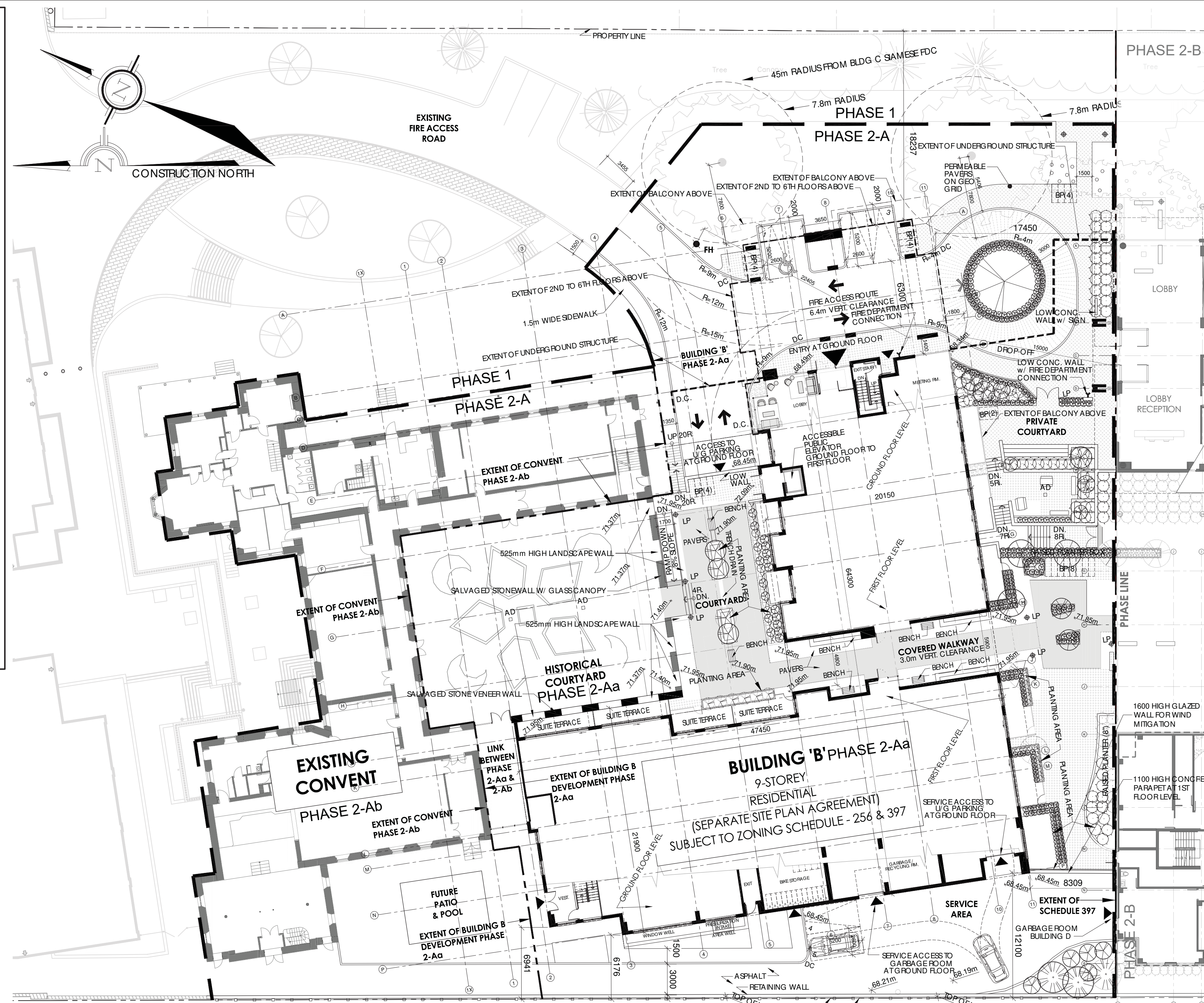
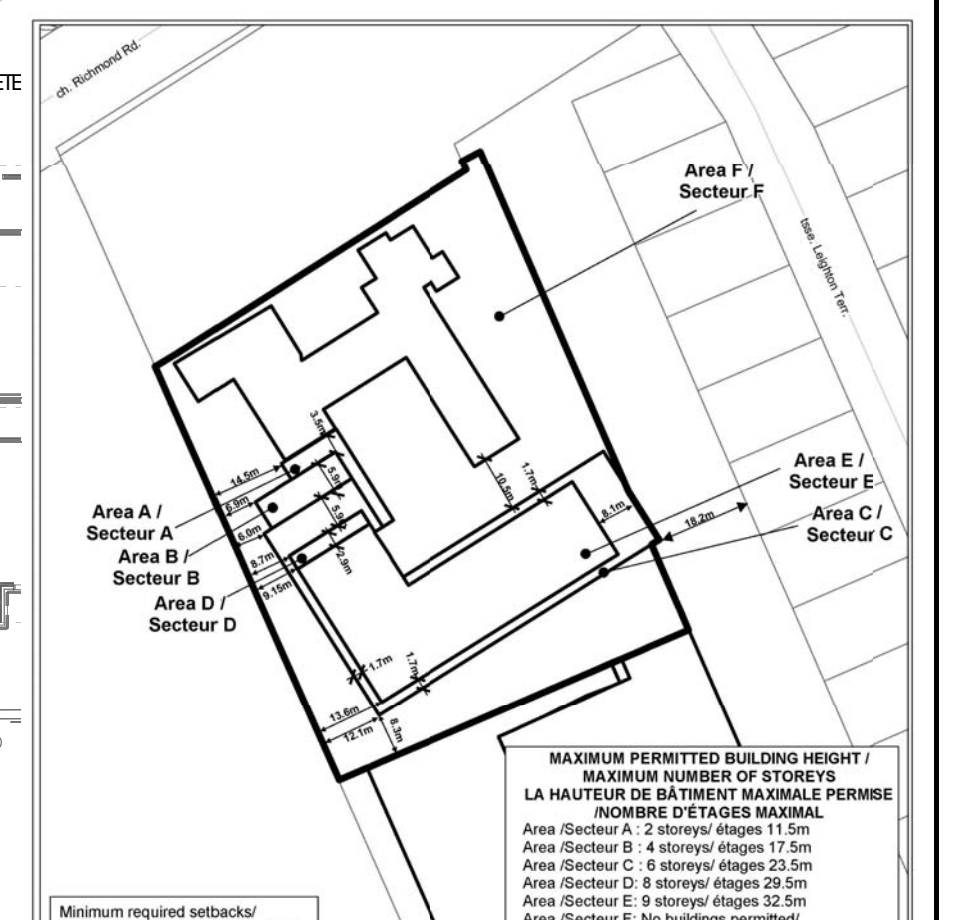
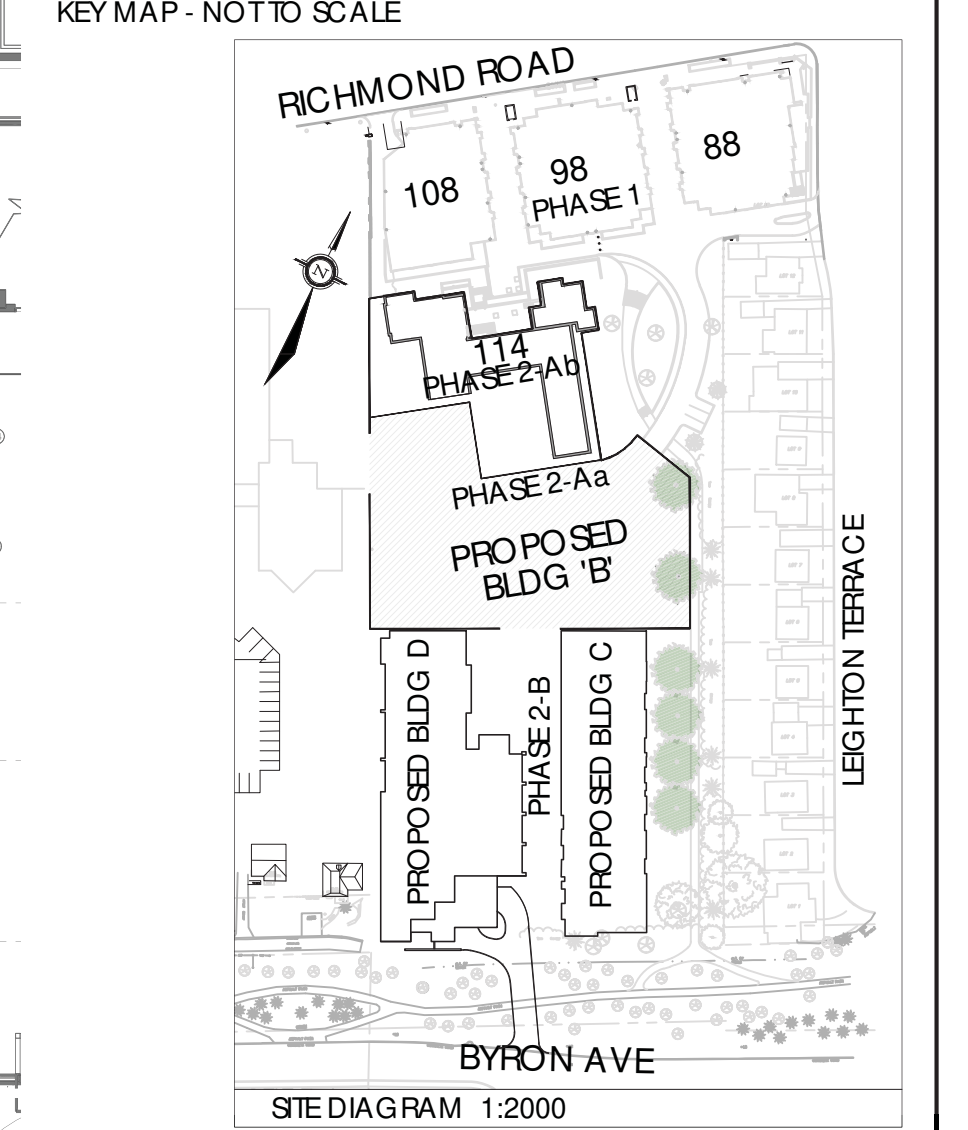
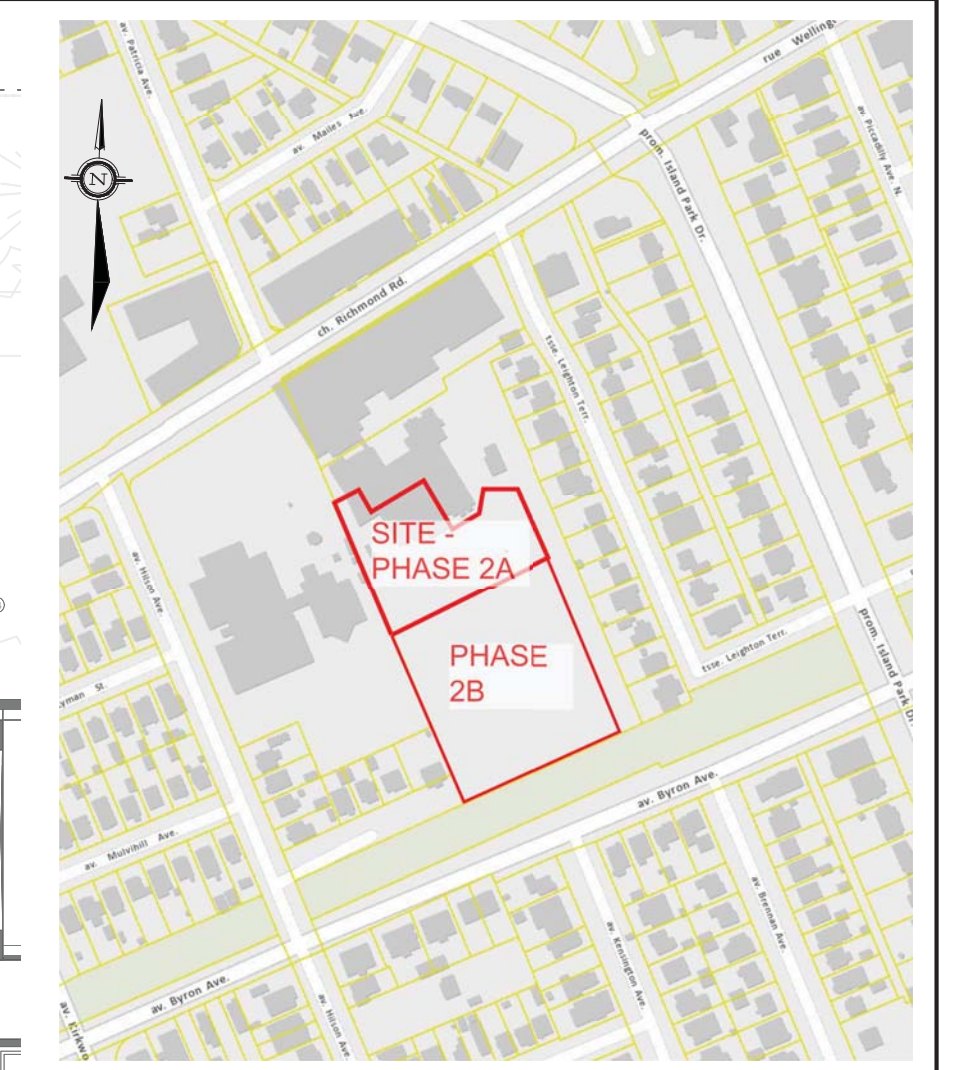


1 PHASE 2-Ab CONVENT PARTIAL DEMOLITION PLAN
SP-1b / SCALE 1 : 250



2 BUILDING 'B' PHASE 2-Aa SITE PLAN
SP-1b / SCALE 1 : 250



SITE INFORMATION (PHASE 2A)		BUILDING 'B' STATISTICS - 9 STOREYS GROSS BUILDING AREAS		BUILDING 'B' AMENITY AREA		PARKING		BIKE PARKING REQUIRED	
ZONING : TM [1763] S256 & S397	STE AREA 6257m ²	P3 PARKING LEVEL	Zoning GFA	REQUIRED = 187 x 6m ² / D.U. = 1122m ²	REQUIRED = 187 D.U. - 12 D.U. X 0.5 = 88 SPACES REQUIRED	REQUIRED = 187 D.U. - 12 D.U. X 0.5 = 88 SPACES REQUIRED	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES
BUILDING 'B' HEIGHT = 32.2m (PERMITTED = 32.5m as per S397)	REFER TO DRAWINGS A300, A301, A400 and A401	P2 PARKING LEVEL	Gross Overall	3m ² / D.U. REQ'D TO BE COMMUNAL = 561m ² MINIMUM	PROVIDED = 160 SURFACE SPACES WITHIN PHASE 2A PARKING GARAGE	PROVIDED = 160 SURFACE SPACES WITHIN PHASE 2A	PROVIDED = 156 INTERIOR BIKE PARKING SPACES	PROVIDED = 156 INTERIOR BIKE PARKING SPACES	PROVIDED = 156 INTERIOR BIKE PARKING SPACES
BUILDING 'B' STATISTICS		P1 PARKING LEVEL / GROUND FLOOR		PROVIDED: 325m ² COMMUNAL GROUND FLOOR FITNESS	165 SPACES PROVIDED WITHIN PHASE 2A	165 SPACES PROVIDED WITHIN PHASE 2A	14 EXTERIOR BIKE PARKING AT SURFACE	14 EXTERIOR BIKE PARKING AT SURFACE	14 EXTERIOR BIKE PARKING AT SURFACE
UNITS TYPES		1st Floor		160m ² COMMUNAL LOBBY FUNCTION AND MEETING	(75 OF 165 SPACES ARE REDUCED SIZE COMPACT CAR SPACES - REFER TO DRAWINGS A1, A2 AND A3).	(75 OF 165 SPACES ARE REDUCED SIZE COMPACT CAR SPACES - REFER TO DRAWINGS A1, A2 AND A3).	170 TOTAL BIKE PARKING SPACES (WITHIN PHASE 2A)	170 TOTAL BIKE PARKING SPACES (WITHIN PHASE 2A)	170 TOTAL BIKE PARKING SPACES (WITHIN PHASE 2A)
1 BED 93 UNITS		2nd Floor		407m ² COMMUNAL ROOFTOP	VISITOR PARKING (SCHEDULE 1A - AREA 'X')	VISITOR PARKING (SCHEDULE 1A - AREA 'X')			
2 BED 94 UNITS		3rd Floor		892m ² COMMUNAL AMENITY PROVIDED	REQUIRED = 187 D.U. - 12 X 0.1 = 17.5 SPACES REQUIRED	REQUIRED = 187 D.U. - 12 X 0.1 = 17.5 SPACES REQUIRED			
TOTAL APARTMENT DWELLING UNITS = 187		4th Floor		EACH APARTMENT IS PROVIDED WITH A BALCONY OR ROOF TERRACE OF 6m ² OR GREATER IN AREA.	PROVIDED = 3 EXTERIOR SPACES AT GROUND FLOOR LEVEL	PROVIDED = 3 EXTERIOR SPACES AT GROUND FLOOR LEVEL			
		5th Floor			15 UNDERGROUND SPACES PROVIDED WITHIN LEVEL P1 (REFER TO DRAWING A3)	15 UNDERGROUND SPACES PROVIDED WITHIN LEVEL P1 (REFER TO DRAWING A3)			
		6th Floor			TOTAL = 18 VISITOR SPACES (DESIGNATED WITH 'V')	TOTAL = 18 VISITOR SPACES (DESIGNATED WITH 'V')			
		7th Floor			2.6m X 5.2m VISITOR PARKING SPACE SIZE	2.6m X 5.2m VISITOR PARKING SPACE SIZE			
		8th Floor							
		9th Floor							
		Total Area Above Grade:							

3 BUILDING 'B' PHASE 2-Aa INFORMATION
SP-1b

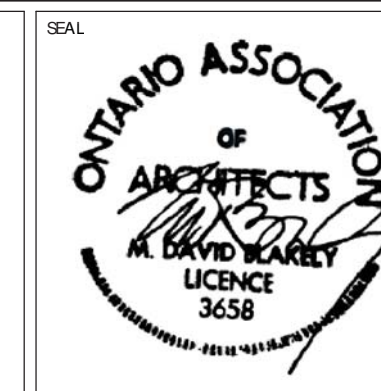
NOTE: SP1b TO BE READ IN CONJUNCTION WITH SP-1a

M. David Blakely Architect Inc.
2300 Place d'Welles Dr. Suite 101 Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 k262629

- GENERAL NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
 - ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS & BY-LAWS WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
 - ADDITIONAL DRAWINGS MAY BE USED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANNING CONTRACT DOCUMENTS.
 - DO NOT SCALE DRAWINGS.
 - THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
 - THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

NOTE: SEE SP1a FOR ADDITIONAL SITE PLAN INFORMATION

12. 11. 10. 9. 8. 7. 6. 5. 4. 3. 06/02/23 SITE PLAN CONTROL COMMENTS KB 15. 24. 23. 22. 21. 20. 19. 18. 17. 16. 15. 14. 13. 12. 11. 10. 9. 8. 7. 6. 5. 4. 3. 06/02/23 SITE PLAN CONTROL COMMENTS KB 15. 24. 23. 22. 21. 20. 19. 18. 17. 16. 15. 14. 13. 12. 11. 10. 9. 8. 7. 6. 5. 4. 3. 06/02/23 FOR SITE PLAN CONTROL SUBMISSION KB 15.



| No. | DATE | DESCRIPTION | INT. | No. | DATE | DESCRIPTION | INT. |
|-----|----------|----------------------------------|------|-----|------|-------------|------|
| 12. | | | | 24. | | | |
| 11. | | | | 23. | | | |
| 10. | | | | 22. | | | |
| 9. | | | | 21. | | | |
| 8. | | | | 20. | | | |
| 7. | | | | 19. | | | |
| 6. | | | | 18. | | | |
| 5. | | | | 17. | | | |
| 4. | | | | 16. | | | |
| 3. | 06/02/23 | SITE PLAN CONTROL COMMENTS | KB | 15. | | | |
| 2. | 24/01/23 | SITE PLAN CONTROL COMMENTS | KB | 14. | | | |
| 1. | 11/02/22 | FOR SITE PLAN CONTROL SUBMISSION | KB | 13. | | | |

A - DETAIL NUMBER
B - SHEET NUMBER (DETAIL REQUIRED)
C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: **Q WEST**
114 RICHMOND ROAD
OTTAWA, ONTARIO

CUSTOMER: **ASHCROFT HOMES**

DRAWING TITLE: **SITE PLAN - PHASE 2-Aa BUILDING 'B' AND DEMOLITION PLAN - PHASE 2-Aa**

DATE: **MARCH 2022**

DRAWN BY: **KB**

CHECKED: **MDB**

SCALE: **1 : 250**

SHEET NO. / REV NO.: **SP1b**

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