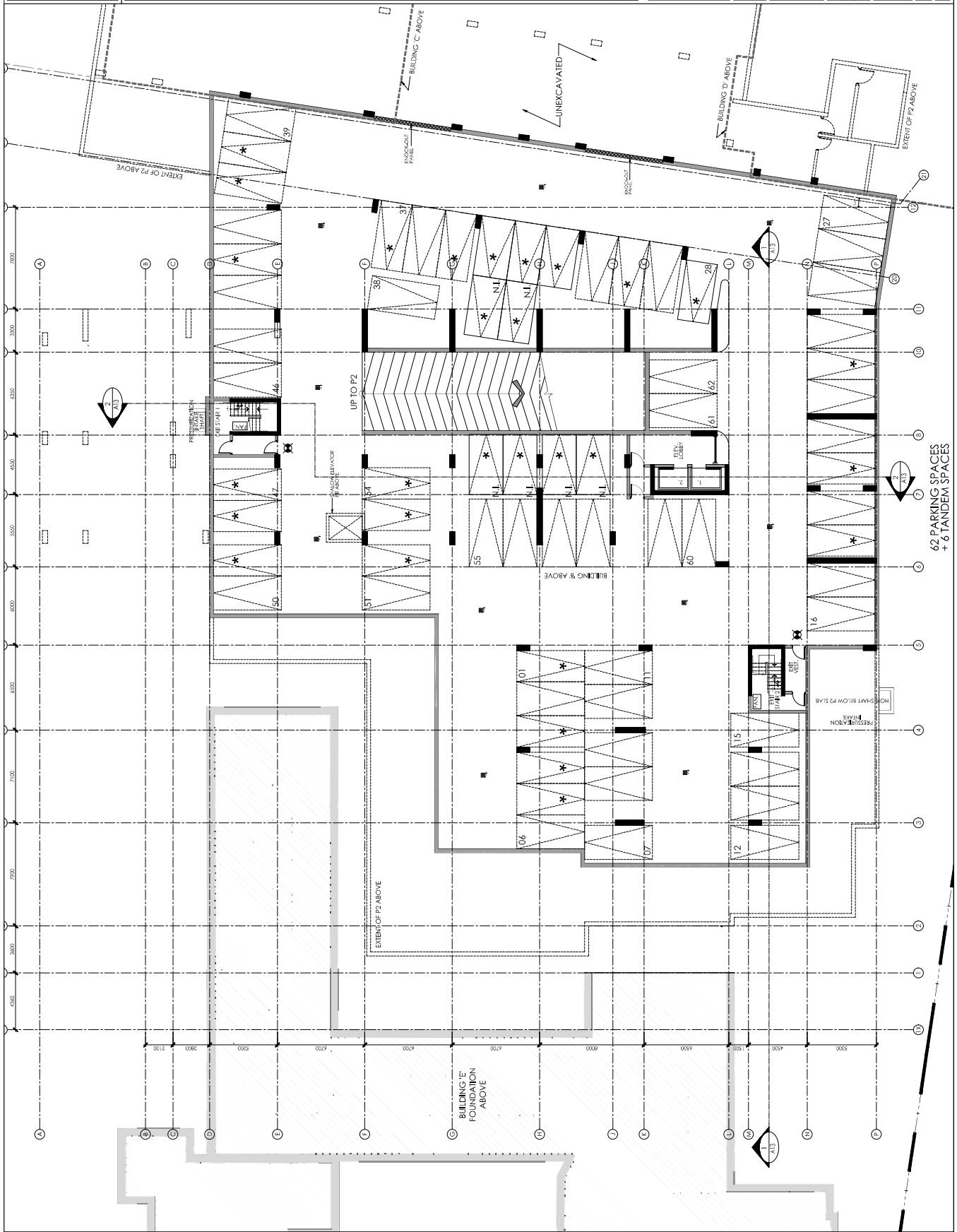
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**Q WEST  
BUILDING 'B'  
9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO**



DATE: DEC. 2021	SCALE: 1:125	SHEET NO: <b>A1</b>
DRAWN BY: mdb	CHECKED: mdb	PROJECT: P3 LEVEL





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Architect Inc.**  
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario  
Phone (613) 226-8811 Fax (613) 226-7942 OF 619

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2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
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4. DO NOT SCALE DRAWINGS.
5. THE REPRODUCTION SHALL NOT BE ALTERED.
6. THIS DRAWING IS THE PROPERTY OF M. DAVID BLAKELY ARCHITECT INC. AND SHALL NOT BE USED FOR PERMIT OR AS THE BASIS FOR ANY OTHER CONTRACT DOCUMENTS WITHOUT THE ARCHITECT'S SEAL AND SIGNATURE.

**NOTE:**  
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TO BE COORDINATED WITH ELEVATIONS

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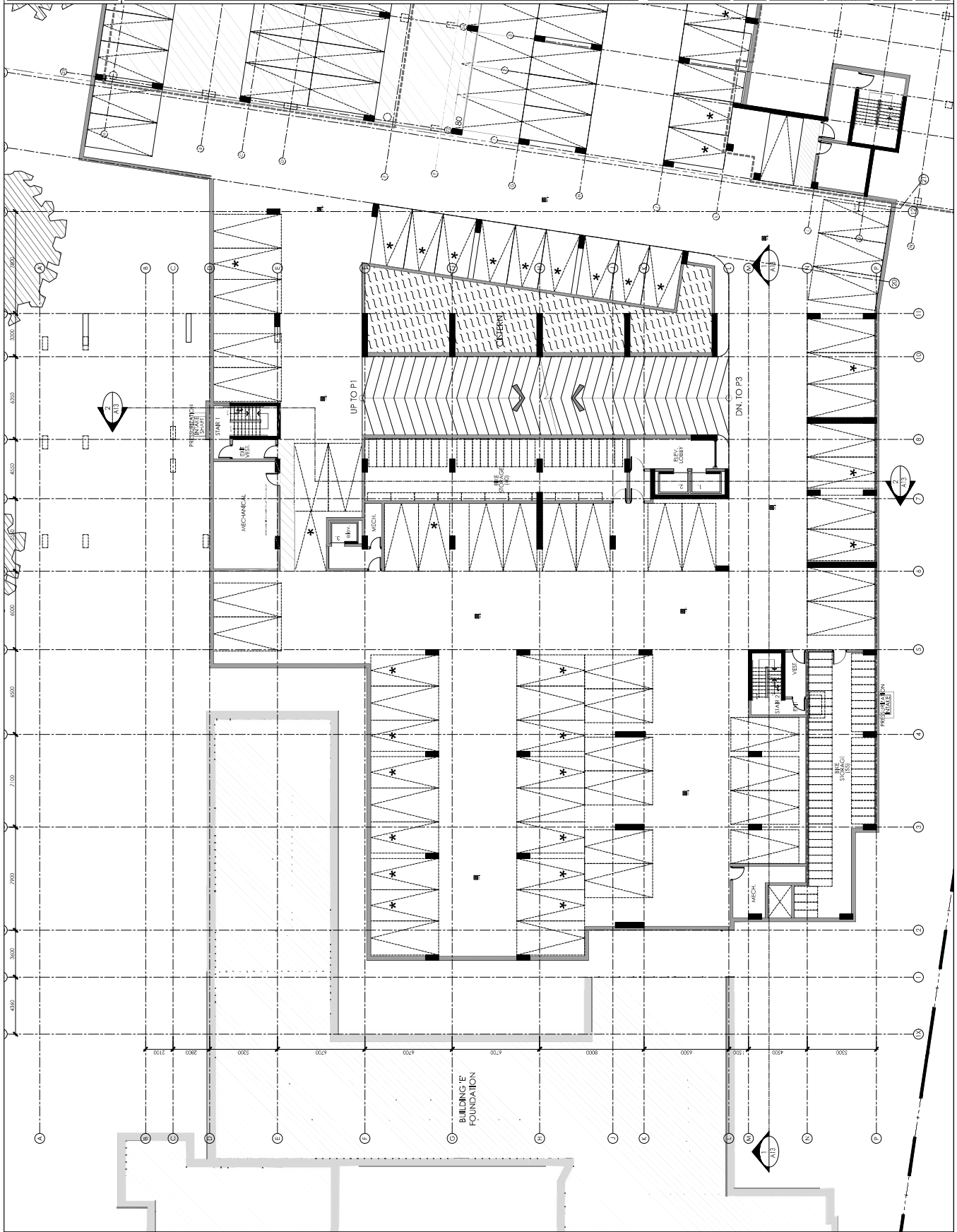
**Q WEST  
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9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO**



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M.D.B.

SHEET NO. **A2**





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2. ALL APPLICABLE MUNICIPAL CODES, REGULATIONS, & BY-LAWS MUST BE OBTAINED AND REVIEWED PRIOR TO CONSTRUCTION.
3. ADDITIONAL DRAWINGS MAY BE REQUIRED FOR PERMITS AND FOR CONSTRUCTION. SUCH DRAWINGS WILL BE PROVIDED BY THE ARCHITECT AT HIS/HER OWNERS RISK AND AT AN ADDITIONAL COST TO BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
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 ARCHITECT: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PROJ: Q WEST BUILDING 'B' 9 STOREY APARTMENT BUILDING OTTAWA, ONTARIO

CONSTRUCTION NORTH

SCALE: 1:125

DATE: DEC. 2021

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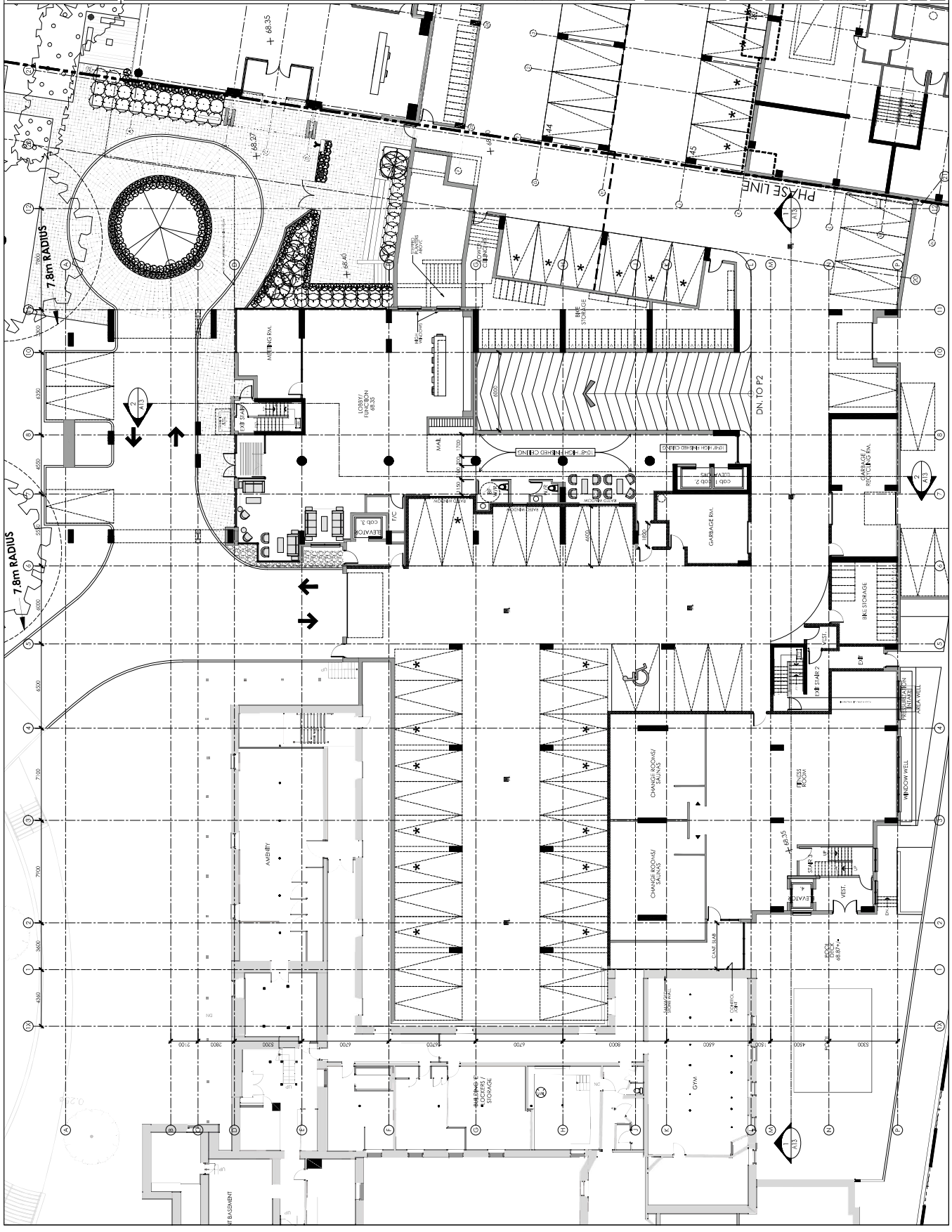
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Q WEST BUILDING 'B'  
9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO



ISSUED FOR PERMITS  
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 CHECKED: MDB

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 TOTAL SHEETS: \_\_\_\_\_  
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 SHEET SIZE: A3





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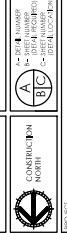
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2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. ADDITIONAL DIMENSIONS MAY BE USED FOR FACED WORK, SUCH AS BRICKWORK, STAIRS, ETC., UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS SHALL BE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.
4. DO NOT SCALE DRAWINGS.
5. THE REPRODUCTION SHALL NOT BE ALTERED.
6. THE DRAWING IS THE AUTHORITY FOR CONSTRUCTION.
7. THE DRAWING SHALL NOT BE USED FOR PERMITS UNLESS THE ARCHITECT'S SEAL AND SIGNATURE IS PRESENT.

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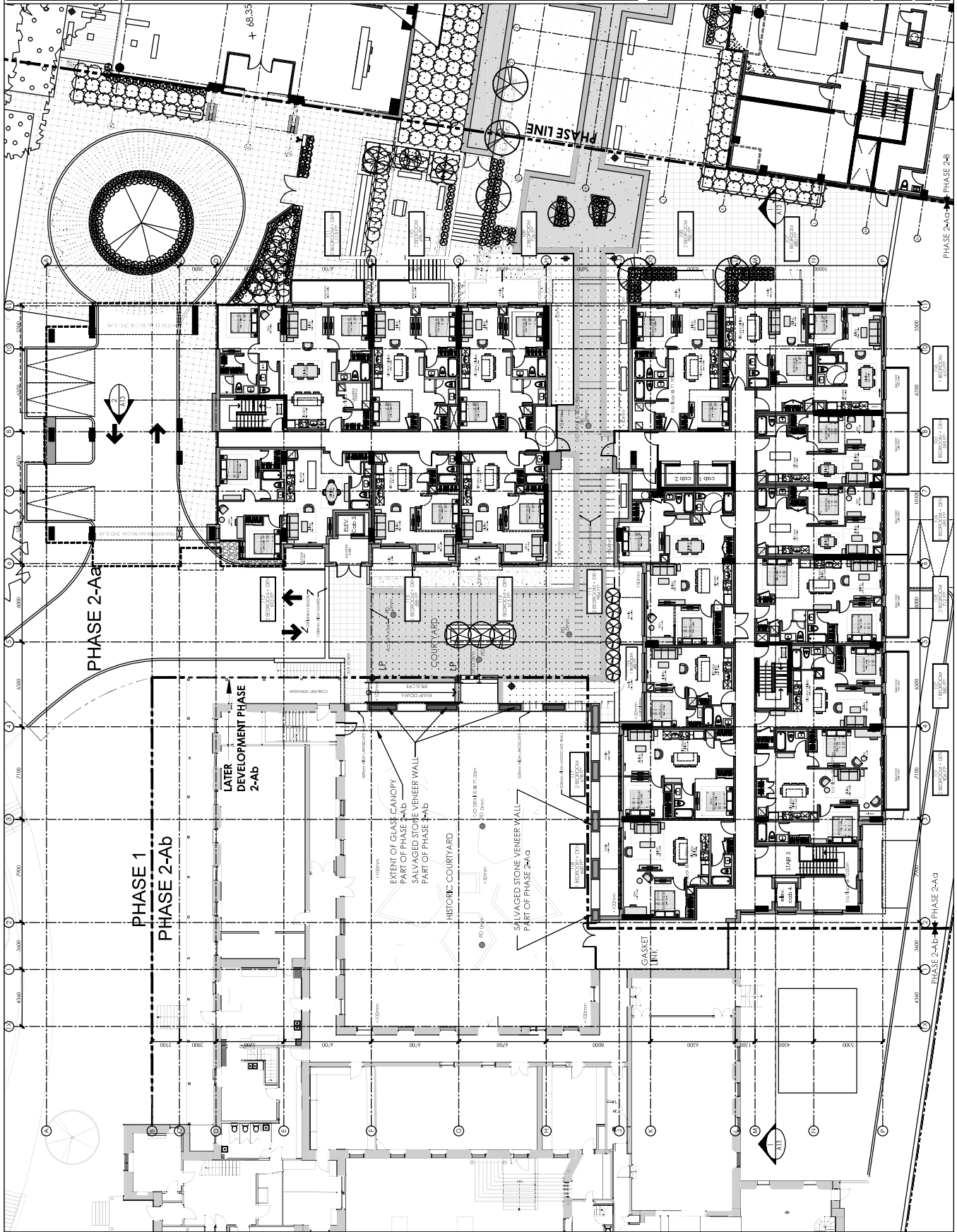
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PROJECT:  
**Q WEST  
BUILDING 'B'  
9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO**



DATE: DEC. 2021  
DRAWN BY: mab  
CHECKED BY: MCB  
PROJECT NO.: 1125  
SHEET NO.: A4





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Phone (613) 226-8811 Fax (613) 226-7492 C.F. 619

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ANY DISCREPANCY MUST BE REPORTED TO ARCHITECT IMMEDIATELY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, BY-LAWS, ORDINANCES, AND ACTS.
3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
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**NOTE:**  
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PROJECT: IMPERIAL BAY



CONSTRUCTION NORTH  
1000 UNIVERSITY AVENUE  
SUITE 100  
OTTAWA, ONTARIO K1N 6N5

PROJECT:  
Q WEST BUILDING 'B'  
9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO



DRAWING FILE: SECOND FLOOR PLAN

DATE: DEC. 2021	SCALE: 1:125	SHEET NO: A5
DRAWN BY: MDB	CHECKED: MDB	





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12. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL AND FEDERAL CODES, REGULATIONS, & BY-LAWS.

**NOTE:**  
WINDOW SIZES AND LOCATIONS  
TO BE COORDINATED WITH ELEVATIONS

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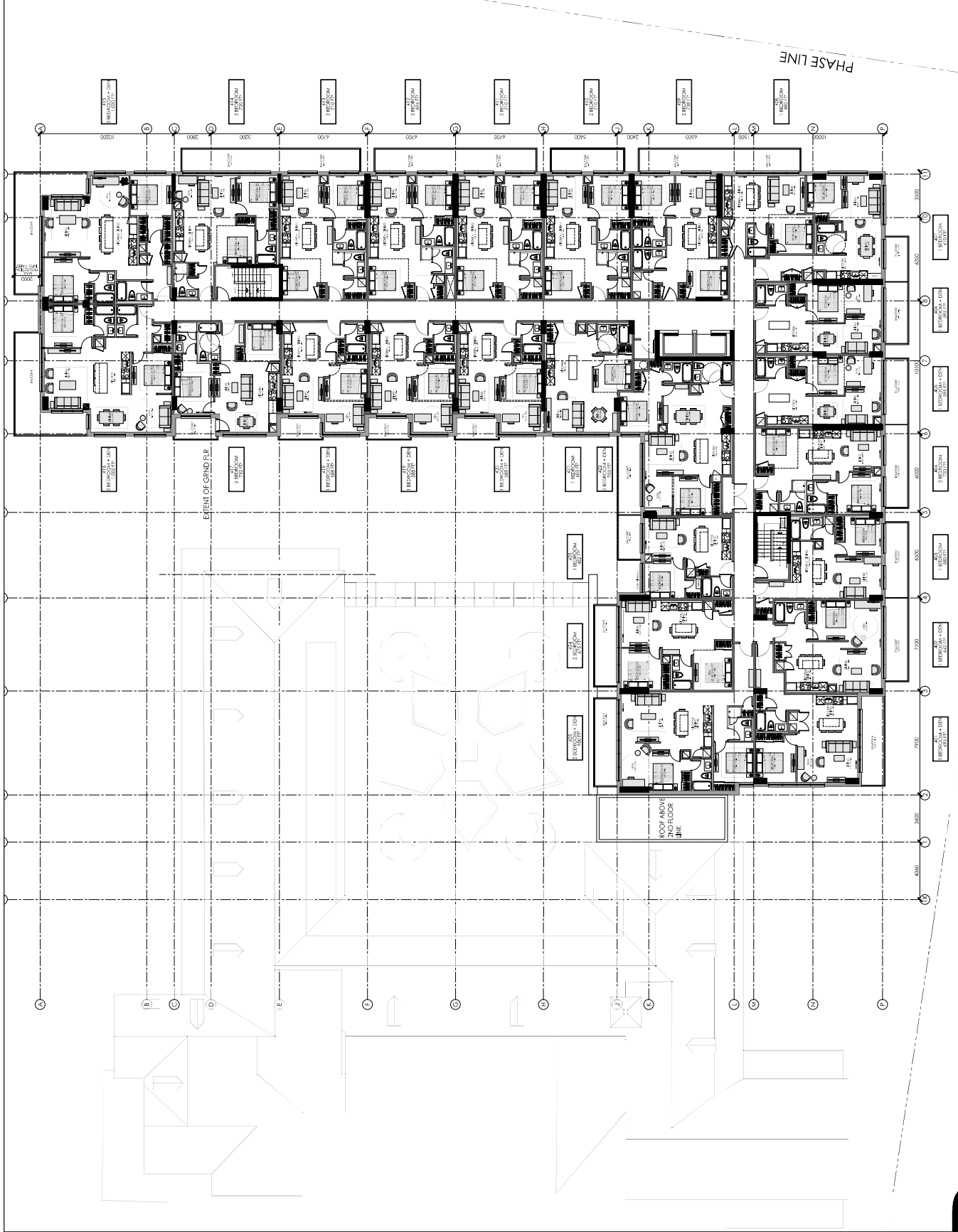
CONSTRUCTION NORTH  
A B C  
1 2 3 4 5 6 7 8 9 10 11 12

**Q WEST  
BUILDING 'B'  
9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO**



**3RD & 4TH FLOOR PLAN**

DATE	SCALE	SHEET NO.
DEC. 2021	1:125	A6
DRAWN BY	CHECKED	
MDP	MDP	





**M. David Blakely  
Architect Inc.**  
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario  
Phone (613) 226-8811 Fax (613) 226-7942 C.F. 619

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ANY DISCREPANCY MUST BE REPORTED TO ARCHITECT IMMEDIATELY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL AND FEDERAL CODES, REGULATIONS, & BY-LAWS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL AND FEDERAL CODES, REGULATIONS, & BY-LAWS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL AND FEDERAL CODES, REGULATIONS, & BY-LAWS.
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12. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL AND FEDERAL CODES, REGULATIONS, & BY-LAWS.

**NOTE:**  
WINDOW SIZES AND LOCATIONS  
TO BE COORDINATED WITH ELEVATIONS

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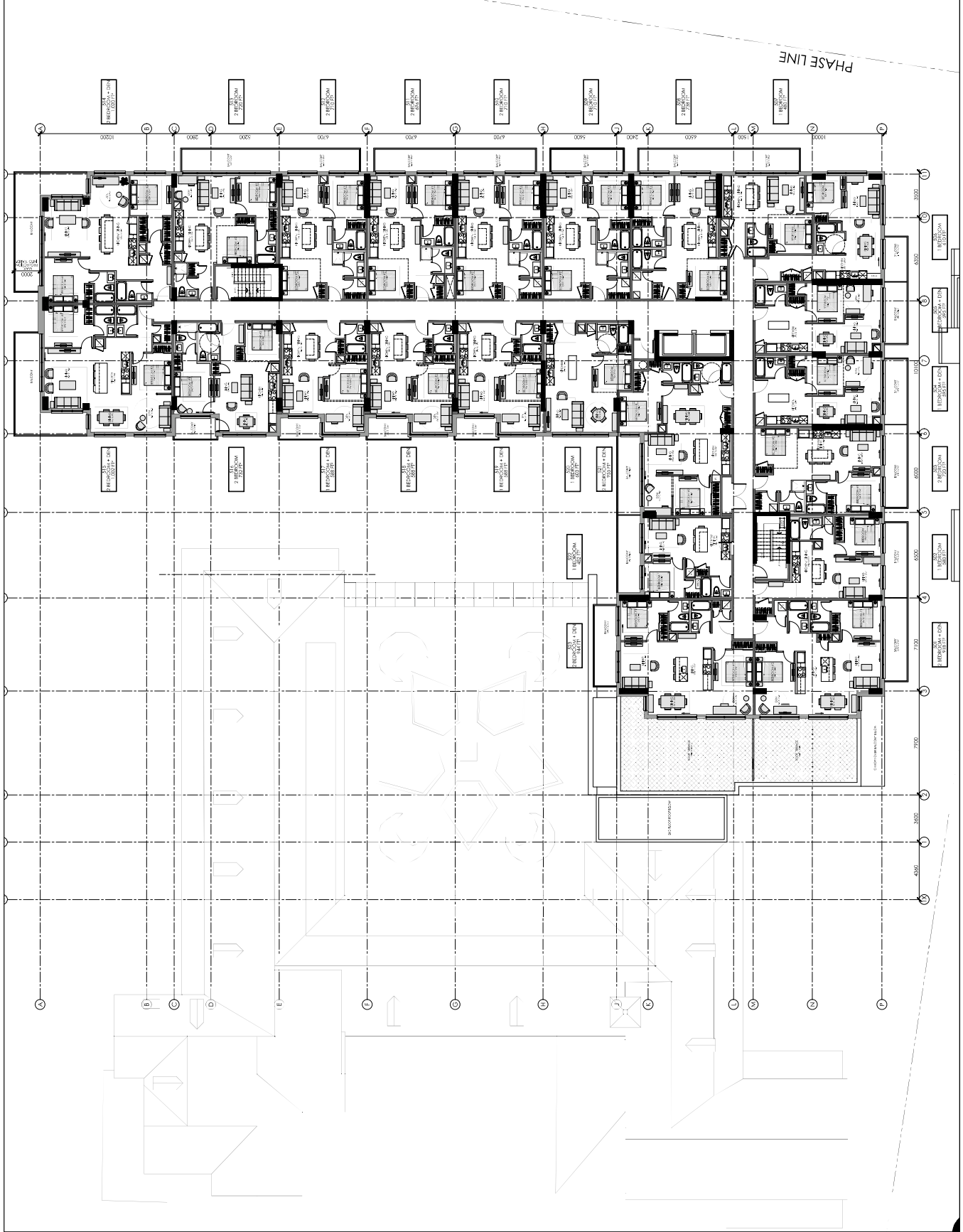
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PROJECT: Q WEST BUILDING 'B' 9 STOREY APARTMENT BUILDING OTTAWA, ONTARIO

CLIENT: SHROPSHIRE HOMES

DRAWING FILE: 5TH & 6TH FLOOR PLAN

DATE: DEC. 2021  
SCALE: 1:125  
DRAWN BY: mdb  
CHECKED: MDB  
PROJECT NO: A7





**M. David Blakely  
Architect Inc.**  
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario  
Phone (613) 226-8811 Fax (613) 226-7942 C.F. 619

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ANY DISCREPANCY MUST BE REPORTED TO ARCHITECT IMMEDIATELY.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL COMPLY WITH THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE LOCAL ORDINANCES, REGULATIONS, AND BY-LAWS.
4. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. SUCH DIMENSIONS WILL BE THE BASIS FOR ALL CONTRACT QUOTATIONS AND CONTRACT DOCUMENTS.
5. DO NOT SCALE DRAWINGS.
6. THE REPRODUCTION SHALL NOT BE ALTERED.
7. THIS DRAWING IS THE PROPERTY OF M. DAVID BLAKELY ARCHITECT INC. AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE APPROVAL OF THE ARCHITECT.
8. THIS DRAWING SHALL NOT BE USED FOR PERMIT PURPOSES WITHOUT THE ARCHITECT'S SEAL AND SIGNATURE.

**NOTE:**  
WINDOW SIZES AND LOCATIONS  
TO BE COORDINATED WITH ELEVATIONS

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PROJECTS: 2021-01-15 IMPERIAL HILL

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PROJ: 2021-01-15 IMPERIAL HILL

CONSTRUCTION NORTH

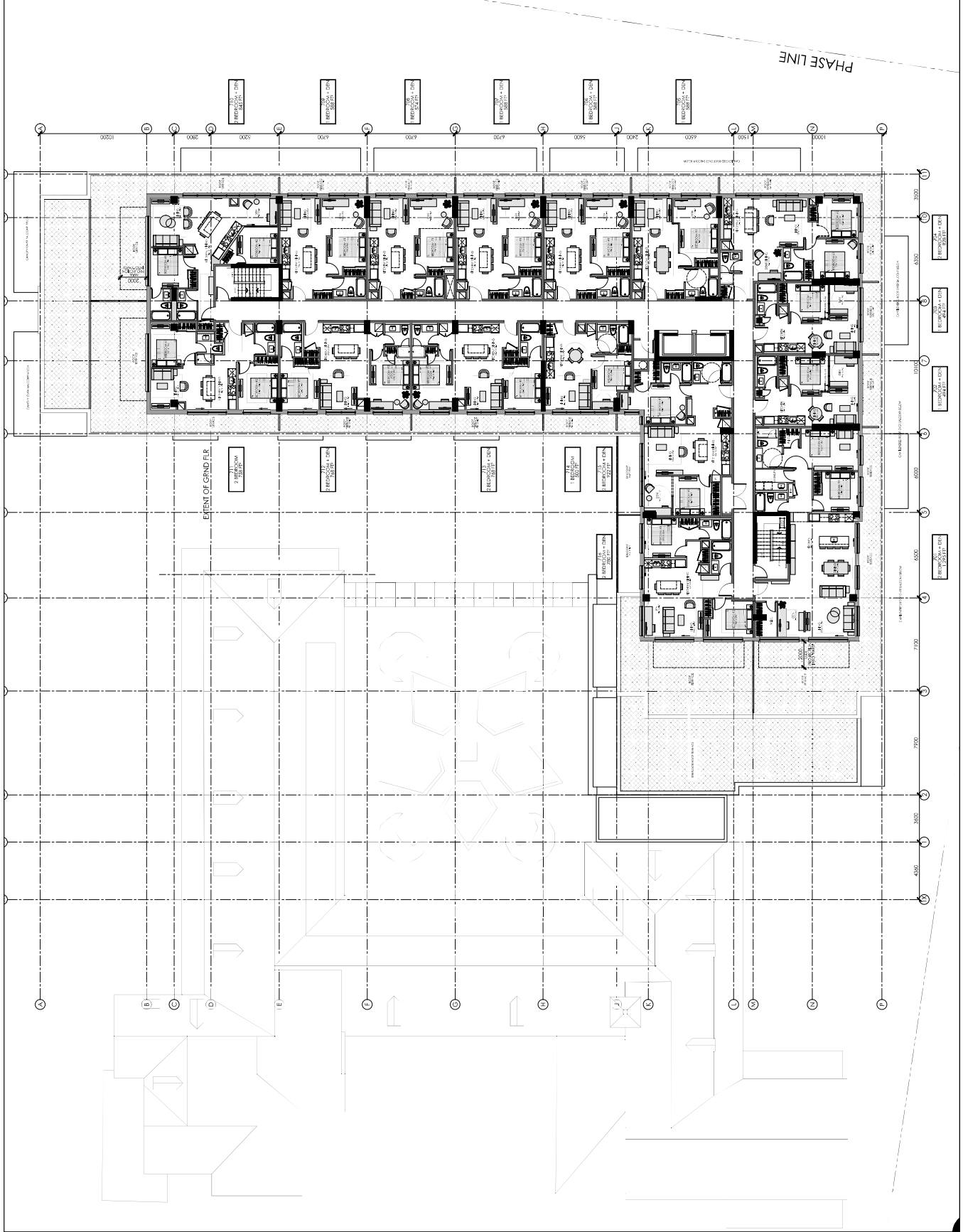
ARCHITECT: M. DAVID BLAKELY ARCHITECT INC.

**Q WEST  
BUILDING 'B'  
9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO**



DRAWING FILE: 7TH & 8TH FLOOR PLAN

DATE: DEC. 2021	SCALE: 1:125	SHEET NO: A8
DRAWN BY: MJB	CHECKED: MJB	







**M. David Blakely  
Architect Inc.**  
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario  
Phone (613) 226-8811 Fax (613) 226-7942 C.F. 619

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. VERIFY ALL CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE REQUIRED FOR PERMITS AND FOR THE PROTECTION OF WORK. SUCH DRAWINGS WILL BE PROVIDED BY THE ARCHITECT. ALL CONTRACT DOCUMENTS INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THE REPRODUCTION SHALL NOT BE ALTERED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
7. THE DRAWING SHALL NOT BE USED FOR PERMITS WITHOUT THE APPROVAL OF THE ARCHITECT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.

**NOTE:**  
WINDOW SIZES AND LOCATIONS  
TO BE COORDINATED WITH ELEVATIONS

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APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

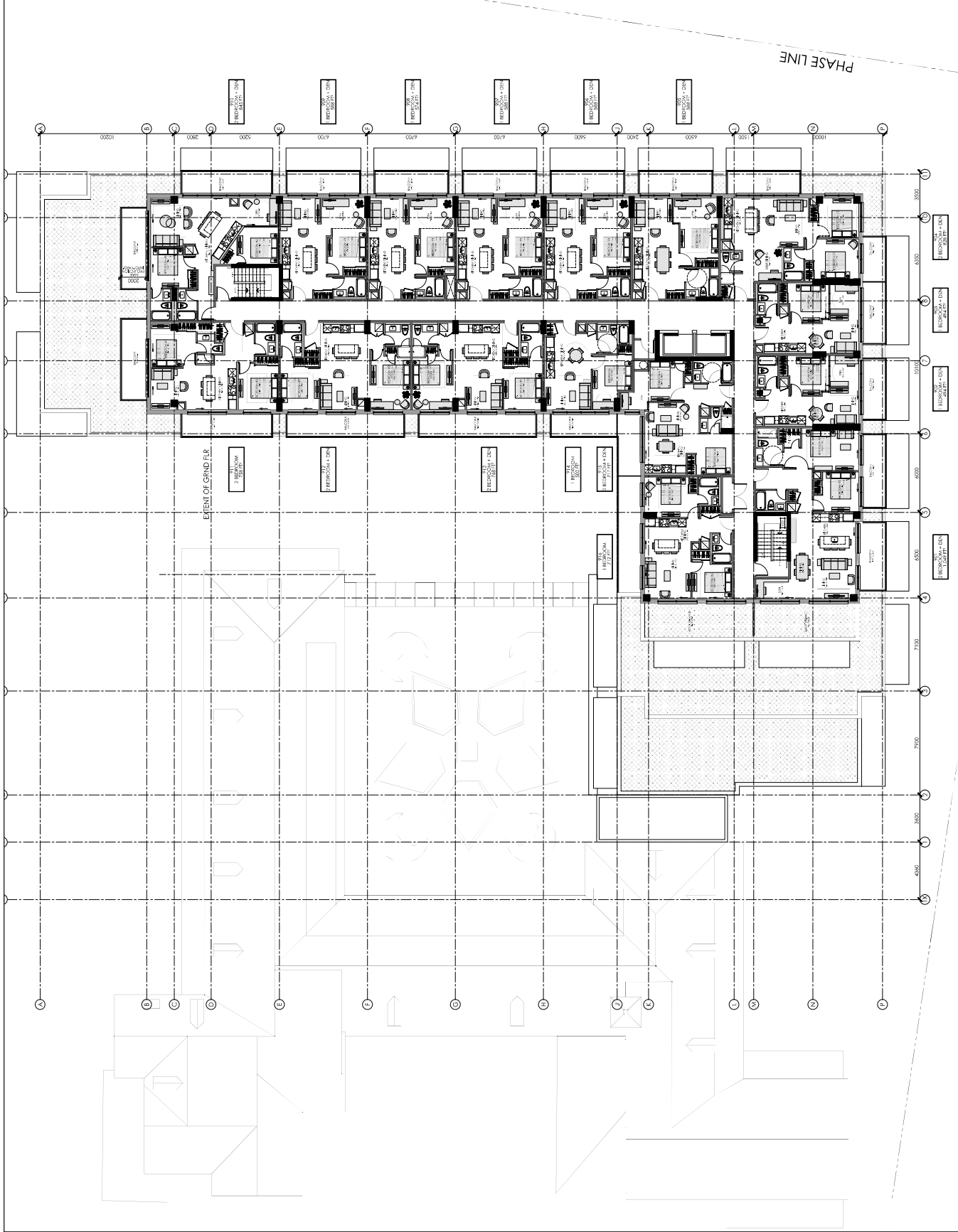


**Q WEST  
BUILDING 'B'  
9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO**



**9TH FLOOR PLAN**

DATE: DEC. 2021	SCALE: 1:125	SHEET NO: A9
DRAWN BY: MJB	CHECKED: MJB	DATE: MJB





**M. David Blakely  
Architect Inc.**  
2200 Prince of Wales Dr., Suite 101, Ottawa, Ontario  
K2H 9K9 | Tel: (613) 276-7942 | Fax: (613) 276-7942

**GENERAL NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ANY DISCREPANCY MUST BE REPORTED TO ALDMB3-LABEL ARCHITECT INC. IMMEDIATELY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCE, AND FEDERAL CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE REQUIRED FOR PERMITS AND APPROVALS. SUCH DRAWINGS WILL BE PROVIDED BY THE ARCHITECT AND SHALL BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THE REPRODUCTION SHALL NOT BE ALTERED.
6. THIS DRAWING IS THE PROPERTY OF ALDMB3-LABEL ARCHITECT INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.
7. THE DRAWING SHALL NOT BE USED FOR PERMITS OR APPROVALS WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.
8. THE ARCHITECT'S SEAL AND SIGNATURE SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION.

**NOTE:**  
WINDOW SIZES AND LOCATIONS  
TO BE COORDINATED WITH ELEVATIONS

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PROJECT NO.: 19-001-001  
DRAWING NO.: 19-001-001-01  
DATE: 11/25/2021  
SCALE: 1:125

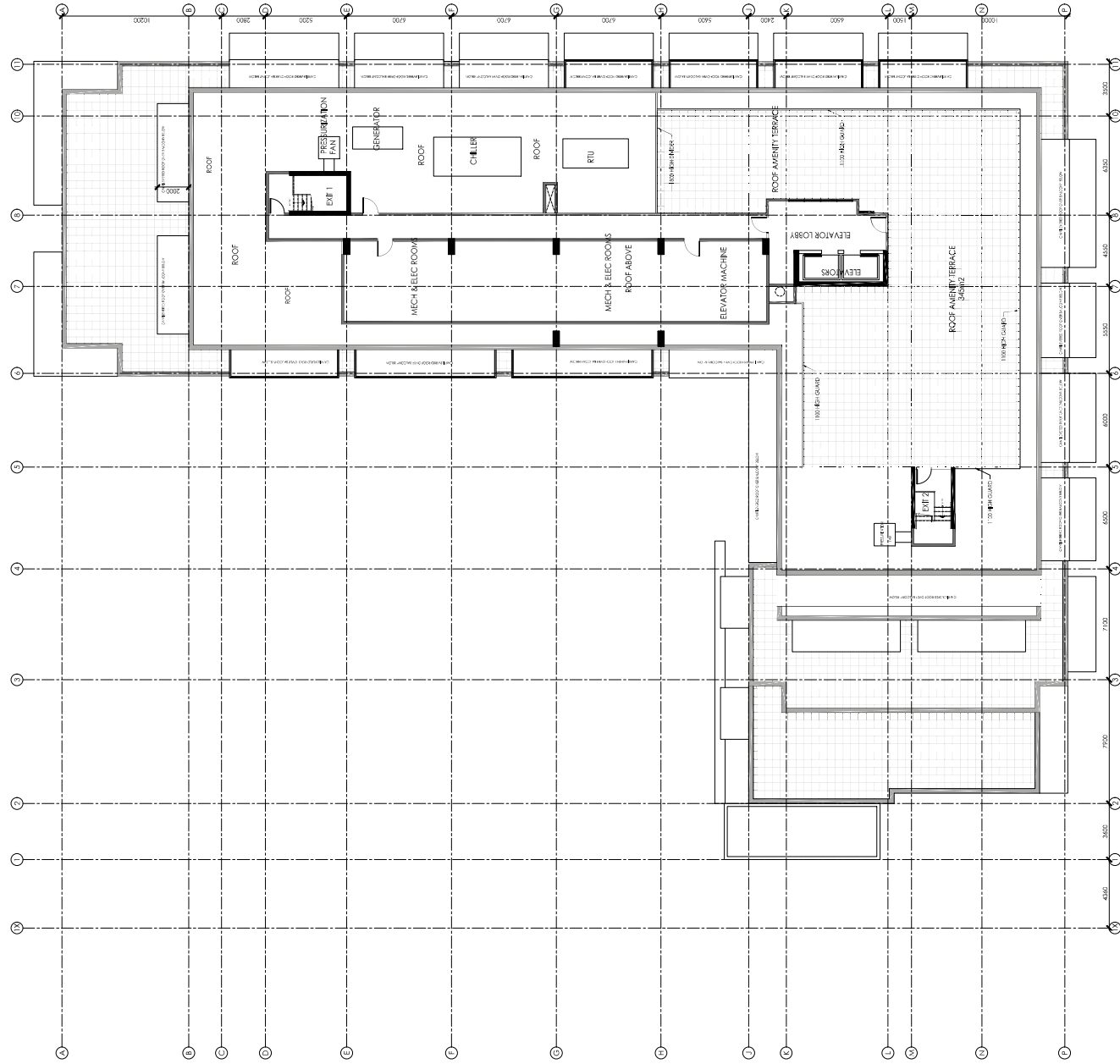


**Q WEST  
BUILDING 'B'  
9 STOREY APARTMENT BUILDING  
OTTAWA, ONTARIO**

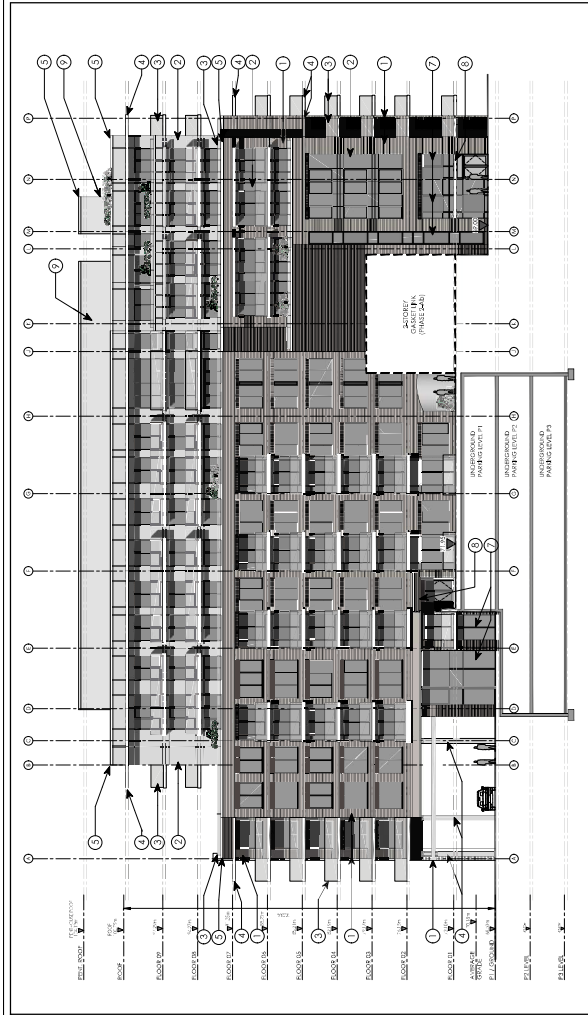


**ROOF PLAN**

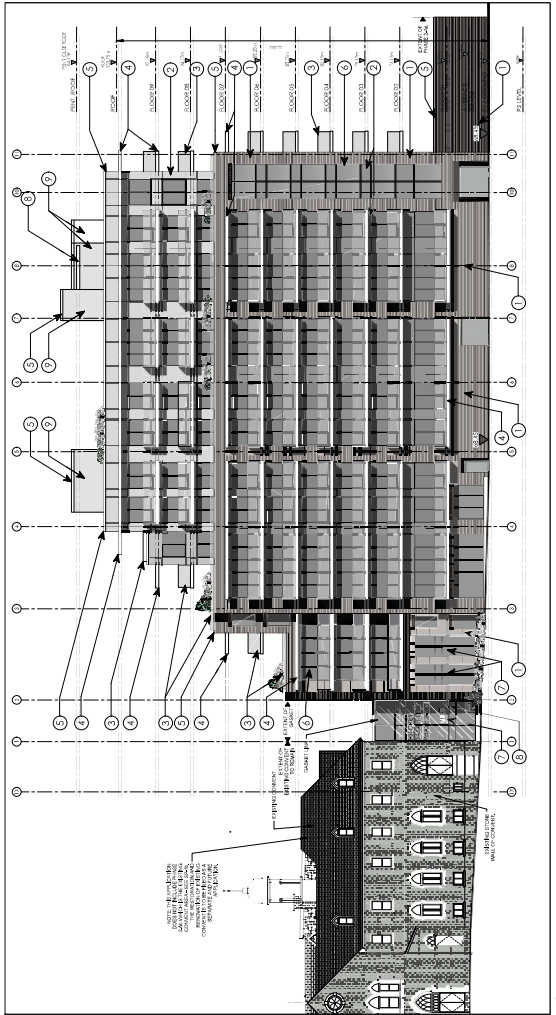
DATE: DEC. 2021  
DRAWN BY: mdb  
CHECKED: MDB  
PROJECT NO.: 19-001-001  
DRAWING NO.: 19-001-001-01  
SCALE: 1:125  
SHEET NO.: A10



PHASE LINE



1 NORTH ELEVATION



2 WEST ELEVATION

- 3 FACADE FINISHES LEGEND
- 1 BRICK VENEER
  - 2 WINDOW WALL PREFINISHED METAL SPANDEL
  - 3 GLAZED GUARD
  - 4 EXPOSED CONCRETE
  - 5 PREFINISHED PARAPET CAP
  - 6 WINDOW WALL GLAZED VIBRON PANEL
  - 7 CURTAINWALL
  - 8 CANOPY
  - 9 PREFINISHED VERTICAL URBAN ACCENT ALUMINUM SIDING
  - 10 STONE VENEER

PROJECT: 9 WEST 9 STOREY APARTMENT BUILDING  
CITY: OTTAWA, ONTARIO

CLIENT: KSTROM TOMES

DATE: APRIL 2022

SCALE: 1:200

DESIGNED BY: MDR

DRAWN BY: ISB

ELEVATIONS

DATE: APRIL 2022

SCALE: 1:200

PROJECT NO: A11

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CONSTRUCTION NORTH

NO.	DESCRIPTION	DATE	BY	CHECKED

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND FINISHES BEFORE BEGINNING WORK.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

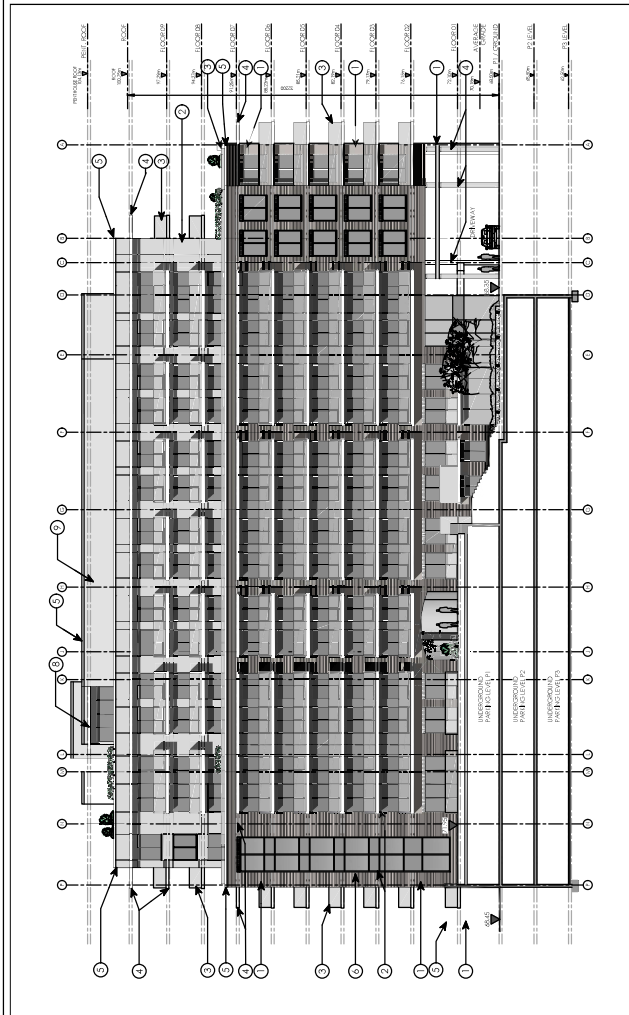
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FINISHES AND MATERIALS.

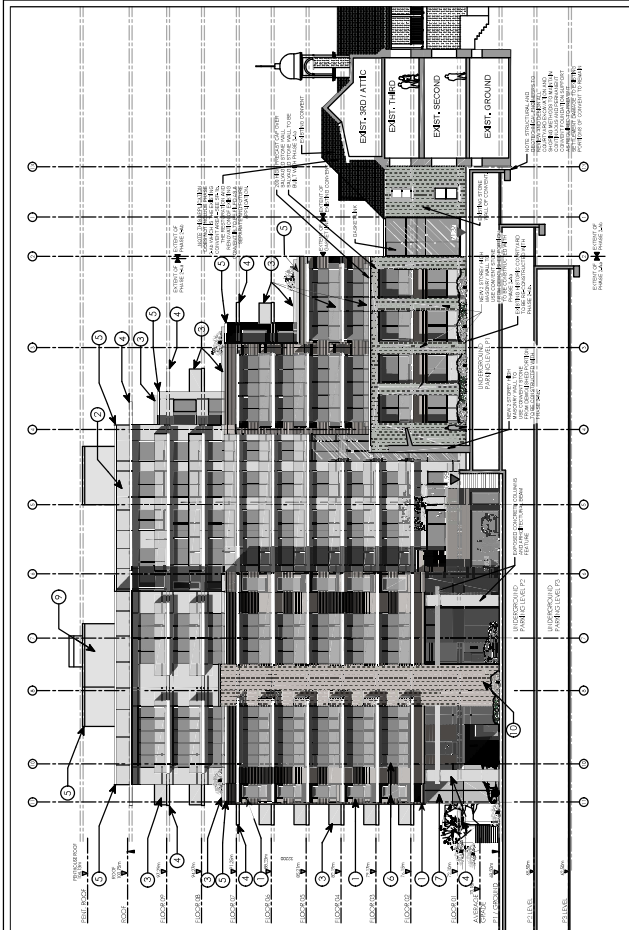
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND FINISHES.

**M. David Blacely**  
Architect Inc.

2000 Papez Avenue, Suite 200  
Ottawa, Ontario K2P 5E1  
Phone: 613 525-1111 Fax: 613 525-1112



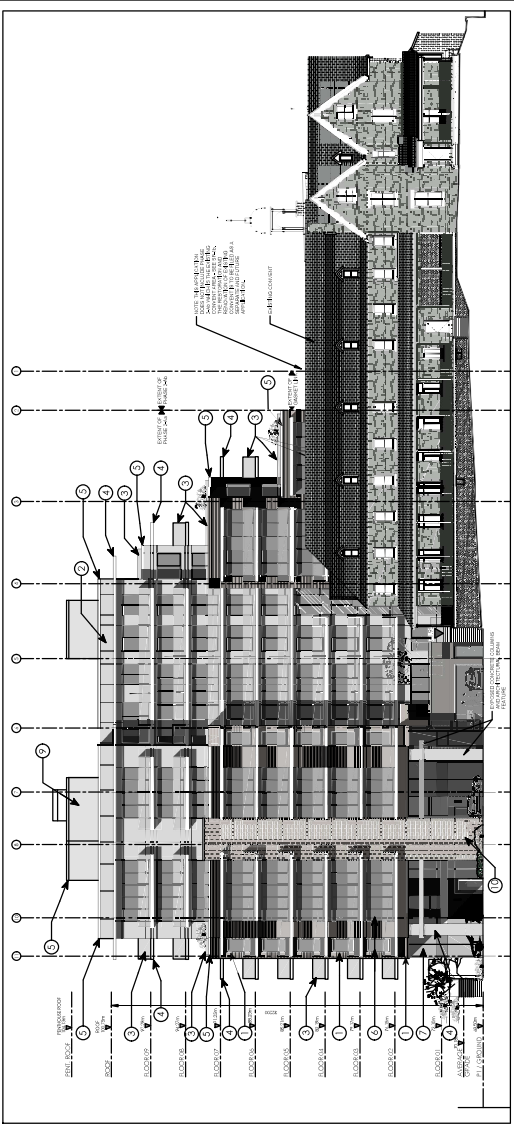
1 SOUTH ELEVATION  
A12



2 EAST ELEVATION THROUGH HISTORIC COURTYARD  
A12

**4 FACADE FINISHES LEGEND**  
A12

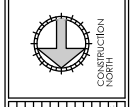
- 1 BRICK VENEER
- 2 WINDOW WALL PRE-FINISHED METAL SPANDREL
- 3 GLAZED GUARD
- 4 EXPOSED CONCRETE
- 5 PRE-FINISHED PARAPET CAP
- 6 WINDOW WALL GLAZED VIBRON PANEL
- 7 CURTAINWALL
- 8 CANOPY
- 9 PRE-FINISHED VERTICAL URBAN ACCENT ALUMINUM SIDING
- 10 STONE VENEER



3 EAST ELEVATION  
A12

**M. David Blakely Architect Inc.**  
 2000 West Beaver Creek Road, Suite 200  
 Richmond Hill, Ontario L4B 3N2  
 Phone: 905.709.2222 Fax: 905.709.2220

**CONTRACT DOCUMENTS**  
 A. THE CONTRACT DOCUMENTS SHALL BE USED AS SHOWN.  
 B. THE CONTRACT DOCUMENTS SHALL BE USED AS SHOWN.  
 C. THE CONTRACT DOCUMENTS SHALL BE USED AS SHOWN.  
 D. THE CONTRACT DOCUMENTS SHALL BE USED AS SHOWN.  
 E. THE CONTRACT DOCUMENTS SHALL BE USED AS SHOWN.  
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CONSTRUCTION NORTH

PROJECT: WEST BLOCK APARTMENT BUILDING  
 9 STOREY APARTMENT BUILDING  
 CITIWARA, ONTARIO

DATE: APRIL 2022  
 SCALE: 1:200  
 DRAWN BY: KSB  
 CHECKED BY: MDR  
 PROJECT NO.: A12  
 REV. 01

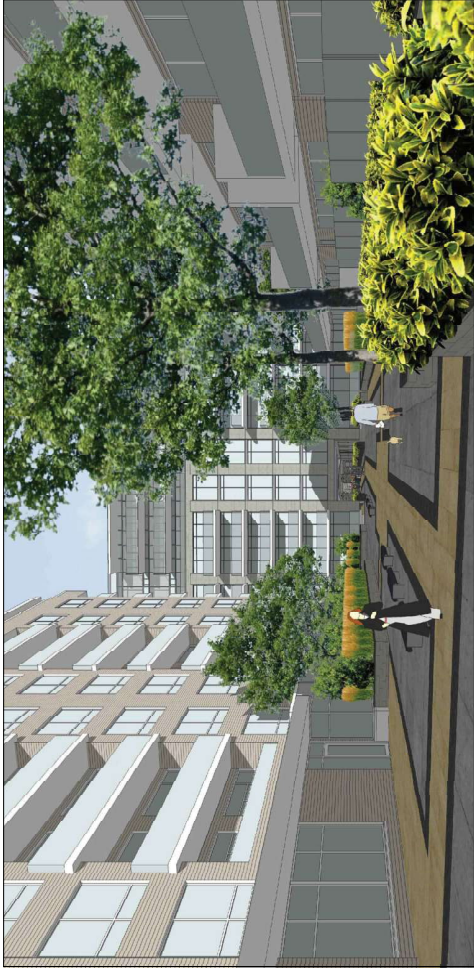




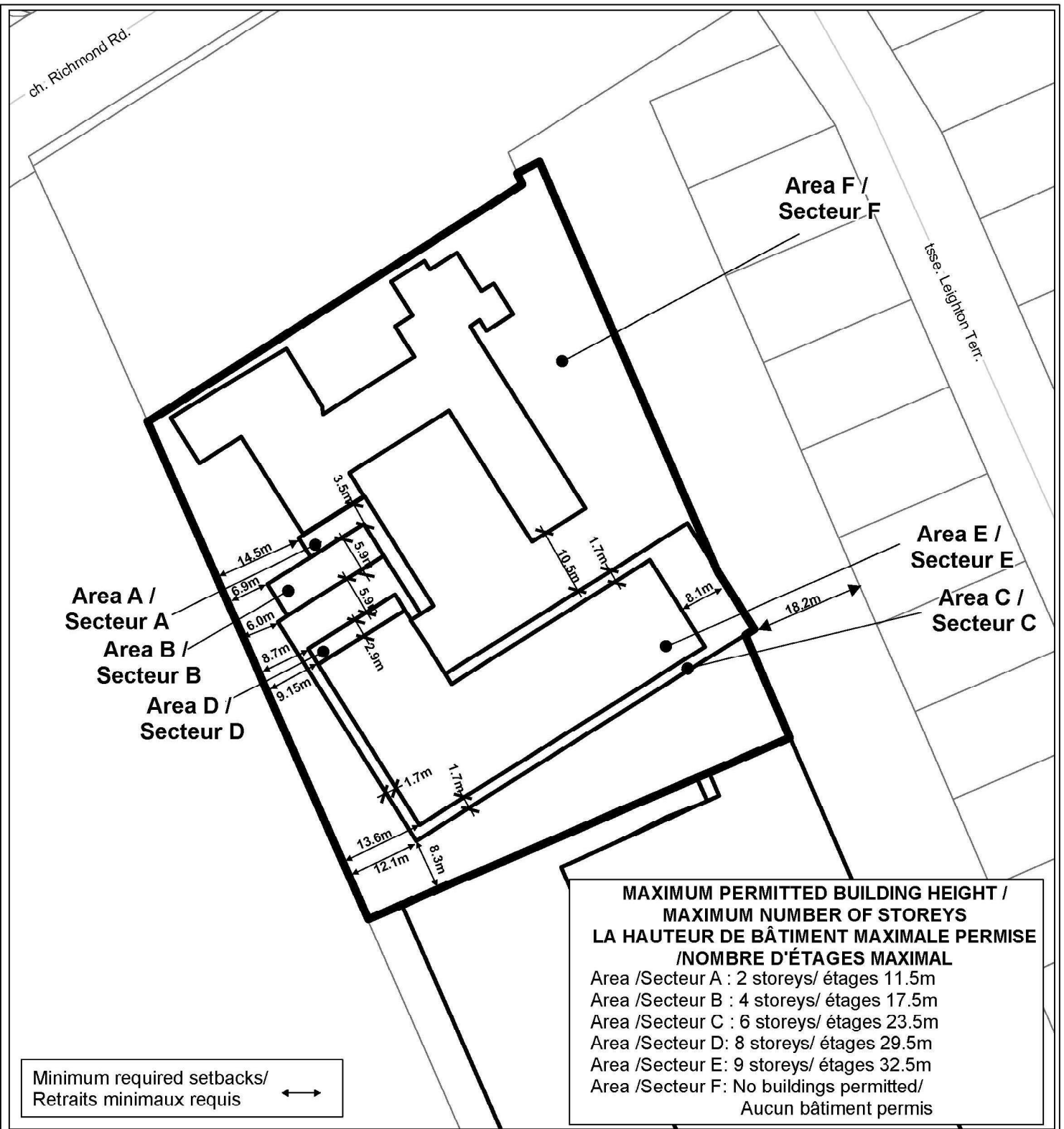












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19-0514-D

M:\Zoning\_bylaw\Schedules

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CECI N'EST PAS UN PLAN D'ARPENTAGE

**This is Schedule 397 to Zoning By-law No. 2008-250  
Annexe 397 au Règlement de zonage n° 2008-250**

This is Attachment 2 to By-law Number 2019-235, passed June 26, 2019  
Pièce jointe n° 2 du Règlement municipal n° 2019-235, adopté le 26 juin 2019

