

Cultural Heritage Impact Assessment
Soeurs de la Visitation Monastery Development
Richmond Road, Westboro, Ottawa, ON



Image courtesy of RMA+SH



Date:
Client:
RMA Project No:

November 9, 2022
Ashcroft Homes
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1. Executive Summary	2
2. General Information	4
3. Current Conditions/ Introduction to Development Site	5
4. Background Research and Analysis	7
4.1. Research and Methodology	7
4.2. Evolution of Les Soeurs de la Visitation Monastery.....	8
5. Site Analysis and Evaluation	12
6. Statement of Cultural Heritage Value (received from the City of Ottawa)	13
7. Description of the Proposed Development	15
8. Impact of Proposed Development	22
8.1. Summary of Positive Impact	29
8.2. Summary of Negative Impact	29
9. Alternatives and Mitigation Strategies	31
10. Conclusion	Error! Bookmark not defined.
11. Glossary	34

Appendix A	<i>Design Drawings & Renders</i>
Appendix B	<i>Reference Images – Existing Context</i>
Appendix C	<i>Statement of Cultural Heritage Value</i>
Appendix D	<i>Zoning Schedule 256</i>
Appendix E	<i>Tree Conservation Plan</i>

1. Executive Summary

RMA+SH Architects (The Consultant) was retained in October 2022 by Ashcroft Homes (the Client) to prepare a revised Cultural Heritage Impact Assessment (CHIS) for the Soeurs de la Visitation Monastery Development (the Site), located at 144 Richmond Rd in Westboro. The site as a whole, including the Soeurs de la Visitation Monastery, is designated under part IV of the *Ontario Heritage Act*.

Section 4.6.1 of the City of Ottawa Official Plan has policies that outline when a Cultural Heritage Impact Statement (CHIS) is required, which will evaluate the impact of a proposed development on cultural heritage resources when development is proposed that has the potential to:

- Adversely impact the cultural heritage value of properties designated under *Part IV* of the Ontario Heritage Act (OHA).
- Adversely impact the cultural heritage value of districts designated under *Part V* of the OHA.

In addition:

- A CHIS may also be required for development applications adjacent to or within 35 meters of designated buildings and areas.
- A CHIS is required when demolition is proposed.

The previous CHIS was submitted on August 28th, 2018 and approved by the City of Ottawa. Minimal design changes have occurred since the previously approved CHIS. This revision is submitted for two purposes: the previous CHIS has expired and the architect on the project has changed. M. David Blakely Architect Inc. has taken over design of the development.

For this purpose of this review, three-dimensional renderings produced by original design architect Roderick Lahey Architects (RLA) were reviewed and are included herein as no significant changes have been made to the design (i.e. massing) to the best of our knowledge. The RLA renderings still provide relevant representation of the proposed scope of work.

The minor modifications in the updated design include:

- Further definition of material choices for the addition.
- Refinement of balcony size and placement on the addition (resulting from advancing the floor plan designs).
- Adaptation of salvaged stone into interpretive walls to design the original courtyard space.

Overall, the design is seen as having a generally positive impact on the heritage asset, particularly considering the attempt to preserve the complex's exterior heritage character and the integration of a new use to revitalize the vacant complex. Additionally, thoughtful attempts are made to reintegrate character defining elements into the new addition, especially in the courtyard detailing.

Areas that require further refinement include the connection detailing between the existing structure and new addition, improved proportioning and alignment throughout the new addition that is informed by the existing building, and careful detailing of the courtyard transition elements. Integration of the former picturesque quality of the site's landscape that remains a character defining element should also be a priority. Lastly, while the new functions proposed for the complex are in keeping with those in the

designated *Traditional Main Street* zoning, a form of community programming should be considered in order to respect the monastery's prior role in the Westboro community.

The Consultant has been provided with copies of the development proposal plans and planning rationale. This CHIS has been written with the understanding that the actual development proposal consists of the design as outlined in the drawings provided in **Appendix A**.

2. General Information

Address of current project: 114 Richmond Rd. The client proposes retention of approximately 80% of the gross floor area of the Soeurs de la Visitation Monastery and construction of a new addition consisting of two storeys below grade and nine storeys above grade to replace the existing south half of the west wing and entire south wing. The remaining exterior walls, windows and roof of the monastery will be conserved and rehabilitated with some interventions, as described under Section 7 below. The development is proposed for residential, bed and breakfast, and restaurant uses.

The City of Ottawa Comprehensive Zoning By-law (2008-250) designates the subject area as *Traditional Main Street*, which ‘accommodates a broad range of uses including retail, service, commercial, offices, residential and institutional, including mixed-use buildings but excluding auto-related uses.’ The remainder of the site, not affected by the current proposal, is zoned as the following:

The east portion of the site behind the existing residential homes on Leighton Terrace is zoned as *Parks and Open Space* permitting ‘parks, open space and related and compatible uses... [to] ensure that the range of permitted uses and applicable regulations is in keeping with the low scale, low intensity and open space nature of these lands.’

The southwest corner of the site is zoned as *Residential Fifth Density Zone* which ‘allows a wide mix of residential building forms ranging from detached to mid-high rise apartment dwellings.’

Exception [1763], which applies to the entirety of the site, includes a prohibited area for any new buildings where the Monastery is currently located.

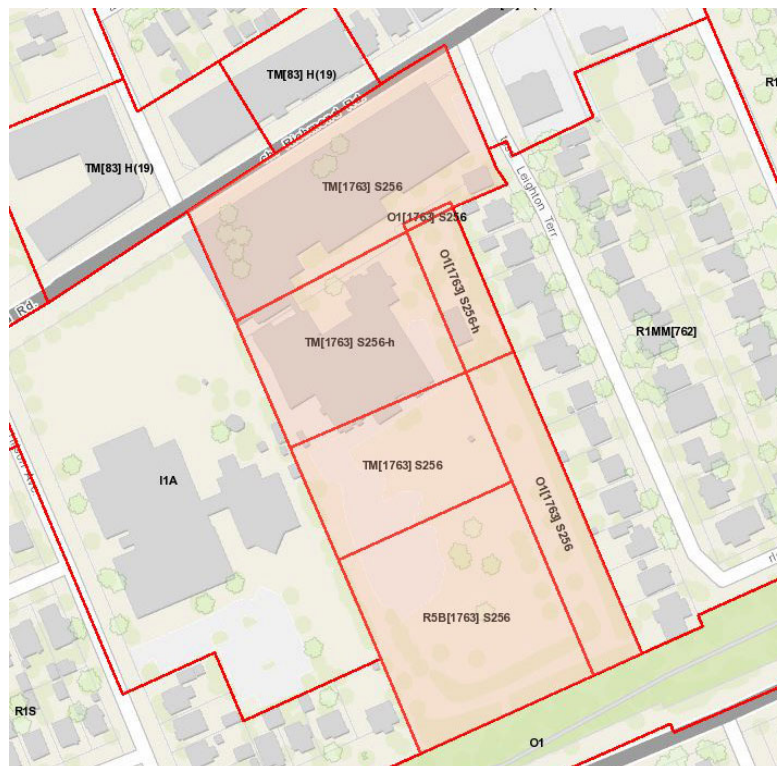


Figure 1: Zoning Boundaries

3. Current Conditions/ Introduction to Development Site

The proposed development site is located directly southwest of the intersection of Richmond Road and Leighton Terrace, within the Westboro neighborhood of Ottawa. The site is approximately 2.1 hectares (5.2 acres) with a 96-meter frontage on Richmond Road and a depth of 217 meters. Two buildings currently exist on the site, including 88-111 Richmond Road (the first phase of the Q West development) at the north boundary of the site and the Soeurs de la Visitation Monastery directly south of the new building. The southern half of the site remains largely vacant.



Figure 2: View of the site prior to development.



Figure 3: View of the site post construction of *Phase 1* [Google 2022].

Adjacent to the site to the east and southwest are residential-zoned neighborhoods consisting of 2 - 3 storey residences and to the west is the Hilton Avenue Public School. The Byron Tramway Park borders the site to the south and Richmond Road with *Traditional Main Street* development borders the site to the north. The site is surrounded by mature trees on the east and south sides.



Figure 4: Aerial View of Subject Property

4. Background Research and Analysis

4.1. Research and Methodology

The methodology used in the preparation of this assessment includes review and reference to the following documents:

Reviewed for 2018 CHIS

- *Q West Richmond Road* drawings, Roderick Lahey Architect Inc., August 27th 2018.
- *Cultural Heritage Impact Statement – Implications of Re-zoning*, +VG Architects, April 2010.
- *Interim Cultural Heritage Impact Statement Addendum (Zoning Component)*, +VG Architects, September 2010.
- *Designation of the Soeurs de la Visitation Monastery, 114 Richmond Road, Under Part IV of the Ontario Heritage Act*, Ottawa Built Heritage Advisory Committee, March 2010.
- *Underpinning Monastery Foundation* drawings, Paterson Group, January 2014.
- *Q West the Abbey Masonry Assessment*, John G. Cooke & Associates Ltd. Consulting Engineers, September 2015.
- *Opinion: What is the Future for the Sisters of the Visitation Monastery*, David Jeanes, Kitchissippi Times, <https://kitchissippi.com/2016/08/04/opinion-what-is-the-future-for-the-sisters-of-the-visitation-monastery/>, April 4th 2010 (Accessed October 3rd 2017).
- *Rich History Surrounds Former Monastery*, Ottawa East News, Ottawa Community News, <https://www.ottawacommunitynews.com/news-story/3796962-rich-history-surrounds-former-monastery/>, October 28th 2010 (Accessed October 3rd 2017).
- *New Spirit for Redundant Religious Properties*, Angela Kryhul, The Globe & Mail, <https://beta.theglobeandmail.com/report-on-business/industry-news/property-report/new-spirit-for-redundant-religious-properties/article15375237/?ref=http://www.theglobeandmail.com&>, November 11th 2013 (Accessed October 3rd 2017).
- *Westboro Monastery still empty five years after development approval*, Joanne Chianello, CBC News, <http://www.cbc.ca/news/canada/ottawa/westboro-monastery-heritage-ashcroft-community-use-seniors-residence-1.3675998>, July 16th 2016 (Accessed October 3rd 2017).

Reviewed for 2022 CHIS update

- *Q West 114 Richmond Road Architectural Drawings*, M. David Blakely Architect Inc., June 2nd, 2022.
- *Q-West Phase 2 Civil Drawings*, Stantec, May 6th, 2022.
- *Q West Building “B” Structural Drawings*, Goodeve Structural Inc., July 6th, 2022.
- *Q West Phase-2 Landscape Plan*, Kallala design, April 28th, 2022.

4.2. Evolution of Les Soeurs de la Visitation Monastery

The original structure on the site, the Gothic Revival house dubbed ‘The Elms,’ was designed by Sydney Fripp and built in 1864-1865 during the Confederation Era as a private residence for James Dyke, a hardware merchant. In 1865 the house was sold to George Eaton, a lumberman, who lived there briefly before selling the house in 1880 to James Skead, a prominent politician and businessman and an important figure in the first decades of the establishment of Bytown. The establishment and development of the Westboro area was also significantly influenced by Skead’s Mill. The house was later sold in 1887 to Allison Hilson Holland, the wife of George Holland who was an Ottawa communications pioneer. Holland’s contributions included introducing Canada to the typewriter and an early Dictaphone as well as contributing to the community as a long-time publisher of the Senate Hansard and owner of the Ottawa Citizen from 1872-1875.



Figure 5: Current view of The Elms at the northeast corner of the Soeurs de la Visitation.

Following its long history of use as a residence for Ottawa’s elite, the property was sold to the Soeurs de la Visitation, a cloistered Visitandine order, in 1910. The Order was founded in Annecy, France in 1610, and was a contemplative order created expressly for those women whose vocation was prayer. The Monastery in Ottawa was the site of their last new monastery in North America.

By 1913, builders Nazaire and Oscar Poirier had constructed a large addition to the existing house for the Sisters, which consisted of four wings around a central courtyard. The Monastery's functions included a Chapel (the monastery's only public space where local Catholics attended Sunday worship), an Infirmary, a Refectory, rooms for the sisters, an office for the Mother Superior, and workrooms all arranged around a central courtyard. Overall, the Monastery addition was a fairly plain structure, with few exterior or interior embellishments. A wall was built to enclose the site, which was much in keeping with the building's role as a monastery; within these walls, the Visitandine sisters lived a life of prayer, receiving few visitors and rarely leaving the property. Additionally, in keeping with their long-established traditions, a portion of the day was devoted to outdoor recreation, which is evidenced in the spacious grounds, large verandas, and remnants of gardens.



Figure 6: Aerial view of monastery & courtyard



Figure 7: Courtyard interior gardens.



Figure 8: Bellcote at rear of chapel.



Figure 9: South face of monastery.

**Figure 10: Chapel Exterior****Figure 11: Chapel Interior****Figure 12: Attic space**

Within 30 years of the monastery's construction, the surrounding community of Westboro became extensively developed with single-family houses. The Soeurs de la Visitation Monastery was largely unaffected by this urbanization of the surrounding neighborhood.

In 1947, the monastery was considered a significant landmark for the Catholic community; in this year, Ottawa hosted a Roman Catholic conference called the Marian Congress, where hundreds of thousands of Roman Catholics came to Ottawa and paraded a statue of the Virgin Mary to the Soeurs de la Visitation Monastery. Their monastery was the only place the statue was delivered, illustrating the importance of the monastery for the Catholic community. The monastery's activity reached its peak around 1959 when it housed 35 nuns. Since that time, the Order's membership has been in decline; by the late 1960's, the number of nuns had dwindled to 16 and, by 2010, it was down to only 8. Within this same year, the Sisters sold the property to Ashcroft Homes and moved to another monastery in Pembroke, where they now occupy a wing of the building.

Heritage designation under *Part IV* of the *Ontario Heritage Act* was applied to the site in 2010, the full statement of which can be found in Section 5.0.

In 2012, Ashcroft Homes began construction of a 9-storey condominium building on the northern section of the site along Richmond Road. In 2013, the Paterson Group was retained to implement underpinning of the monastery at the basement level to mitigate damage arising out of construction of the adjacent development. In 2015, John G. Cooke and Associates was retained to complete a structural analysis of the building and provide recommendations for extent of repair required. Since that time, wall bracing has also been implemented (the extent to which is unclear) to stabilize walls of the monastery which are now showing signs of settlement and cracking. Early in 2017, construction of the Ashcroft development on the north portion of the site was completed.

The former monastery building and the southern portion of the site has remained largely vacant since its sale in 2010, as the developer has been preparing designs and having consultations with the community to determine the best use for the significant structure.

5. Site Analysis and Evaluation

The majority of the cultural heritage value of the Soeurs de la Visitation Monastery lies in the building's physicality as well as its relationship to the surrounding natural context. As a cloistered order, housed behind high walls, the monastery was largely unaffected by the urbanization of the surrounding neighbourhood, only interacting through religious services held in the Chapel. It was, however, a well-known and respected institution throughout the community.

The monastery's isolation was originally achieved through its significant setbacks from Richmond Road and Byron Avenue as well as a large wall along Richmond Road and extensive landscaping. Today, it remains almost completely concealed from Richmond Road by the first phase of the Q West development, which is part of an effort to redevelop this region along Richmond, known as the "East Village", into a *Traditional Main Street* similar to Westboro Village. In the Richmond Road/Westboro Community Design Plan, it is suggested that *'The East Village should take on a more traditional main street character, recognizing the varying character of the existing buildings and lot and block sizes, as an extension of Westboro Village and a link to the West Wellington Main Street east of Island Park Drive.'*

The Richmond Road/Westboro Community Design Plan further suggests that *'should the Soeurs de la Visitation Monastery site be redeveloped sometime in the future, the monastery wall should be taken down and the monastery building be adaptively used, with mixed- use/ground floor commercial along Richmond and residential behind, incorporating as much of the existing landscaping as possible and views of the monastery building.'*

With the construction of the Q West development, the exterior enclosing wall was removed but essentially replaced with the expansive residential development. While the monastery was occupied as a secluded campus, it played an important role in the community and continued to be valued. As such, there is an opportunity for the existing monastery to be a key feature in the redevelopment of the site, with appropriate new uses that continue to interact with the community on a variety of social and economic levels to ensure its ongoing sustainability.

6. Statement of Cultural Heritage Value (received from the City of Ottawa)

The Soeurs de la Visitation d'Ottawa Monastery is comprised of two parts, a Gothic Revival house built in 1864-1865 and the large stone addition constructed in 1913 to transform the structure into a monastery. Its cultural heritage value lies in its being an excellent example of both an 1860s Gothic Revival House designed for and occupied by members of the elite and an early 20th century monastery. The complex has historical value for its association with James Skead (owner 1880 until his death in 1884, whose widow lived there until 1887), a lumberman, senator, Ottawa booster and founder of Skead's Mills and George Holland, (owner 1887-1910), a successful publisher and innovator, and with the Soeurs de la Visitation d'Ottawa. It is also a rare surviving example of a property that housed a cloistered religious community for over 100 years and functioned as a self-sustaining entity for much of that time.

The original two and a half storey stone house was built in 1864-1865. It was designed by English architect Sidney Bowles Fripp for James Dyke, a local merchant, who quickly sold it to George Eaton, a gentleman farmer. It was one of a number of properties built on larger lots laid out along Richmond Road after its macadamization that were intended for members of Ottawa's emerging elite class. The longest owner of the building prior to its purchase and conversion to a monastery in the early 20th century was George Holland, a prominent local newspaperman, and, with his brother Andrew, a communications entrepreneur.

In 1909 George and Alison Holland sold the entire property to the Soeurs de la Visitation, a cloistered order of nuns whose members devote their lives to prayer. Founded in Annecy, France in 1610, the order established monasteries across Europe in the centuries following its establishment. The order's founders, St. Francis de Sales and Ste. Jeanne Francois de Chantal, have both been beatified. The nuns moved into the house in 1910 and, by 1913, its conversion to a monastery was complete. A tall, two storey building with an attic, it consists of four wings arranged around a central courtyard or cloister, a plan followed by the monasteries of medieval Europe and used for Roman Catholic monasteries around the world.

Soon after its acquisition by the Soeurs de la Visitation, the property was encircled by high walls which shielded the monastery from the exterior world, although the Chapel was used by the community throughout its history. In the years following its establishment, the grounds evolved from food production into a contemplative space, also used by the nuns for recreation.

Description of Heritage Attributes

Key attributes that embody the cultural heritage value of the Soeurs de la Visitation d'Ottawa Monastery as an excellent example of both a large Gothic Revival house built for and inhabited by members of Ottawa's elite and a monastery housing a contemplative order of nuns include:

House

- steeply pitched roof with narrow gable-roofed dormers;
- location of the east facing veranda;
- bay window with wooden pointed arch details;
- decorative bargeboard;
- tall chimneys;
- stone quoins and voussoirs;
- Distinctive "pinwheel plan" and central staircase;
- Stone construction.

Monastery

- tall, two storey stone construction with regularly spaced rectangular windows;
- inward-facing plan with the wings arranged around a central courtyard or cloister, enclosed on four sides;
- pattern of the flowerbeds within central courtyard or cloister;
- high hipped metal-clad roof with gable and triangular dormers;
- bellcote;
- first and second floor galleries overlooking the grounds;
- Chapel, its interior volume and pointed arch windows.

Grounds

- picturesque gardens associated with the Gothic Revival house, with the layout of pathways, flowerbeds and mature trees;
- pathway around the periphery of the site to the south of the monastery used by the nuns for recreation, including the allée of trees that defines the pathway on the east side of the property;
- The trees and shrubs along the walls planted to buffer the site from the outside world;
- The strategic placement of the house on a slight rise.

The flat roofed addition to the north of the chapel, the enclosed passageway to the west of the building, the metal barrier wall, the former garage to the east of the building and the small shed-roofed addition to the south of the building are not included in the designation.

7. Description of the Proposed Development

Note: for this purpose of this review, three-dimensional renderings produced by original design architect Roderick Lahey Architects (RLA) were reviewed and are included herein as, to the best of our knowledge, no significant changes have been made to the design (i.e. massing). As noted by the current architect, the RLA renderings still provide accurate representation of the proposed scope of work.

Commercial/Restaurant Area:	1,737sq.m. (18,770sq.ft.)
Residential and Supporting Uses Area:	11,011sq.m. (118,517sq.ft.)
Parking Area:	5,126sq.m.(55,174sq.ft.)
Total Gross Floor Area:	17,677sq.m. (190,276sq.ft)

The residential development proposal encompasses a new 2 storey below grade + 9 storey above grade addition (also known as Building B) to the existing monastery and adaptive reuse of the interior of the remaining structure, as well as general rehabilitation of the historic envelope of the building. The proposal is part of a larger complex which will consist of five buildings when the site is developed: Building A, which currently exists along Richmond Road north of the monastery, is a residential building (not in the scope of this CHIS); Building B is the proposed addition to the south of the monastery; Building C and D are nine and four storey buildings proposed for the southern half of the site (not in the scope of this CHIS); and Building E is the monastery itself.

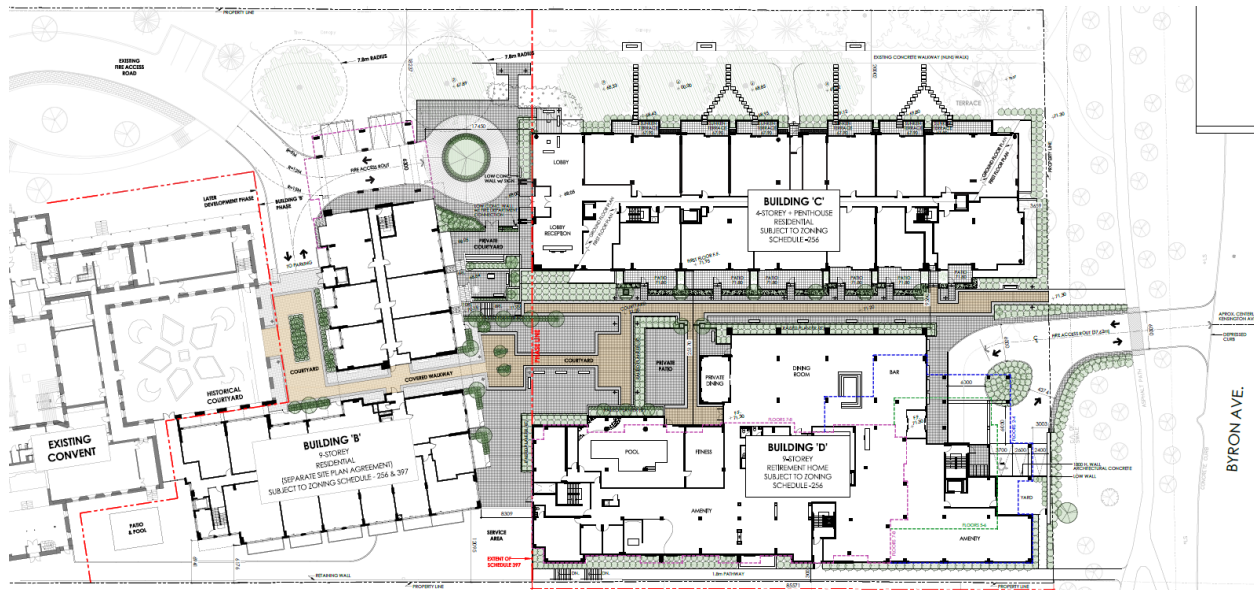


Figure 14: Site plan of development. Image credit: M. David Blakely Architect Inc.



Figure 15: Aerial View of development looking southwest. Image credit: Roderick Lahey Architect.

The scope of work for the new addition includes demolition of the south half of the west wing and the entire south wing of the building and raising of the courtyard level to align with the first floor of the original building (see **Appendix A**). The demolished section of the west wing and area south of the south wing will be infilled with a new 'L' shaped nine-storey addition that will be developed for residential units. Beneath these same areas, as well as below the new raised courtyard, two levels of parking will be introduced.¹

The proposed adaptive re-use of the interior of the existing structure entails demolition of approximately 45% of the interior partitions within the monastery structure. The interior partitions of the ground and first floor levels of the wings, the entire Chapel area at the northwest corner, and the entirety of the original Gothic Revival Elms House at the northeast corner will remain largely intact.

¹ Note that the naming convention for the levels of the existing Monastery has changed to accommodate the new levels of the proposed design development. The former basement level of the Monastery is now identified as the Ground Floor, as access to this level is provided at grade at the southeast entrance of the proposed addition. The other levels remain the same.

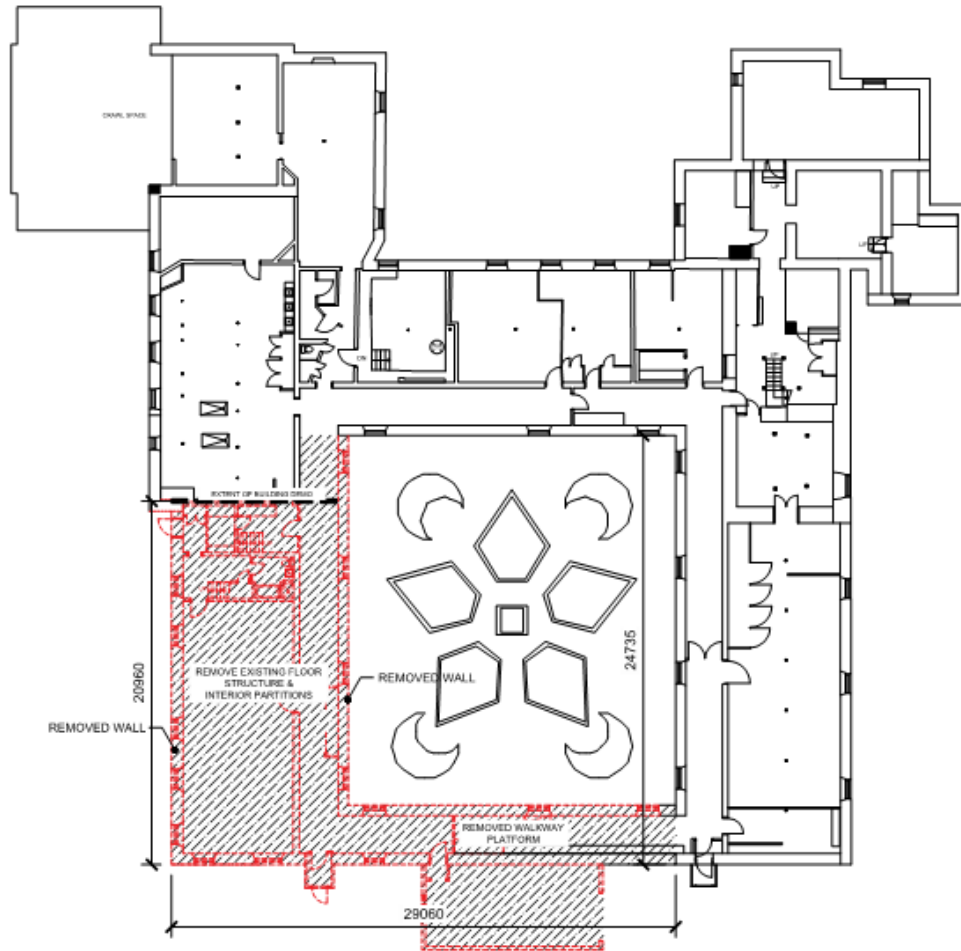


Figure 16: Ratio of demolition, first floor (typical). Credit: Roderick Lahey Architect.

The north wing and the north half of the east wing on the first floor will be repurposed as restaurant space. The remaining interior of the wings on the ground and first floor levels will be used as amenity and storage space to support the residential uses above. The partitions on the second and third floors of the wings will be completely demolished to accommodate the new layout designs for two-storey residential/hospitality uses, such as bed and breakfast or other hotel-like accommodations.

Although the wing design is being heavily modified on two sides, the key circulation path within the remaining wings will be kept as historically designed, following the inside face of the original courtyard walls on the ground and first floors. These circulation corridors will be connected to a new stairwell in the east wing to accommodate exiting requirements within the new proposed use.

Within the existing Gothic Revival house, the interior spaces are proposed to be renovated and converted to a restaurant use; the exterior of the house will be fully retained and rehabilitated, including the existing verandahs and balconies and the decorative porch. Where elements are missing or severely deteriorated these will be reinstated based on historical documentation, remaining historical fabric and precedents. No demolition is proposed for the interior of the Elms House, and therefore the historic plan (which is a character defining element) will remain intact.

The Chapel's exterior will be maintained and restored, and its interior spaces will be rehabilitated and converted into a restaurant use. No demolition is slated for the interior of this character defining space.



Figure 17: View of Elm's House post rehabilitation. Image credit: Roderick Lahey Architect.

The primary exterior masonry walls that surrounded the courtyard on the north and east sides will remain, while the west wall south of the connection point of the addition will be dismantled and the masonry salvaged to create a new masonry wall integrated into the addition. The profile of the roof which was originally at the southern point of the west wing will be reinstated at this location, defining the separation of new and old at the roof line (see Figure 18 below). The west masonry wall north of the connection will be retained and rehabilitated. The south wing is also slated to be entirely demolished to accommodate the new courtyard between the monastery and the addition.

The historic section of the west wing will be separated from the new addition and its interpretive salvaged wall by a fully glazed, two-storey wall segment in order to highlight the junction of new and old. A new flat section of roofing will connect the roof of the original building with the side of the proposed addition on the west wing. This element will form a visible 'link' or intersection between the new and old at the roof level, allowing viewers to understand the building's evolution and extent of the remaining historic structure from the exterior. On the east and west facades, the glazed link will be constructed in the plane of the demolished wing, which is already offset from the face of the remaining portion of the west wing. This setback will help to distinguish the new from the old while also memorializing the plane of the demolished structure. Compared to earlier renditions of the design, the new building steps back more, and is set back slightly from the original building, which helps reduce the imposition of the large addition on the modest heritage structure.



Figure 18: View of courtyard and west wing transition. Image credit: Roderick Lahey Architect.

Inside this glazed transition a corridor is located which will act as a primary circulation path on the first and second floors, connecting both an outdoor amenity space with the re-created courtyard in the east-west axis (first floor) and the addition with the historic corridor of the monastery in the north-south axis (first and second floors). To heighten the experience of this transitional space, the north wall of the corridor will be built using the salvaged stone and opening geometry of the original southernmost face of the west wing.

Exterior landscape features will be implemented to memorialize the old courtyard, such as an inlay at the courtyard level showing the footprint of the original garden design, and additional patterned paving elements showing where the south wing originally stood. To highlight the transition between the new courtyard and raised historic courtyard, a masonry feature wall will be constructed where the southernmost wall of the monastery previously stood. This wall takes inspiration from both buildings, including a large opening to reflect the archway in Building B and smaller openings which align with the former window/door openings of the south façade. This feature will be completed with a glazed canopy to reinforce the width and use of the south wing as a corridor and create a covered outdoor resting area for occupant enjoyment.



Figure 19: View of courtyard and west wing transition. Image credit: Roderick Lahey Architect.

The reinterpreted raised heritage courtyard will be accessible not only through the buildings, but also from the existing porch on the east wing of the building and a new stair adjacent to the porch. From Byron Avenue to the south, the landscaping of the new development leads the pedestrian down a 'colonnade' between Buildings C and D (not in scope of this CHIS) and through the archway in Building B into the elevated courtyard. Landscaping in all of the aforementioned areas is currently being refined with the assistance of landscape architect, Kallala Design, and will need to be carefully detailed to ensure high levels of pedestrian engagement while providing a design that is both reflective of and respectful to the heritage features of the historic site. Overall, the re-imagined courtyard will provide a memory of the original courtyard which can be explored on a pedestrian level and viewed from above by residents of the surrounding development, allowing the public to enjoy this sacred space which was previously hidden away.



Figure 20: Colonnade leading to Building B between Buildings C & D. Image credit: Roderick Lahey Architect.



Figure 21: Courtyard connection between Building B and Monastery. Image credit: Roderick Lahey Architect.

The existing gabled dormers on the Monastery wings that face the courtyard will be replaced with a single, continuous 'contemporary shed dormer' to allow more light into the third level, while the original dormers on the chapel, house, and exterior facing wing roofs will remain.

Along the southeast side of the building, a new landscape will be sculpted to allow both vehicular and accessible entry into the southeast entrance of the addition. This entrance acts as the primary access to both Buildings B and C. The landscaping directly adjacent to the existing east wing will be characterized by organic planting that slopes and steps up to the existing verandahs of the monastery.

Landscaped areas along the north of the building were recently constructed in stepped tiers complete with various stairs and retaining walls. These spaces will lend to the future assembly character of the site, as they will be transformed into a raised patio for use by the Elms House and Chapel restaurants.

Along the west side of the site, a one-way access road runs straight through to Richmond Road for loading purposes. This road can also function as an accessible pedestrian access to the west entry of the Chapel restaurant, where community members formerly entered to attend church services. Within the small pocket of space on the west of the building, between the south face of the chapel and the north face of the addition, the land will be developed as outdoor amenity space for the residents in the form of a swimming pool.

In general, the design of the addition takes inspiration from the existing structure in terms of geometry and materiality. Window heights and floor levels generally follow the same datum lines that are established in the monastery, allowing the viewer to feel cohesiveness even while the two buildings are visually distinguishable from one another. The design of the reconstructed west courtyard wall should follow the rhythm of the original window openings to maintain a clearer memory of the original courtyard design. The proposed material of the new addition has been revised. The 6-storey “base” of the building will be clad in brick with extensive glazed areas. The upper 3 storeys will be clad in metal panels with glazed openings. The proposed brick is a smooth gray/beige tone, to compliment the existing colouration and to provide a backdrop to the beautiful rough masonry of the monastery. Interspersed with the contemporary masonry, glazing is used in abundance to provide a visual lightness to the addition and enable reflection of the historic building in the new. The façades of the new addition are complete with protruding balconies.

Treatment of the existing convent and its rehabilitation of heritage elements will be detailed under separate cover, in the *Conservation Plan*.

The scope of the new construction can be found on the architectural design elevations, attached as **Appendix A**.

8. Impact of Proposed Development

Our assessment attempts to identify any positive and negative impacts the proposed development may have on the identified heritage value of cultural heritage resources. Assessment is made by measuring the impact of the proposed works on the significance and heritage attributes defined in the background documents, and outlined in Section 5 of this CHIS. Specific to this proposal, the design proposal will be assessed against all three categories for designation (design value, historical value, and contextual value).

Extracted from the City of Ottawa CHIS template, positive impacts of a development on cultural heritage resources typically can include, but are not limited to (we have highlighted in bold those items deemed most relevant for consideration in this CHIS):

- **Restoration of a building or structure, including replacement of missing attributes,**
- Restoration of an historic streetscape or enhancement of the quality of the place,
- **Adaptive re-use of a cultural heritage resource to ensure its ongoing viability, and**
- Access to new sources of funds to allow for the ongoing protection and restoration of the cultural heritage resource.

Negative impacts can include, but are not limited to:

- **Demolition of any, or part of any, heritage attributes or features,**
- **Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building or structure,**
- **Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape,**
- **Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship,**
- Obstruction of significant views or vistas within or from heritage conservation districts (designated under *Part 5* of the *OHA*),
- Obstruction of significant identified views or vistas within or from individual cultural heritage resources (designated under *Part 4* of the *OHA*),
- **A change in land use where the change affects the property's cultural heritage value, and**
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

The following explains the level of impacts used to assess the proposed development, which have been divided into Positive and Negative, with three subcategories under the Negative umbrella.

POSITIVE	NEGATIVE		
	LOW	MODERATE	HIGH
The proposed development does not negatively impact the attribute listed.	The proposed development provides a low impact to the attribute listed.	The proposed development provides both low and high impacts, resulting in a moderate impact to the attribute list.	The proposed development negatively affects the attribute listed.

The following table summarizes our assessment of the impacts to heritage value as a result of the proposal redevelopment. The assessment first addresses the impact on the character defining elements of each building; the second part of the assessment then discusses the overall conformance of the proposal to the *Standards and Guidelines*.

Statement of Significance - Heritage Attributes		
Character Defining Elements	Discussion	Impact
The Elms House		
Steeply pitched roof with narrow gable-roofed dormers	<p>The exterior of the Elms House is being fully retained and restored as part of the adaptive reuse scope of work (see Appendix A).</p> <p>The verandas and porch will be retained through reconstruction and rehabilitated.</p> <p>The interior of the house will be retained, rehabilitated and repurposed as a restaurant. The interior plan of the house, which is a character defining feature, will remain intact.</p> <p>By retaining the full Elms House, the memory and associations with James Skead and George Holland will also remain largely intact.</p> <p>As the current condition of the house is poor and has remained vacant for a number of years, a new function and rehabilitation is seen as a positive.</p>	Positive
Location of east facing front veranda		
Bay window with wooden pointed arch details		
Decorative bargeboard		
Tall chimneys		
Stone quoins and voussoirs		
Distinctive ‘pinwheel plan’ and central staircase.		
Stone construction		

1913 Monastery Addition		
<p>Tall two storey stone construction with regularly spaced rectangular windows.</p>	<p>Approximately 25% of exterior masonry walls are being demolished to allow for the new addition at the south-southwest, including windows and doors within these areas. The west courtyard wall is being dismantled and the stone salvaged to create a new contemporary masonry wall on the proposed addition. The south wing is being fully demolished.</p> <p>The masonry areas that are being retained will be rehabilitated, which is seen as a positive impact.</p>	<p>Moderate</p>
<p>High hipped metal clad roof with gable and triangle dormers.</p>	<p>Approximately 20% of the hipped roof is being demolished to allow for the new addition at the southwest corner. The gables on the roofs facing the courtyard are being demolished and replaced with a continuous contemporary dormer to allow for more light into the former attic space.</p> <p>The southern profile of the roof at the original end of the west wing is being reinstated at the connection point to the new addition, which is seen as a positive impact.</p> <p>The areas of roof that are being retained will be rehabilitated, which is seen as a positive impact.</p>	<p>Moderate</p>
<p>Bellcote</p>	<p>The bellcote is being fully retained and rehabilitated as part of the scope of work (see Appendix A).</p>	<p>Positive</p>
<p>First and second floor galleries overlooking the grounds.</p>	<p>All verandas and galleries are being fully retained and rehabilitated as part of the scope of work (see Appendix A).</p>	<p>Positive</p>
<p>Chapel, its interior volume and pointed arch windows.</p>	<p>The chapel and its interior volume are being fully retained and rehabilitated as part of the scope of work. The Chapel is currently proposed to be repurposed as a restaurant. The scope of work related to specific elements will be presented in the <i>Conservation Plan</i>.</p>	<p>Positive</p>

<p>The inward facing plan with the wings arranged around a central courtyard or cloister, enclosed on four sides.</p>	<p>The new design entails demolition of a significant part of the 'wing' design of the original monastery, including the southern half of the west wing and the entire south wing. The courtyard is being slightly elevated to align with the first-floor level and the west wall is being reconstructed, in a new configuration of the original stones, as part of the new addition on the west side. While the north and east wings remain, the overall design of the original European monastic plan (which has strong aesthetic value) is no longer easily readable from the exterior.</p> <p>However, the design of Building B attached to the Monastery attempts to re-create this relationship, forming an 'L' shape which generally closes the square plan on two sides, nearly surrounding the courtyard except for an access opening on the east side. Additionally, the south façade and roofing profile of the west wing is proposed to be dismantled and rebuilt within the transition space of the west wing, to provide a memory of the façade that was formerly viewed from south of the site. This is seen as a positive interpretation to the original wing design.</p>	<p>Low to moderate</p>
<p>Pattern of the flowerbeds within the central courtyard or cloister.</p>	<p>The garden itself is being removed; however, its pattern will be memorialized using a landscaped inlay on the new raised courtyard.</p>	<p>Low</p>
<p>Grounds</p>		
<p>Picturesque gardens associated with the Gothic Revival House, with the layout of pathways, flowerbeds, and mature trees.</p>	<p>The property to the north and south of the monastery is being fully developed with new high and mid-rise towers, resulting in nearly full removal of the sloping lawn that the Sisters once frequented in their daily activities. Select landscaping in the form of a small sloping lawn rising to the east entrance and a landscaped walkway along the east border of the site are the only green spaces which will remain.</p>	<p>High</p>

<p>Pathway around the periphery of the site to the south of the monastery used by the nuns for recreation, including the allée of trees that defines the pathway on the east side of the property.</p>	<p>The southern portion of the site is planned to be developed, the extent and design of which is currently not finalized. Based on current plans of the site, the allée on the east side of the property has been retained and re-established with a new pathway. Further consideration regarding the landscape plan will need to take place following presentation of the development for the south portion of the site. The landscape architect should ensure the heritage character of this feature is respected in the new landscape design.</p>	<p>Moderate</p>
<p>The trees and shrubs along the walls planted to buffer the site from the outside world.</p>	<p>The walls and shrubbery discussed were removed as part of the first phase of the development for the site on the northern border of the property. The notion of providing “a buffer to the site from the outside world” has been re-established by introducing the new 9 storey development, which acts as a new buffer for the monastery. The scale and design of this development has further removed the monastery’s connection to Richmond Road and the community.</p> <p>Based on the latest landscape plan, a number of new tree plantings are slated for the eastern periphery of the site, buffering the development from the residential area on Leighton Terrace. This is seen as an improvement from previous iterations.</p>	<p>Moderate</p>
<p>The strategic placement of the house on a slight rise.</p>	<p>The monastery site has undergone drastic landscaping changes as part of the first phase of the development of the site, including implementation of a series of retaining walls and hardscaping directly adjacent to the building to the north. Even with these interventions, the house and monastery are still located on a slight rise which can be recognized in approaching the site from the southeast. Future plans for this development also show retention and revitalization of this character defining feature.</p>	<p>Low</p>

Standards and Guidelines for the Conservation of Historic Places in Canada		
Standards	Discussion	Impact
<p>Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</p>	<p>The entirety of the listed heritage attributes for the Elm house and the Chapel are being protected in the proposed design.</p> <p>Treatment of historically significant materials will be developed in the <i>Conservation Plan</i>, based on existing condition and heritage value, in conformance with the <i>Standards and Guidelines</i>.</p> <p>Masonry from the demolished walls will be salvaged and reinterpreted to enclose the courtyard on the west and south sides. This intervention significantly alters the historic building; however, the physical material and the memory of the original design will be memorialized in the new construction.</p> <p>The new addition proposes demolition of a large portion of the 'wing' design of the original monastery, which reduces its association to the Visitandine Order as it is breaking away from the European Monastic plan design. However, it is important to note that the aesthetic of the monastery will be largely retained on the north and east facades, which will allow this association to be appreciated in the public realm.</p>	<p>Low</p>
<p>Find a use for an historic place that requires minimal or no change to its character-defining elements.</p>	<p>Firstly, the decision to demolish of one and a half original wings of the convent rather than to find a new use for this space poses a considerable impact on the heritage building.</p> <p>The new uses proposed for the remaining heritage building generally respect the existing heritage attributes of the site and provide a vehicle for the ongoing use of the heritage resource.</p> <p>However, the introduction of the residential units on the second floor and attic levels of the convent requires significant interior demolition</p>	<p>Moderate</p>

	<p>on the second and attic floors, which is seen as having a moderate negative impact.</p> <p>Further, in keeping with the Chapel's previous role in the community, it is still recommended to attempt to find a community function within the development.</p>	
<p>Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.</p>	<p>The 9-storey section of the proposed addition which is attached to the remainder of the west wing is very out of scale when compared to the scale of the monastery. Attempts have been made by the design team to implement step-backs at the connection point, to reduce the impact the scale will have on the monastery. Additionally, back-sloping of the roof of the monastery will be implemented at this location to further define the separation of new and old at the roof level.</p> <p>Within the areas where the existing building is being retained, the character and aesthetic of the existing monastery are being largely rehabilitated and not visually modified.</p> <p>In the areas of new infill, the proposed construction is visually distinguishable from the existing buildings and the overall proportions and connection details are intended to be visually compatible with the heritage structures. The design of the new development attempts to take some cues from the design of the existing structure (ie floor levels). Additional consideration of the scale, materiality, and connection detail is advised.</p> <p>While the new addition is visually distinguishable from the heritage fabric, further reference to materiality, datum lines and openings of the existing monastery should be developed.</p>	<p>Moderate</p>

8.1. Summary of Positive Impact

Positive aspects of the proposal include:

- The effort to maintain and reuse a large part of the existing heritage resource (80% retention).
- The overall preservation and reuse of the Elm's House, including rebuilding and rehabilitation of its existing porches, respects the physical character defining elements that illustrate its Gothic Revival design;
- The overall restoration of the facades of the 1913 Monastery addition that will remain, as well as additional character defining elements including the bellcote and galleries;
- The retention of the interior partitions of the existing 1913 Monastery addition on the first and second floor levels, and retention of all interior partitions within the Elms House;
- The effort to restore the Chapel, both interior and exterior;
- The proposed functions for the existing structures generally respect the overall character defining elements and heritage values;
- The general retention of the notion of the enclosed courtyard on a slightly elevated level, surrounded by two and a half of the original wings and the two new 'wings' of the proposed addition;
- The recreation of the original design intent of the courtyard space, using respectful integration of the inlaid flowerbed pattern at the new courtyard level, the patterned paving to denote the extents of the south wing, and the transitional re-interpreted masonry wall memorializing the south wing and original courtyard and its formal nature;
- The introduction of access into the courtyard for both occupants and the community, and the new visibility of the building and courtyard from above from within the adjacent developments;
- The re-creation of the southernmost façade of the west wing within the interior corridor and at the roof line of the junction between the existing monastery and the new building to create a feature transition wall and reincorporate the sloped roofing profile; and
- The wider transition between the addition to the west wing and the monastery, made almost entirely out of glass, makes for a more "discreet" connection between the old and the new. The addition is stepped back, and set back from the convent from original iterations, further enabling the addition to fade more into the background. On the whole, this is seen as a positive change (from older iterations) for the transition between the old and the new, contributing to give the heritage building slightly more prominence.

8.2. Summary of Negative Impact

Negative aspects of the proposal include:

- The scale of the proposed addition overall (although attempts have been made by the design team to step back the addition at the south of the west wing where the addition connects to the remaining west wing) remains very large at 9 storeys when compared to the historic scale of the monastery;

- Further consideration to reducing the protrusion of the addition at the west wing to align with the face of the Chapel is recommended;
- The demolition of the southern half of the west wing and entire south wing of the 1913 monastery does not entirely respect the original building plan which is a character defining element;
- The overall development significantly impacts the original relationship of the monastery to the surrounding, natural landscape. The picturesque nature of the monastery's context is considered a heritage attribute exhibited through the picturesque gardens associated with the Gothic Revival house, the layout of pathways, the flowerbeds and mature trees. While the new pathway along the east of the site attempts to reintegrate some of the recreation pathways that formerly existed on the site, the majority of the heritage attributes associate with the grounds are lost or unresolved in the proposal; and
- While the new addition is distinguishable from the existing 1913 building, it is not entirely compatible in terms of the overall proportions and massing. Careful consideration of detailing is highly recommended for the new addition as the design advances.

9. Alternatives and Mitigation Strategies

The CHIS must assess alternative development options and mitigation measures in order to avoid or limit the negative impact on the heritage value of identified cultural heritage resources.

Taken from the City of Ottawa CHIS template, methods of minimizing or avoiding a negative impact on a cultural heritage resource(s) include but are not limited to (we have highlighted in bold those items that may be relevant for consideration in this CHIS):

- **Alternative development approaches that result in compatible development and limit negative impacts,**
- **Separating development from significant cultural heritage resources to protect their heritage attributes including, but not limited to, their settings and identified views and vistas,**
- **Limiting height and density or locating higher/denser portion of a development in a manner that respects the existing cultural heritage resource or the heritage conservation district, and**
- **Including reversible interventions to cultural heritage resources.**

Possible mitigation strategies for the proposal include:

- Thoughtful design and continuing to refine the connections between new and existing, such as ‘gaskets, recesses, reveals’;
- Further study and documentation of existing building proportioning, key datum lines to inform new addition and connection with existing;
- Further definition of materials and colours, both existing and proposed new, to examine compatibilities;
- Landscaping that respects the site’s former picturesque nature by recognizing primary vantage points and access locations and encourages movement between the monastery and its context;
- Further study and documentation of the existing buildings removed masonry walls around the courtyard and options for reconstruction in new layout;
- Careful detailing of the stepped-back section of the addition connecting directly to the west wing, to ensure a suitable transition and mitigation of height impacts to the existing monastery (i.e reducing shadows);
- Further consideration of ‘lighter’ design features for Building B, to ensure it acts as a backdrop to the heritage resource, which should be the focus of the site;
- Reduction to the west addition’s protrusion towards the west to better align with the existing face of the Chapel; and,
- Consideration given to displaying interpretive elements (with the guidance of an exhibition expert), such as the remaining interior historic features which will be removed with the renovations, in order to celebrate the former monastery use and foster further understanding of the history of the site.

10. Discussion

Use and Vocation

One significant challenge is finding a viable use for the structure; dozens of possibilities have been explored by the Design Team. Community uses would be ideal and might have the best chance of maintaining more of the current building configuration but, to date, to the best of our knowledge, no municipal or community partner has been identified. The current best analysis is that residential rental units and bed and breakfast use presents the most viable future tenancy. The realities of location, marketability, and rental income must be considered when developing the future program of the restored space. A successful, long-term solution is critical when adapting a heritage structure in order to reduce the need more multiple adaptations over a short time.

Existing condition

The existing building, under the tenure of the nuns, incurred significant 'deferred maintenance' (likely due to capital limitations) and presents some significant challenges to an adaptive reuse approach in its current configuration. It is understood that adapting an old unreinforced, uninsulated, mass-masonry building to new functional uses according to current building codes, including structural loading and seismic provisions, requires extensive new works. All upgrades and interventions will follow best conservation practice. The scope and approach to interventions will be outlined in the *Conservation Plan*.

The adaptive reuse of the House and the Chapel, for contained uses (separate businesses, even) are seen as positive changes.

Public Realm Access

The existing building, under the cloistered tenure of the nuns, was closed off literally and figuratively. With the new development of high rises to the north and south (planned), plus the school to the west, public access to view and circulate around the monastery will be limited primarily to the north through carriage ways, to the east along the pathway through the site, and to the south through the new colonnade and archway in Building B. This movement suggests that the intended location for removals (the southern half of the west wing and entire south wing) and new construction is likely the best location to limit visual impact and to maintain a 'reading' of the convent massing, as the primary structures and facades will still remain and be visible when approaching from the north and southeast. Further, the new configuration and building addition will allow occupant and community access at the pedestrian level and views from above into the courtyard, a character defining feature which was formerly entirely closed off from the public eye.

Summary

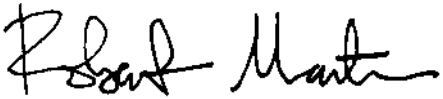
The proposed scope of work retains the majority of the primary defined heritage character elements, incorporating both restoration/rehabilitation aspects, especially when viewed from the exterior. Adding an addition to the south and southwest incorporates new floor space and provides some flexibility for a variety of residential uses. The footprint/'memory' of the courtyard gardens and south wing, expressed in plan within the adapted raised courtyard is assessed as a constructive approach.

Given the complex details, materials and proposed scope of conservation work, a conservation architect will be engaged to plan, design and review all the conservation work for the convent.

While the development proposal constitutes a significant intervention and involves some demolition of portions of the structure and defined heritage character, the proposed comprehensive program of exterior preservation and rehabilitation are seen as beneficial. The addition, with ongoing design development and refinement, could coexist with the heritage asset.

In balance, with the noted constraints and with design development refinement, the proposal is assessed as generally compatible with and non-threatening to the documented heritage values of the Monastery. The general massing and appearance of the current proposal does not impact views when approaching from Richmond Road to the north and, with further design development, the landscape is assessed as capable of supporting the proposed development without negatively affecting the *cultural heritage resource*.

Please do not hesitate to contact the undersigned should you have any questions or wish to discuss any aspect of this assessment.



Robert Martin OAA, MRAIC, CAHP, LEED AP

11. Glossary

Adversely Impact

A project has the potential to “adversely impact” the cultural heritage value of a project if it; requires the removal of heritage attributes, requires the destruction of a cultural heritage resource, obscures heritage attributes, is constructed in such a way that it does not respect the defined cultural heritage value of a resource.

Built Heritage

Includes buildings, structures and sites that contribute to an understanding of our heritage and are valued for their representation of that heritage. They may reveal architectural, cultural, or socio-political patterns of our history or may be associated with specific events or people who have shaped that history. Examples include buildings, groups of buildings, dams and bridges.

Cultural Heritage Resources

Includes four components: Built Heritage, Cultural Heritage Landscapes, Archaeological Resources, and documentary heritage left by people.

Cultural Heritage Landscape

Any geographic area that has been modified, influenced, or given special cultural meaning by people and that provides the contextual and spatial information necessary to preserve and interpret the understanding of important historical settings and changes to past patterns of land use. Examples include a burial ground, historical garden or a larger landscape reflecting human intervention.

Preservation

Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of an historic place or individual component, while protecting its heritage value.

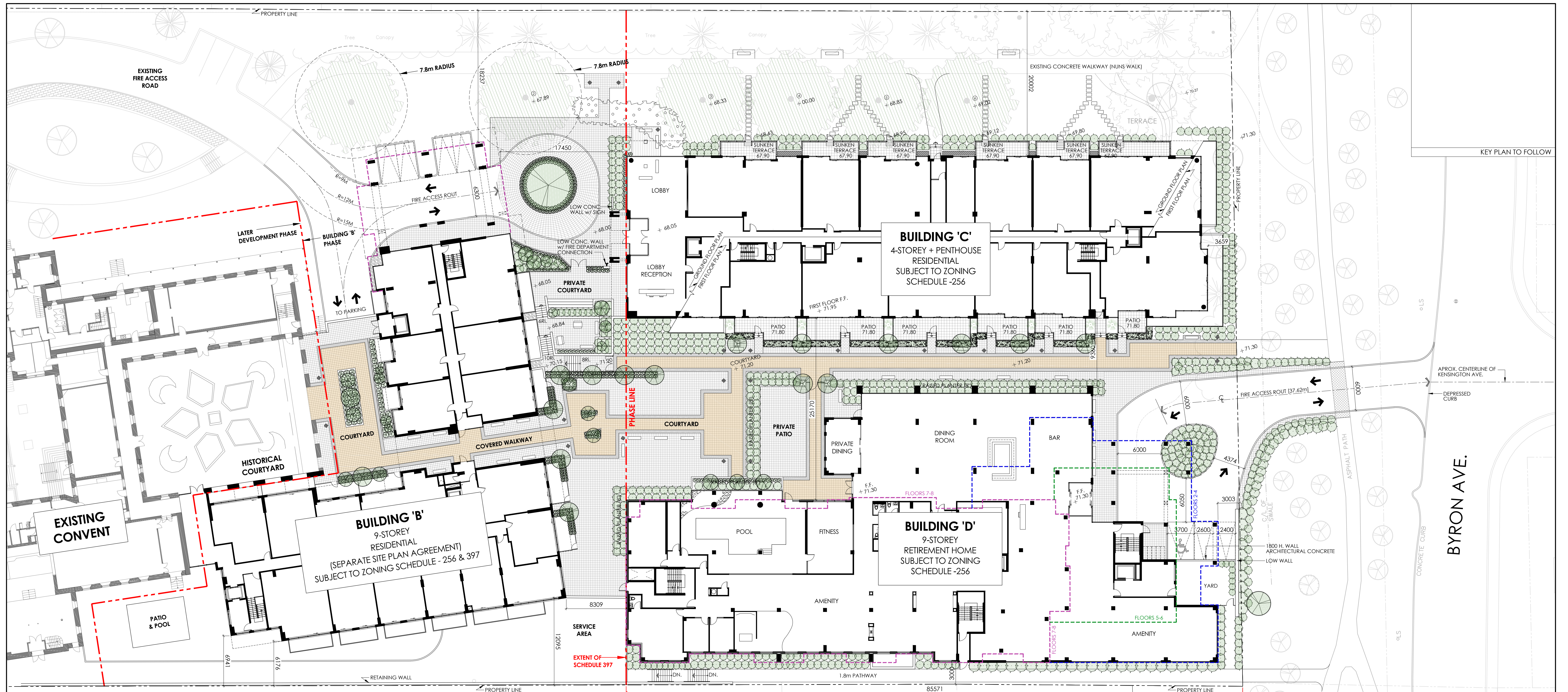
Rehabilitation

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value.

Restoration

Restoration involves accurately revealing, recovering or representing the state of an historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value.

Appendix A:
Design Drawings & Renders



BUILDING INFORMATION: BUILDING 'B' - APARTMENT BUILDING

INFORMATION TO FOLLOW
 ZONING : TM [1763] S256 & S397
 PARTIAL SITE AREA
 LANDSCAPED AREA
 EXTERIOR COMMUNAL AMENITY SPACE
 TOTAL PARKING REQUIRED
 TOTAL PARKING PROVIDED

PARTIAL SITE INFORMATION [PHASE B]

ZONING : TM [1763] S256 & S397
 PARTIAL SITE AREA
 LANDSCAPED AREA
 EXTERIOR COMMUNAL AMENITY SPACE
 TOTAL PARKING REQUIRED
 TOTAL PARKING PROVIDED

PARTIAL SITE INFORMATION [PHASE C & D]

ZONING : R5B [1763] S256
 PARTIAL SITE AREA (TO PHASE LINE AT FIRST FLOOR)
 LANDSCAPED AREA
 EXTERIOR COMMUNAL AMENITY SPACE
 TOTAL PARKING REQUIRED
 TOTAL PARKING PROVIDED

BUILDING INFORMATION: BUILDING 'C' - APARTMENT CONDO

INFORMATION TO FOLLOW
 BUILDING AREA: 1,790M²
 BUILDING HEIGHT: 4.93M [15.00M max]
 (SEE ELEVATIONS)
FLOOR AREA (G.F.A.) :
 P2 0.000M²
 P1 (GRND) 0.617M²
 1st 1.562M²
 2nd 1.580M²
 3rd 1.586M²
 4th 1.612M²
 PENT 0.000M²
 TOTAL: 6.957M²
NUMBER OF UNITS :
 P2 (GRND) 00
 1st 14
 2nd 14
 3rd 14
 4th 12
 PENT 00
 TOTAL: 60
BUILDING SETBACKS :
 NORTH: N/A
 EAST: 20.00M
 SOUTH: 3.66M
 WEST: N/A
PARKING :
 REQUIRED: 0.5 PER D.U. = 30 SPACES
 VISITORS: 0.1 PER D.U. = 05 SPACES (AFTER FIRST 12 D.U.)
 PROVIDED: 35 SPACES
BICYCLE PARKING :
 REQUIRED: 0.5 PER D.U. = 30 SPACES
 PROVIDED= 44 (P1 LEVEL)
AMENITY AREA :
 REQUIRED: 6M² PER D.U. = 360M² TOTAL
 COMMUNAL = 180 (50%)
 PROVIDED: PRIVATE = 2,602M²
 COMMUNAL = 628M²
 TOTAL = 3,230M² **
 **PLUS EXTERIOR COMMUNAL AMENITY AREA ON SITE (____M²)

BUILDING INFORMATION: BUILDING 'D' - RETIREMENT HOME

INFORMATION TO FOLLOW

GENERAL NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECTURE.
 2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
 3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
 4. DO NOT SCALE DRAWINGS.
 5. THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
 6. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

M. David Blakely Architect Inc.
 2333 Price of Wishes Dr. Suite 101 Ottawa, Ontario
 Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

No.	DATE	DESCRIPTION	INT.	No.	DATE	DESCRIPTION	INT.
12.				24.			
11.				23.			
10.				22.			
9.				21.			
8.				20.			
7.				19.			
6.	24/02/22	BUILDING 'B' FOR STRUCTURAL DESIGN	MB	18.			
5.	15/12/21	BASE PLAN UPDATED/ SHANNON ST.	MB	17.			
4.	23/11/21	FOR DISCUSSION	MB	16.			
3.	01/11/21	BLDG. 'D' PARKING RAMP DELETED	MB	15.			
2.	29/07/21	BLDG. 'D' ENTRANCE OFF BYRON REV.	MB	14.			
1.	09/11/18	FOR SITE PLAN SUBMISSION	MB	13.			

REVISIONS

A - DETAIL NUMBER
 B - SHEET NUMBER (DETAIL REQUIRED)
 C - SHEET NUMBER (DETAIL LOCATION)

PROJECT:
Q WEST
 114 RICHMOND ROAD
 OTTAWA, ONTARIO

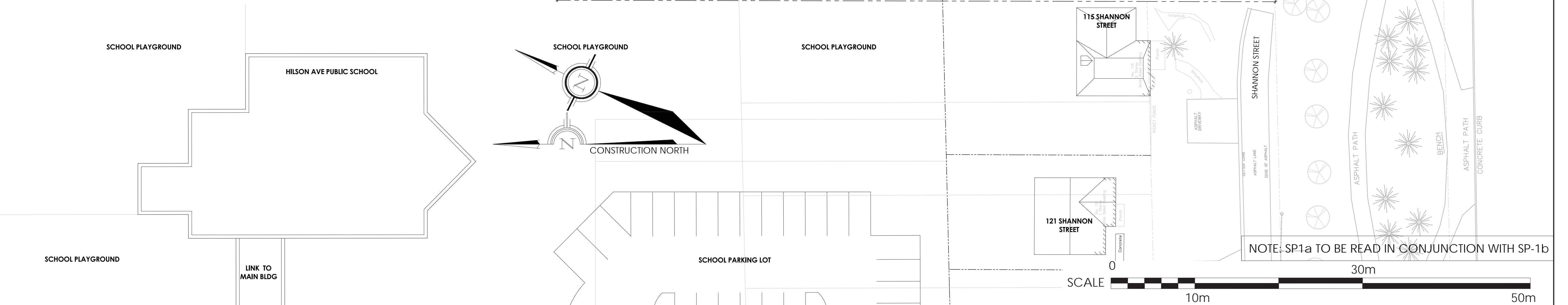
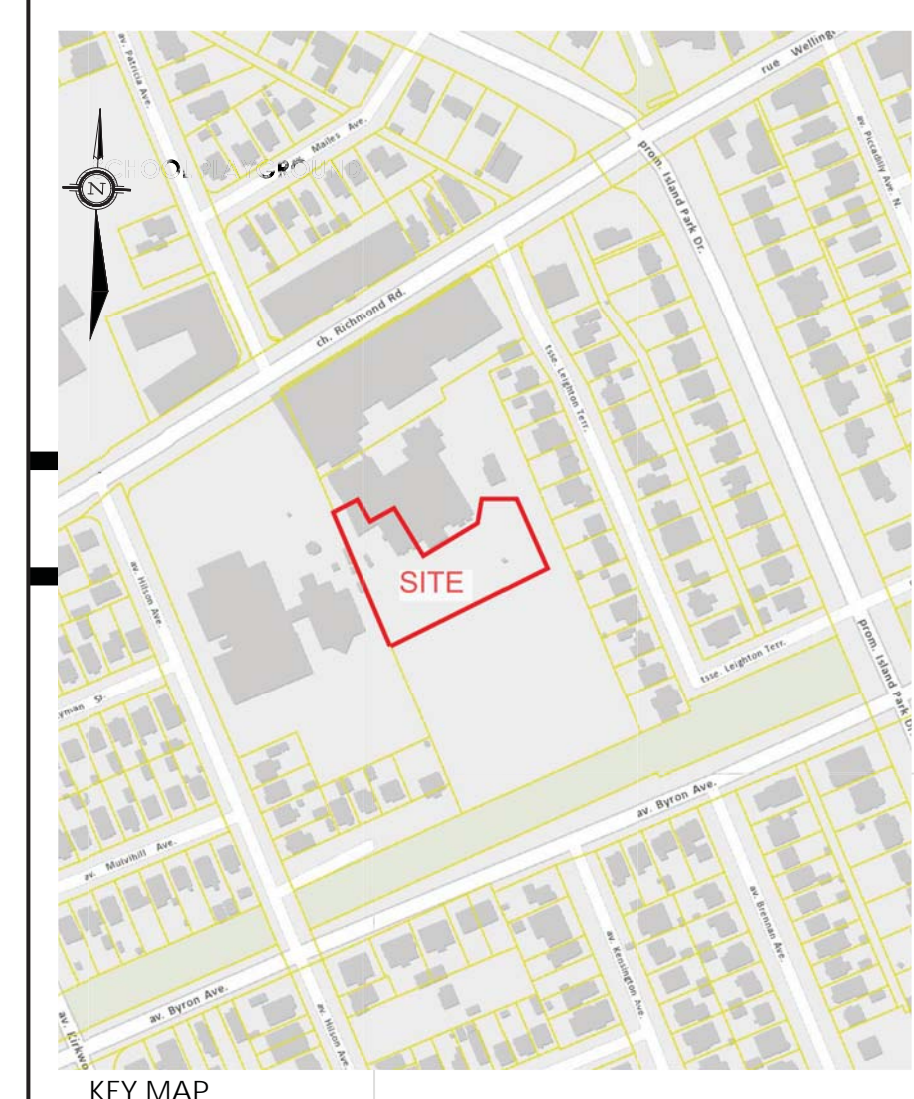
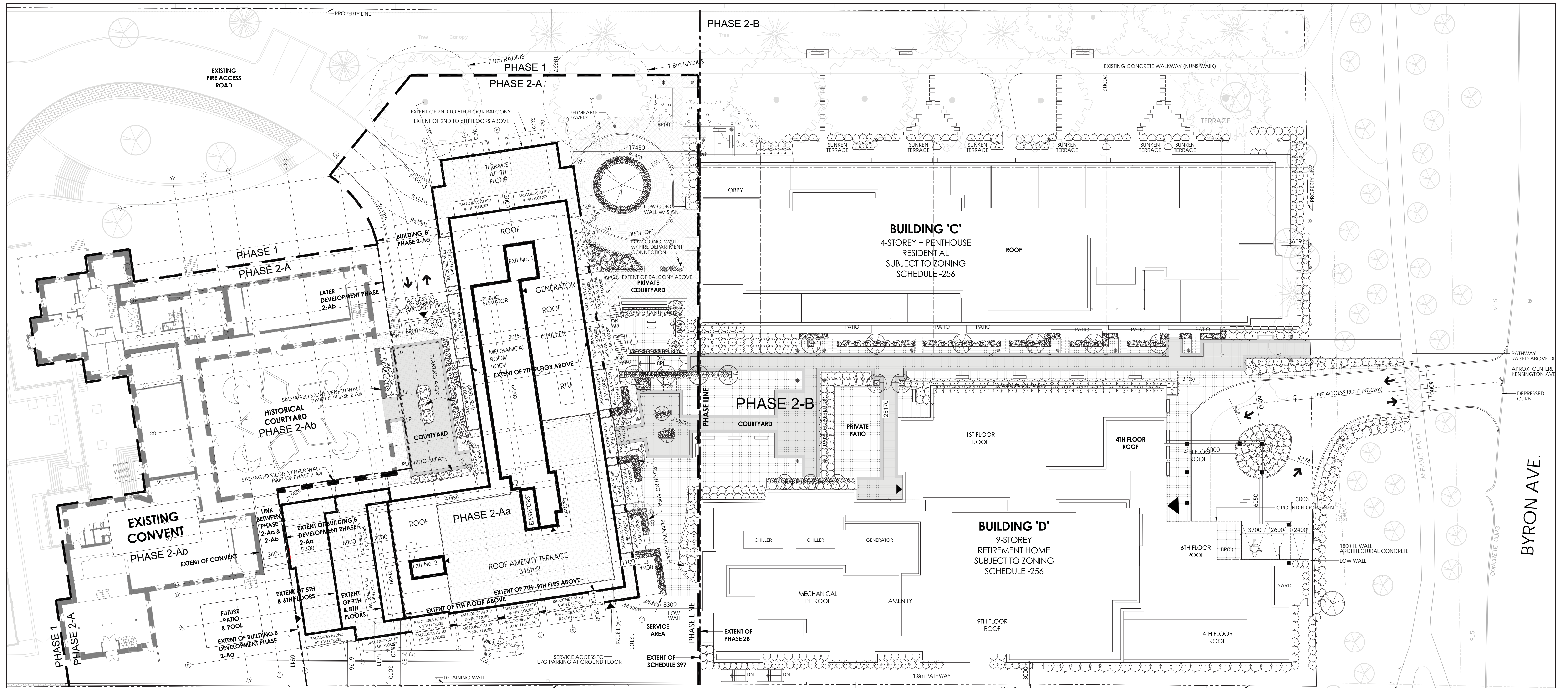
CLIENT:
ASHCROFT HOMES

DRAWING TITLE:
 PRELIMINARY
 PARTIAL SITE PLAN
 BUILDINGS 'B', 'C', & 'D'

DATE: NOVEMBER 2018
SCALE: 1 : 250
DRAWN BY: mdb
CHECKED: MDB

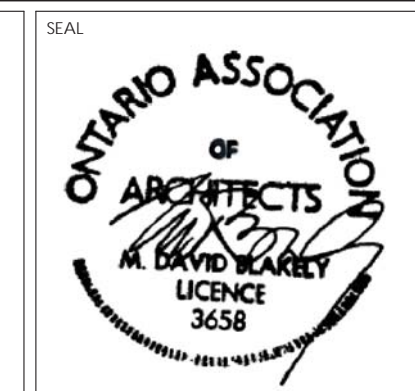
SHEET NO. REV NO.:
SP1

000-00-00-0000

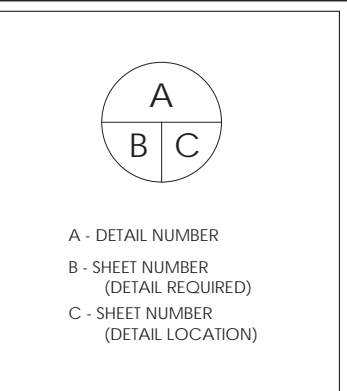


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NOTE: SEE SP1b FOR BUILDING 'B' SITE PLAN INFORMATION



No.	DATE	DESCRIPTION	INTI.	No.	DATE	DESCRIPTION	INTI.
1	02/06/22	BUILDING 'B' FOR SITE PLAN CONTROL	KB	12			
2				13			
3				14			
4				15			
5				16			
6				17			
7				18			
8				19			
9				20			
10				21			
11				22			
12				23			
13				24			



PROJECT: **O WEST**
 114 RICHMOND ROAD
 OTTAWA, ONTARIO

CLIENT: **ASHCROFT HOMES**

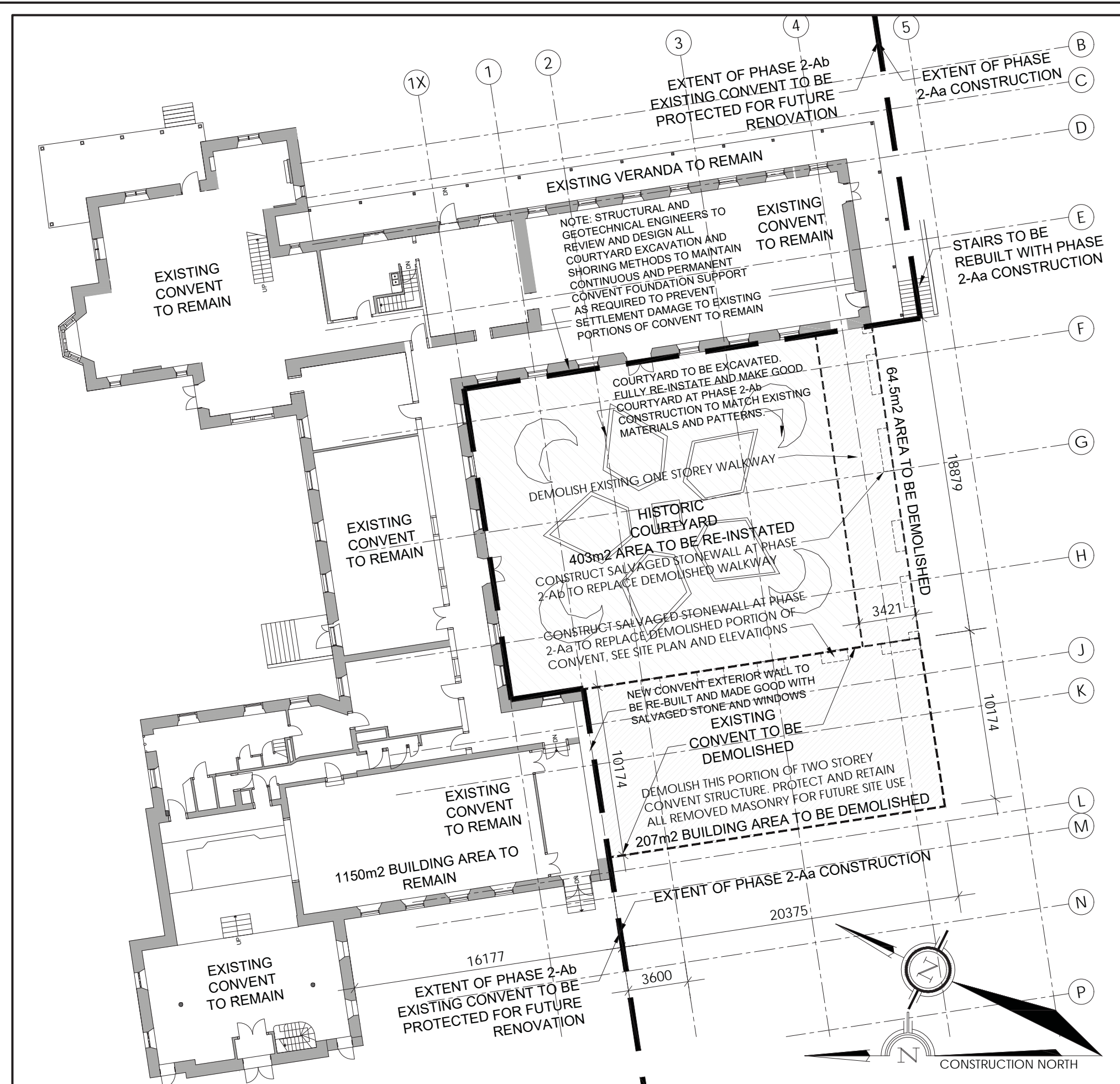
DRAWING TITLE: **SITE PLAN OF PHASE 2-Aa FOR BUILDING 'B'**
 (ALSO SHOWN WITH PHASE 2-Ab and PHASE 2-B)

DATE: MARCH 2022
 SCALE: 1 : 250
 SHEET No. REV No.: **SP1a**

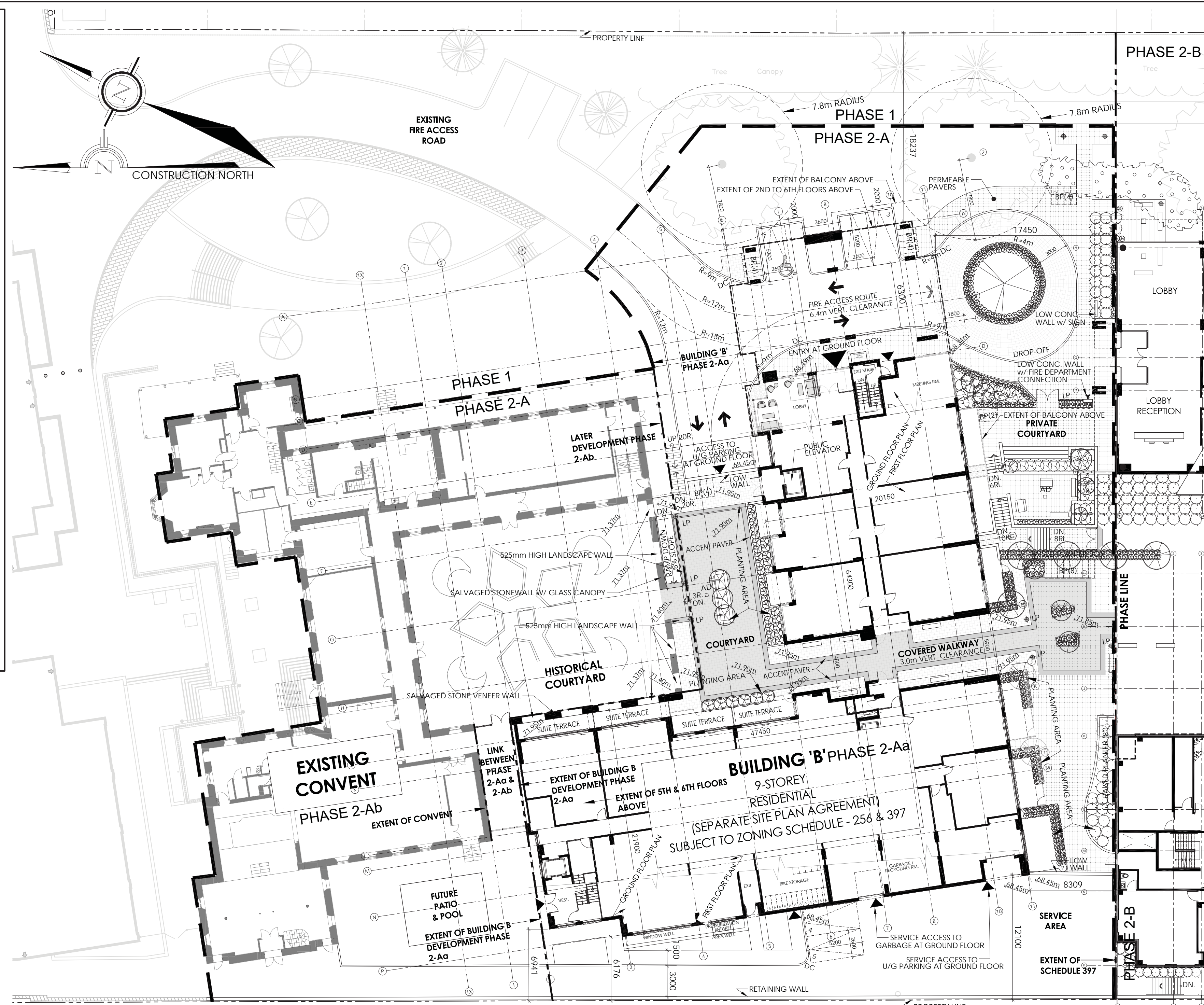
DRAWN BY: KB/mdb
 CHECKED: MDB

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 2300 Piche of Wawa St. Suite 101 Ottawa, Ontario
 Phone (613) 226-8811 Fax (613) 226-7942 k2e 629

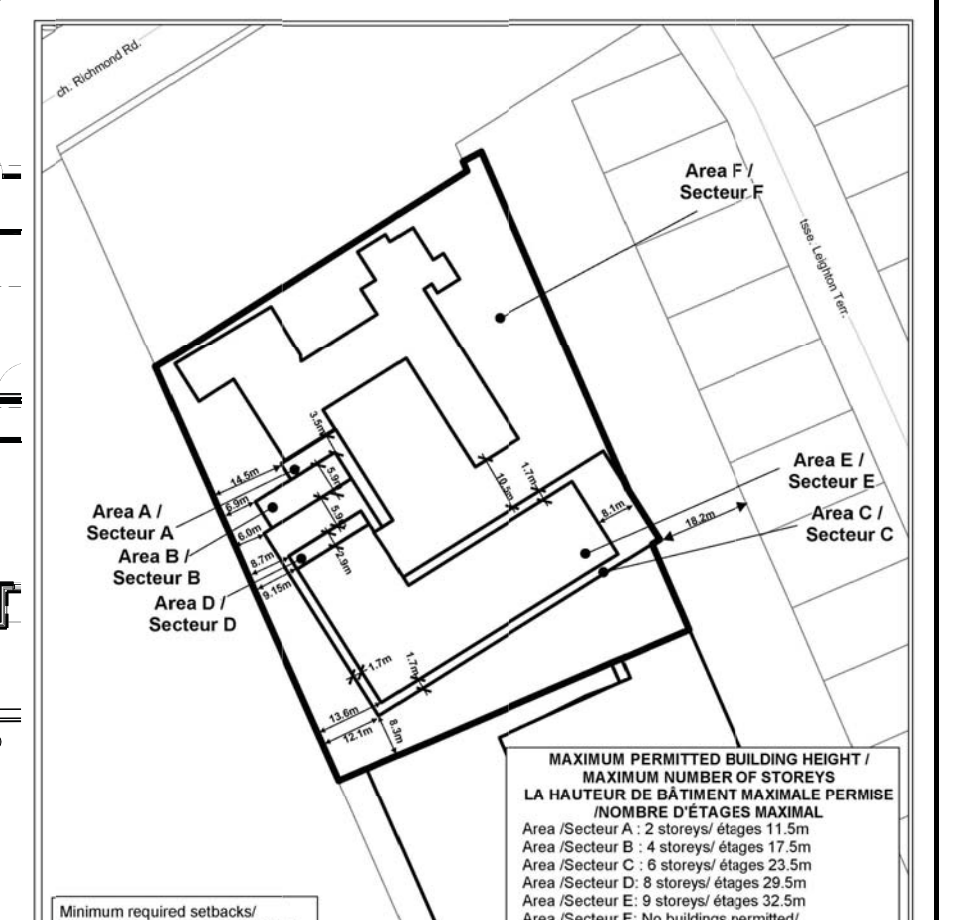
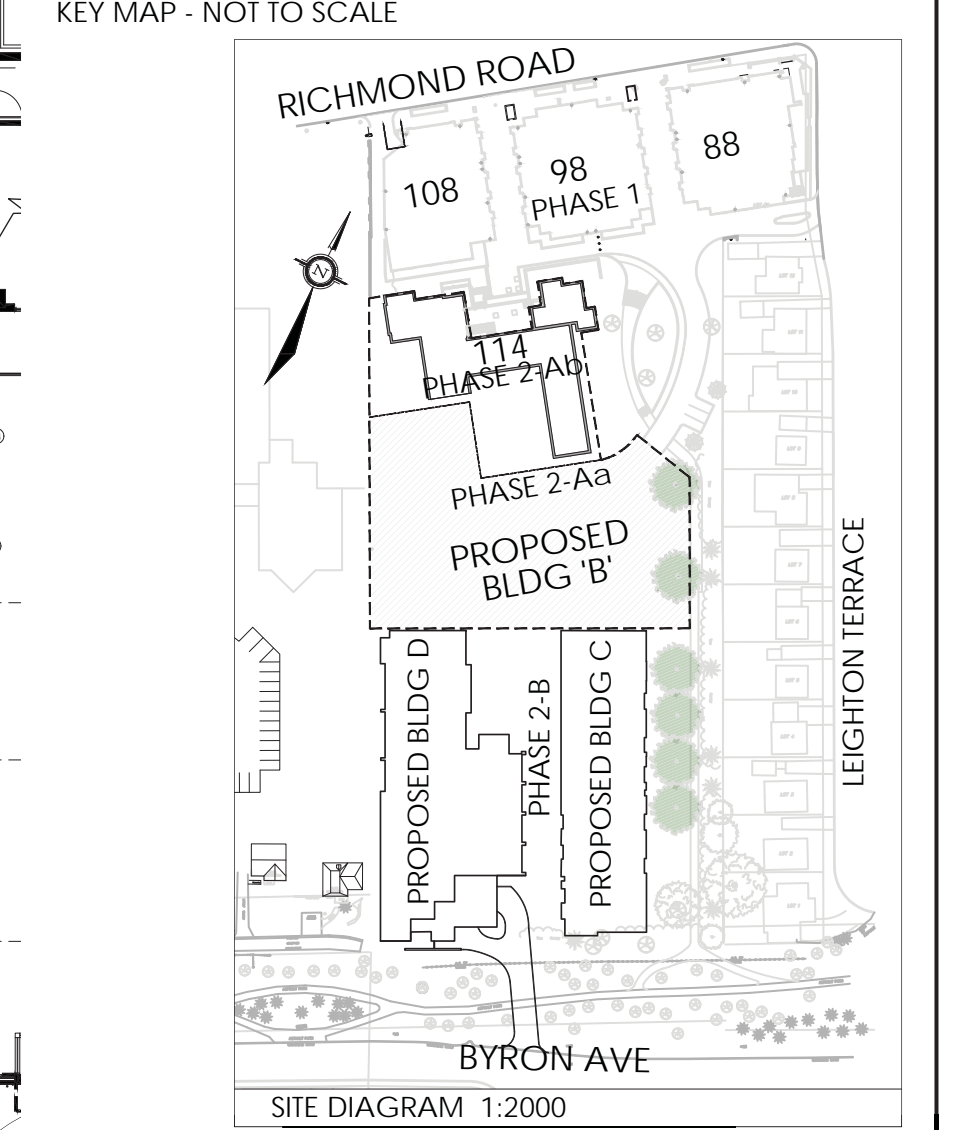
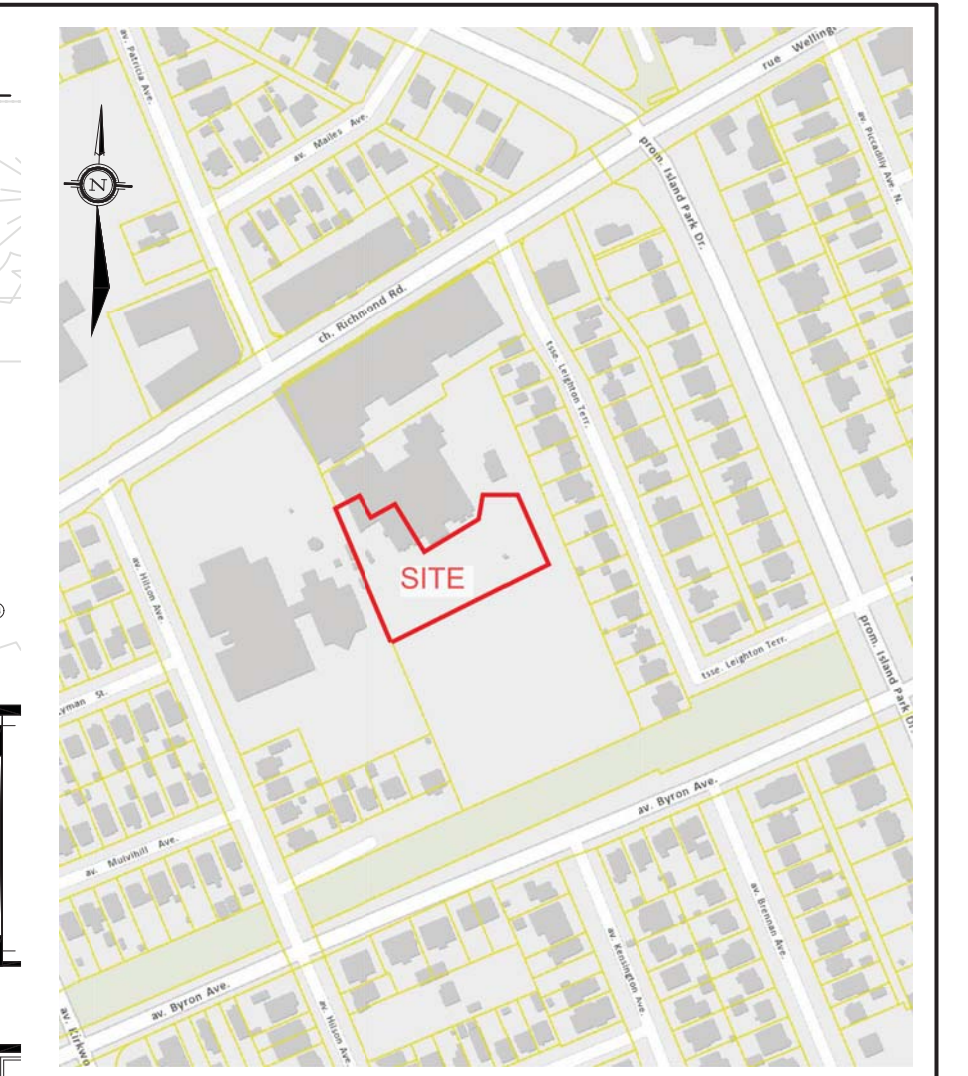
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1 PHASE 2-Ab CONVENT PARTIAL DEMOLITION PLAN
SP-1b / SCALE 1 : 250



2 BUILDING 'B' PHASE 2-Aa SITE PLAN
SP-1b / SCALE 1 : 250



This is Schedule 397 to Zoning By-law No. 2008-250
Annexe 397 au Règlement de zonage n° 2008-250

4 SCHEDULE 397 to BY-LAW No. 2008-250
SP-1b

SITE BOUNDARIES DERIVED FROM PLAN 4R-26424,
PLAN OF SURVEY OF
PART OF BLOCK C,
REGISTERED PLAN 152,
LOT 13,
REGISTERED PLAN 449 And
PART OF LOT 33 CONCESSION 1 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN,
CITY OF OTTAWA
SURVEYED BY ANNIS O'SULLIVAN VOLLEBK LTD.
DATED AUG 15, 2012

SITE PLAN TO BE READ IN CONJUNCTION WITH:
SITE SERVICING PLAN SSP-1 AND GRADING PLAN GP-1 PREPARED BY STANTEC OTTAWA
LANDSCAPE PLAN L-1 PREPARED BY KALLALIA DESIGN.

SITE INFORMATION (PHASE 2A)		BUILDING 'B' STATISTICS - 9 STOREYS GROSS BUILDING AREAS		BUILDING 'B' AMENITY AREA		PARKING	
ZONING : TM (1763) S256 & S397	SITE AREA : 6257m ²	Zoning GFA	Gross Overall	REQUIRED = 187 x 6m ² / D.U. = 1122m ²	REQUIRED = 187 D.U. - 12 X 0.5 = 88 SPACES REQUIRED	REQUIRED = 187 D.U. - 12 X 0.5 = 88 SPACES REQUIRED	REQUIRED = 187 D.U. - 12 X 0.5 = 88 SPACES REQUIRED
BUILDING 'B' HEIGHT = 32.2m (PERMITTED = 32.5m as per S397)	REFER TO DRAWINGS A300, A301, A400 and A401	P3 PARKING LEVEL		3m ² / D.U. REQ'D TO BE COMMUNAL = 561m ² MINIMUM	PROVIDED = 174 SPACES UNDERGROUND	PROVIDED = 174 SPACES UNDERGROUND	PROVIDED = 174 SPACES UNDERGROUND
BUILDING 'B' STATISTICS		P1 PARKING LEVEL/ GROUND FLOOR		PROVIDED: 325m ² COMMUNAL GROUND FLOOR FITNESS	7 SURFACE SPACES	7 SURFACE SPACES	7 SURFACE SPACES
UNIT TYPES:		1st Floor	705m ²	160m ² COMMUNAL LOBBY FUNCTION AND MEETING	181 SPACES PROVIDED (WITHIN PHASE 2A)	181 SPACES PROVIDED (WITHIN PHASE 2A)	181 SPACES PROVIDED (WITHIN PHASE 2A)
1 BED	93 UNITS	2nd Floor	1272m ²	160m ² COMMUNAL LOBBY FUNCTION AND MEETING			
2 BED	94 UNITS	3rd Floor	1590m ²	407m ² COMMUNAL ROOFTOP			
TOTAL APARTMENT DWELLING UNITS = 187		4th Floor	1590m ²	892m ² COMMUNAL AMENITY PROVIDED			
		5th Floor	1512m ²	EACH APARTMENT IS PROVIDED WITH A BALCONY OR ROOF TERRACE OF 6m ² OR GREATER IN AREA.			
		6th Floor	1512m ²				
		7th Floor	1060m ²				
		8th Floor	1060m ²				
		9th Floor	1010m ²				
		Total Area Above Grade:	12901m ²				170 TOTAL BIKE PARKING SPACES (WITHIN PHASE 2A)

3 BUILDING 'B' PHASE 2-Aa INFORMATION
SP-1b

NOTE: SP1b TO BE READ IN CONJUNCTION WITH SP-1a

M. David Blakely Architect Inc.
2300 Prince of Wales Dr. Suite 101 Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 k26 629

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NOTE: SEE SP1a FOR ADDITIONAL SITE PLAN INFORMATION

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No.	DATE	DESCRIPTION	INT.	No.	DATE	DESCRIPTION	INT.
1	02/06/22	FOR SITE PLAN CONTROL SUBMISSION	KB	12			

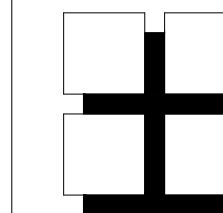
PROJECT: **O WEST**
114 RICHMOND ROAD
OTTAWA, ONTARIO

CUSTOMER: **ASHCROFT HOMES**

DRAWING TITLE: **SITE PLAN - PHASE 2-Aa BUILDING 'B' AND DEMOLITION PLAN - PHASE 2-Aa**

DATE: MARCH 2022
SCALE: 1 : 250
SHEET NO. / REV. NO.: **SP1b**

000-00-0000



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NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

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4.	02/06/22	FOR SITE PLAN CONTROL	KB
3.	24/02/22	FOR STRUCTURAL DESIGN	KB
2.	01/02/22	BARRIER-FREE SUITES ADDED	MB
1.	14/12/21	FOR REVIEW	MB

#	DATE	DESCRIPTION	INIT
REVISIONS			

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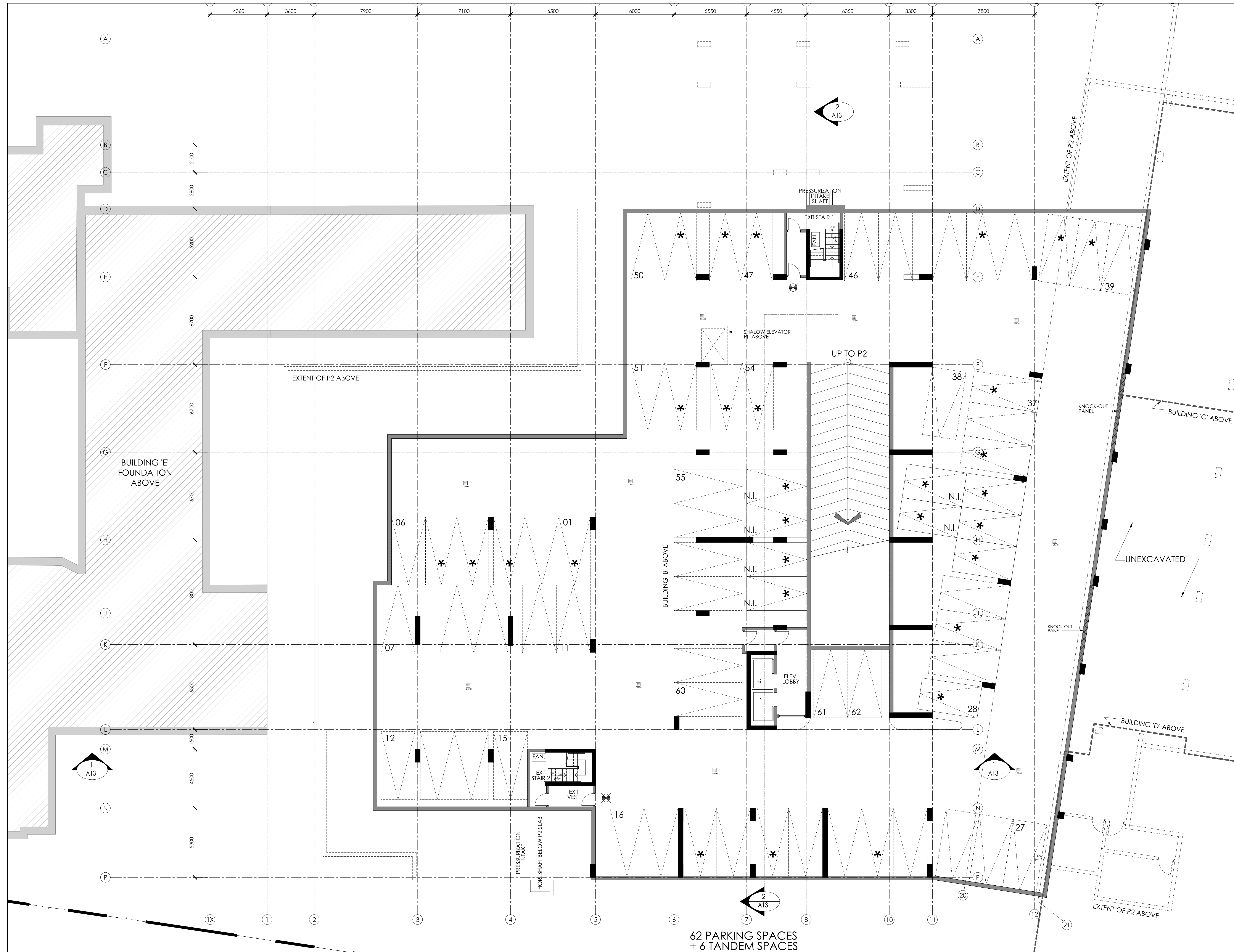
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PROJECT **Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**

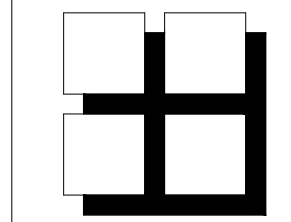


DRAWING TITLE **P3 LEVEL**

DATE DEC. 2021	SCALE 1:125	SHEET No. A1
DRAWN BY: mdb	CHECKED MDB	



**62 PARKING SPACES
+ 6 TANDEM SPACES**



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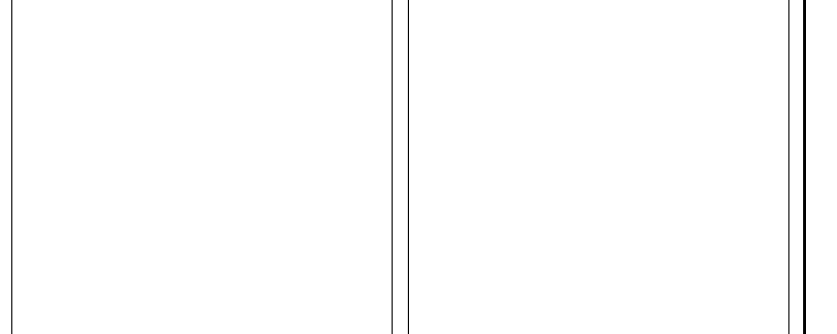
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#	DATE	DESCRIPTION	INIT

REVISIONS

ARCHITECT'S SEAL: ENGINEER'S SEAL:



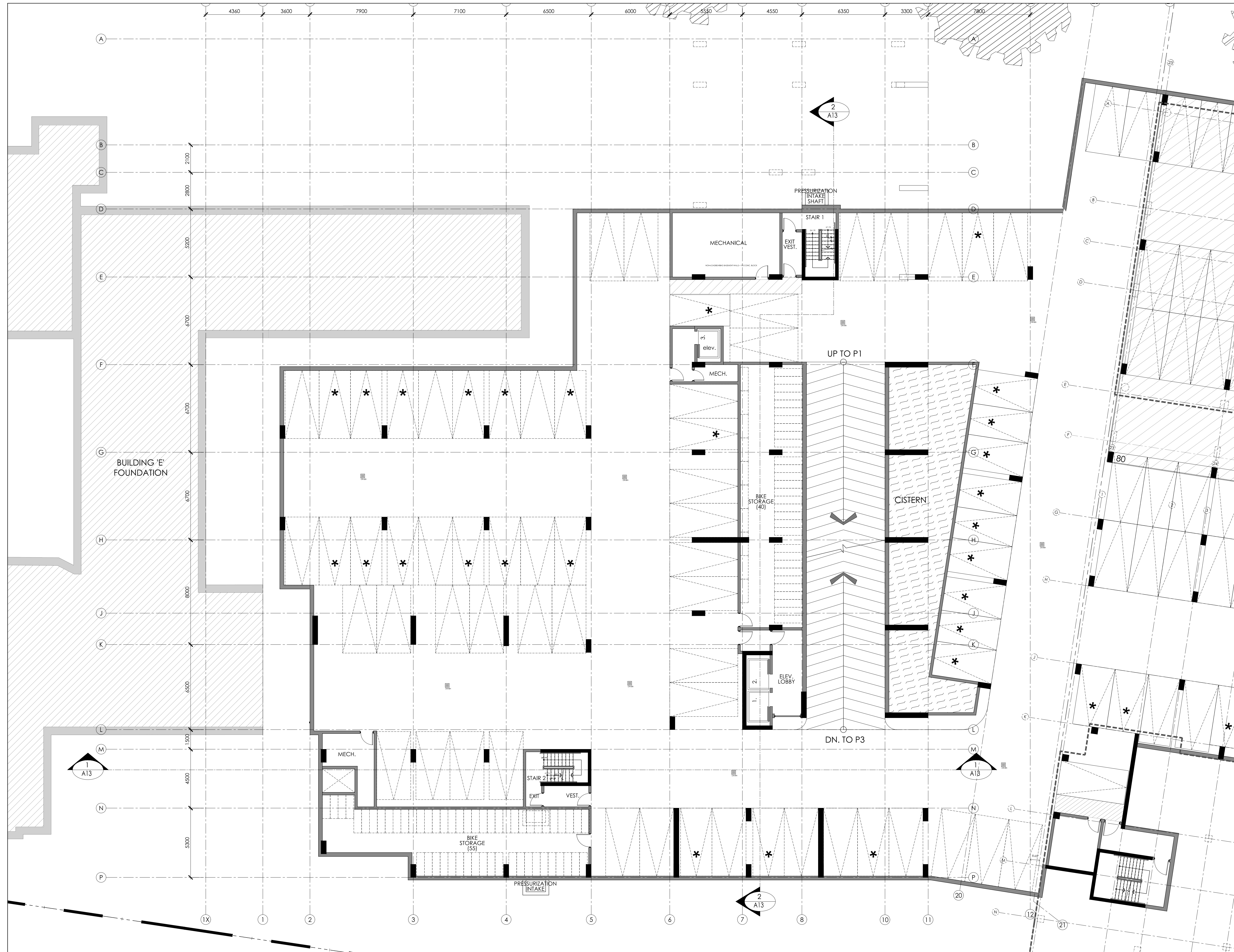
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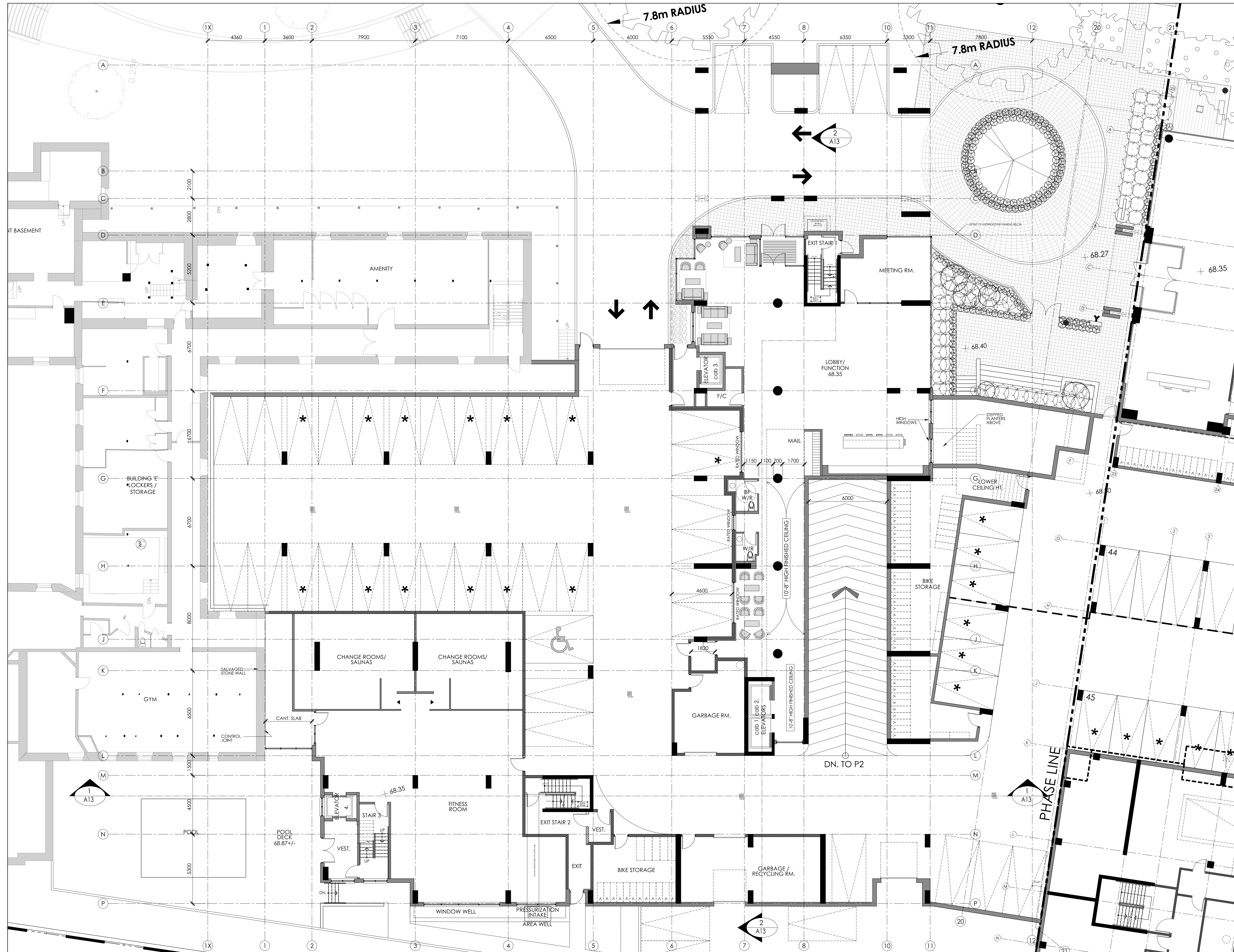
PROJECT **Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**



DRAWING TITLE **P2 LEVEL**

DATE	DEC. 2021	SCALE	1:125	SHEET No.	A2
DRAWN BY:	mdb	CHECKED	MDB		





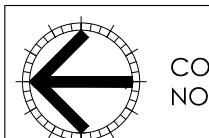
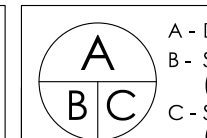
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4.	02/06/22 FOR SITE PLAN CONTROL	KB
3.	24/02/22 FOR STRUCTURAL DESIGN	KB
2.	01/02/22 BARRIER-FREE SUITES ADDED	MB
1.	14/12/21 FOR REVIEW	MB

#	DATE	DESCRIPTION	INIT
REVISIONS			

ARCHITECT'S SEAL:	ENGINEER'S SEAL:

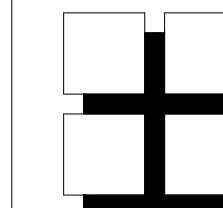
	CONSTRUCTION NORTH		A - DETAIL NUMBER B - SHEET NUMBER (DETAIL REQUIRED) C - SHEET NUMBER (DETAIL LOCATION)
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PROJECT: **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO



DRAWING TITLE: **P1/ GROUND FLR. PLAN**

DATE: DEC. 2021	SCALE: 1:125	SHEET No. A3
DRAWN BY: mdb	CHECKED: MDB	



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1.	14/12/21 FOR REVIEW	MB

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REVISIONS			

ARCHITECT'S SEAL:	ENGINEER'S SEAL:

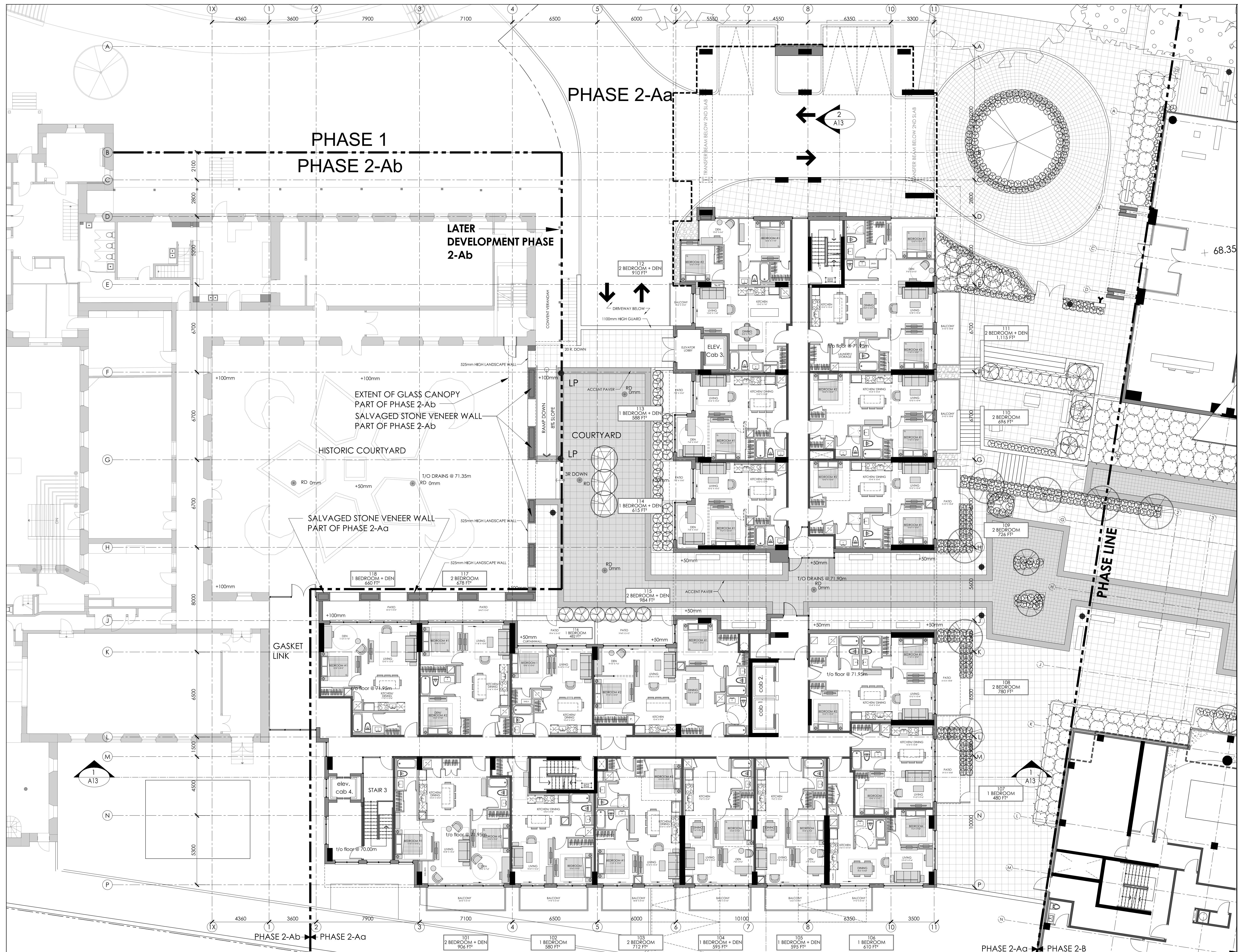
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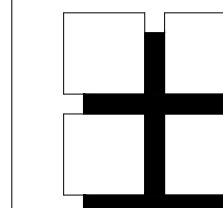
PROJECT **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO



DRAWING TITLE
FIRST FLOOR PLAN

DATE DEC. 2021	SCALE 1:125	SHEET No. A4
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4.	02/06/22	FOR SITE PLAN CONTROL	KB
3.	24/02/22	FOR STRUCTURAL DESIGN	KB
2.	01/02/22	BARRIER-FREE SUITES ADDED	MB
1.	14/12/21	FOR REVIEW	MB

#	DATE	DESCRIPTION	INIT
REVISIONS			

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	CONSTRUCTION NORTH		A - DETAIL NUMBER B - SHEET NUMBER (DETAIL REQUIRED) C - SHEET NUMBER (DETAIL LOCATION)
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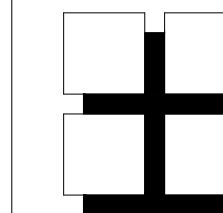
PROJECT **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
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DRAWING TITLE
SECOND FLOOR PLAN

DATE DEC. 2021	SCALE 1:125	SHEET No. A5
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2.	01/02/22	BARRIER-FREE SUITES ADDED	MB
1.	14/12/21	FOR REVIEW	MB

#	DATE	DESCRIPTION	INIT
		REVISIONS	

ARCHITECT'S SEAL: ENGINEER'S SEAL:

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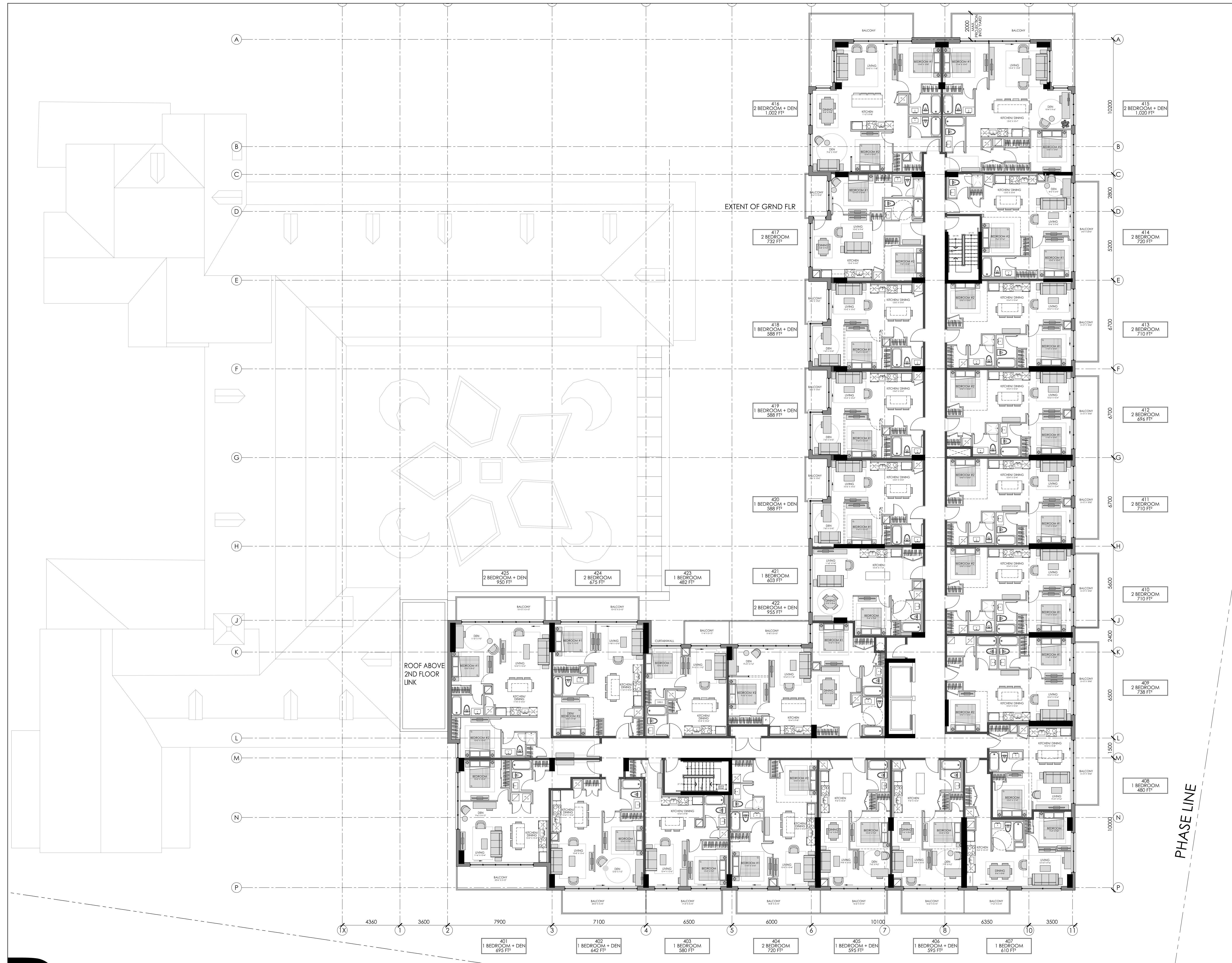
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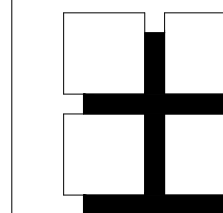
PROJECT: **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO

CLIENT:

DRAWING TITLE: **3RD & 4TH FLOOR PLAN**

DATE: DEC. 2021	SCALE: 1:125	SHEET No. A6
DRAWN BY: mdb	CHECKED: MDB	





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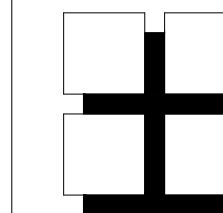
PROJECT **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO



DRAWING TITLE
5TH & 6TH FLOOR PLAN

DATE	DEC. 2021	SCALE	1:125	SHEET No.	A7
DRAWN BY:	mdb	CHECKED	MDB		





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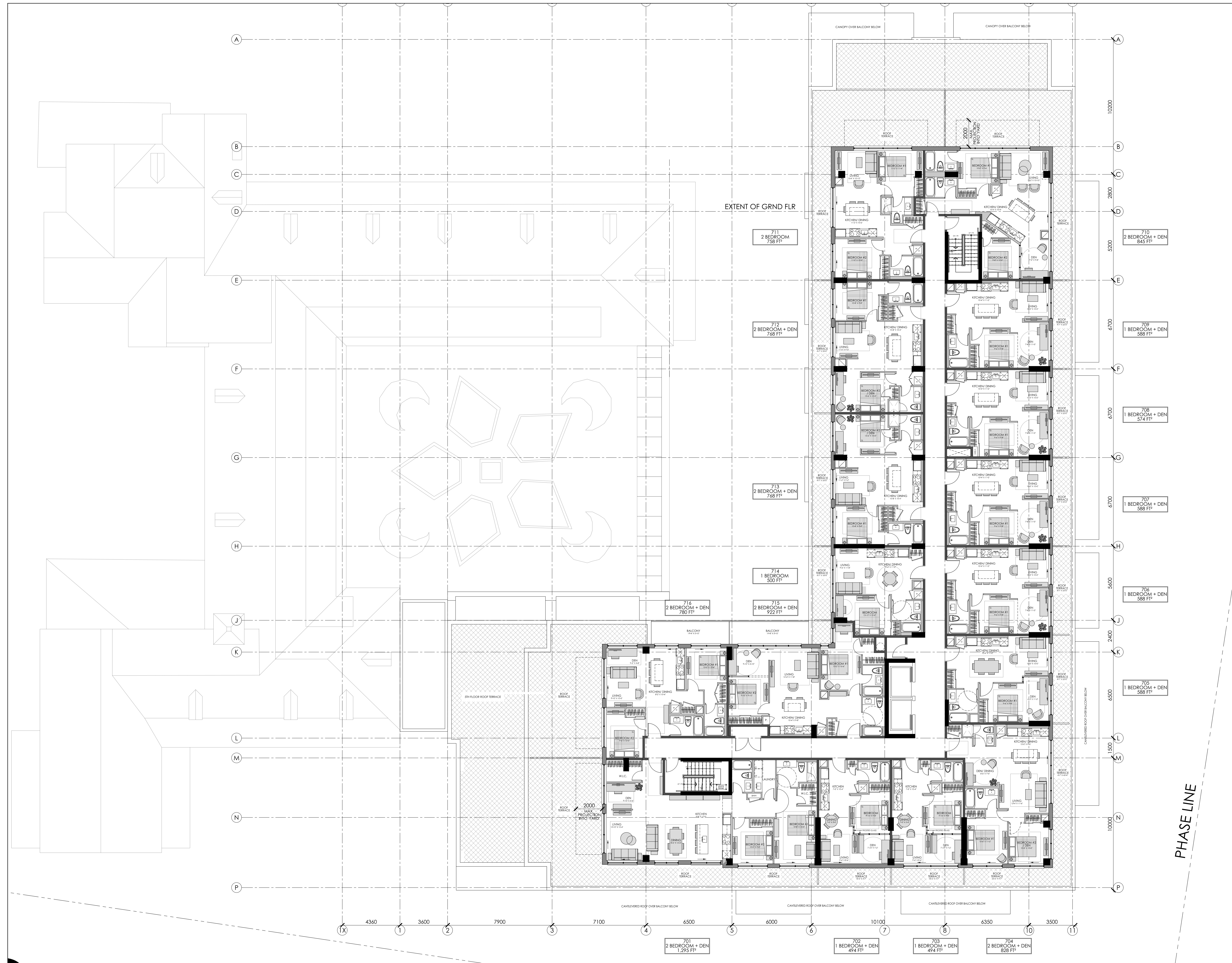
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	C	C - SHEET NUMBER (DETAIL LOCATION)

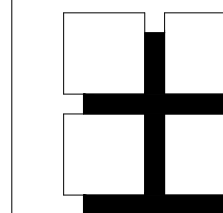
PROJECT **Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**



DRAWING TITLE **7TH & 8TH FLOOR PLAN**

DATE DEC. 2021	SCALE 1:125	SHEET No. A8
DRAWN BY: mdb	CHECKED MDB	





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7. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

12.		
11.		
10.		
9.		
8.		
7.		
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5.		

4.	02/06/22	FOR SITE PLAN CONTROL	KB
3.	24/02/22	FOR STRUCTURAL DESIGN	KB
2.	01/02/22	BARRIER-FREE SUITES ADDED	MB
1.	14/12/21	FOR REVIEW	MB
#	DATE	DESCRIPTION	INIT

REVISIONS

ARCHITECT'S SEAL:	ENGINEER'S SEAL:

	CONSTRUCTION NORTH		A - DETAIL NUMBER B - SHEET NUMBER (DETAIL REQUIRED) C - SHEET NUMBER (DETAIL LOCATION)
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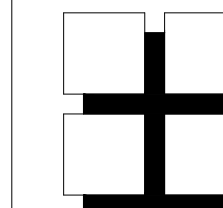
PROJECT **Q WEST BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**

CLIENT

DRAWING TITLE **9TH FLOOR PLAN**

DATE DEC. 2021	SCALE 1:125	SHEET No. A9
DRAWN BY: mdb	CHECKED MDB	





**M. David Blakely
Architect Inc.**

2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

GENERAL NOTES:

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NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

12.		
11.		
10.		
9.		
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4.	02/06/22	FOR SITE PLAN CONTROL	KB
3.	24/02/22	FOR STRUCTURAL DESIGN	KB
2.	01/02/22	BARRIER-FREE SUITES ADDED	MB
1.	14/12/21	FOR REVIEW	MB

#	DATE	DESCRIPTION	INIT
REVISIONS			

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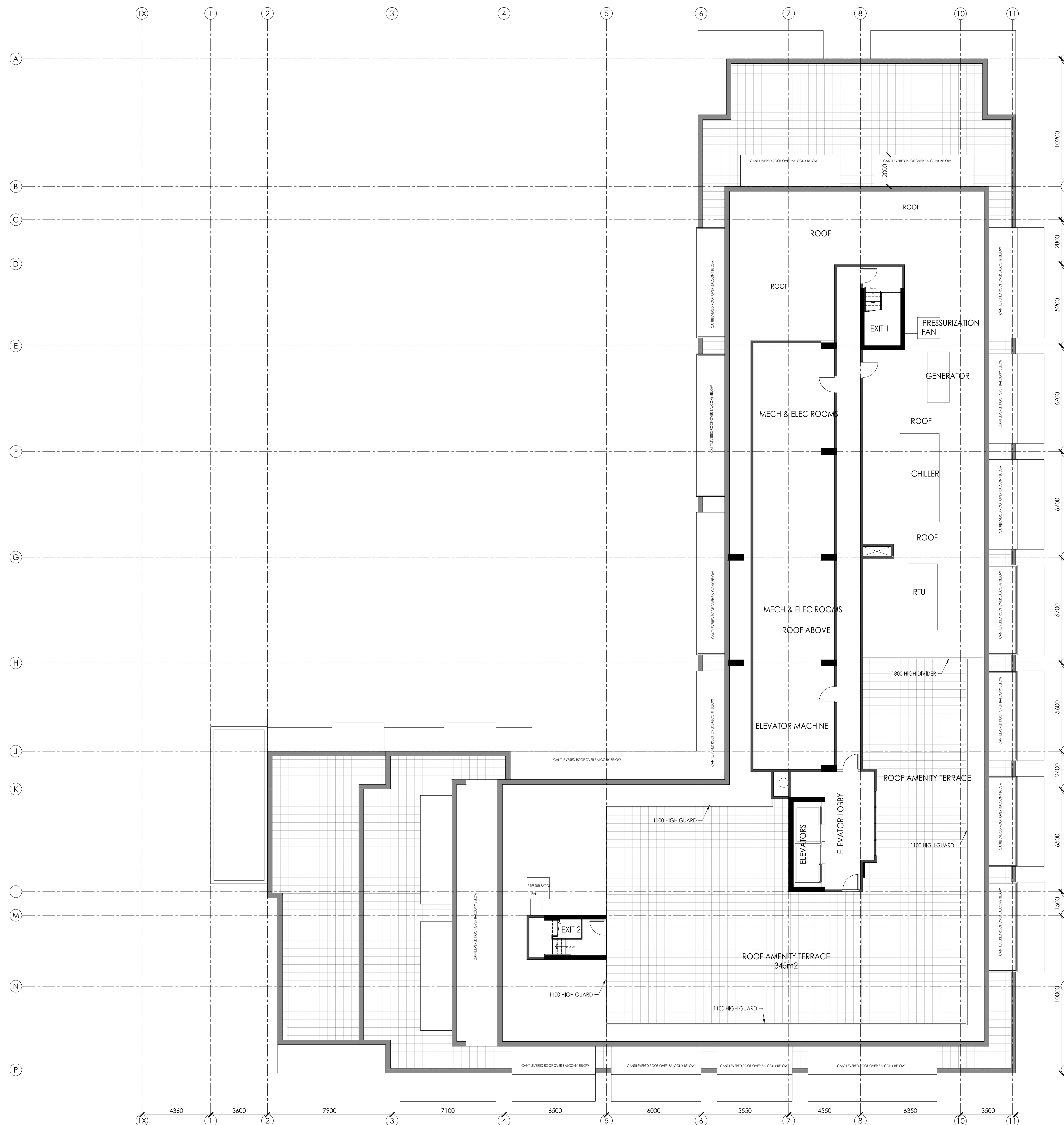
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	B	B - SHEET NUMBER (DETAIL REQUIRED)
	C	C - SHEET NUMBER (DETAIL LOCATION)

PROJECT
**Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**

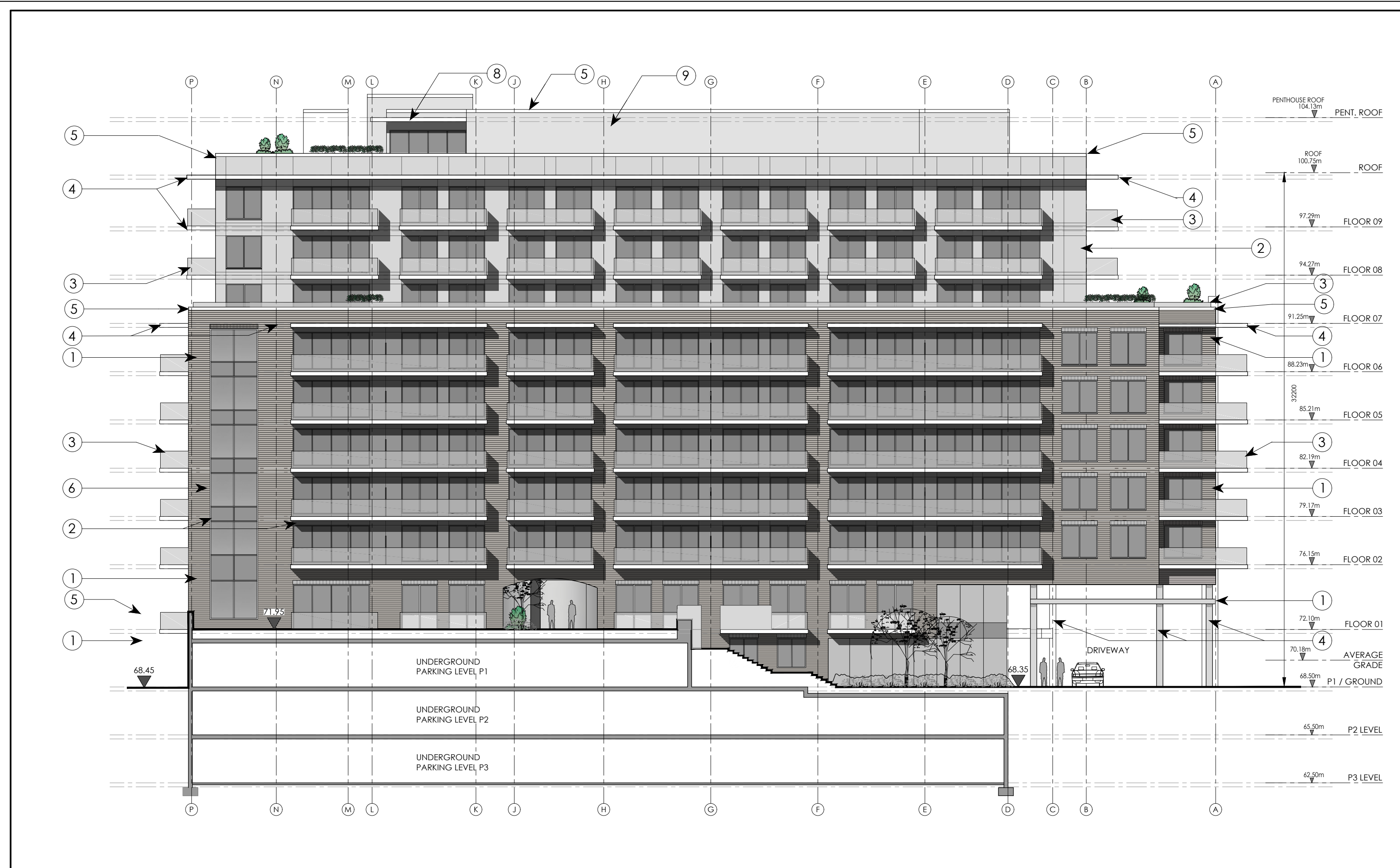


DRAWING TITLE
ROOF PLAN

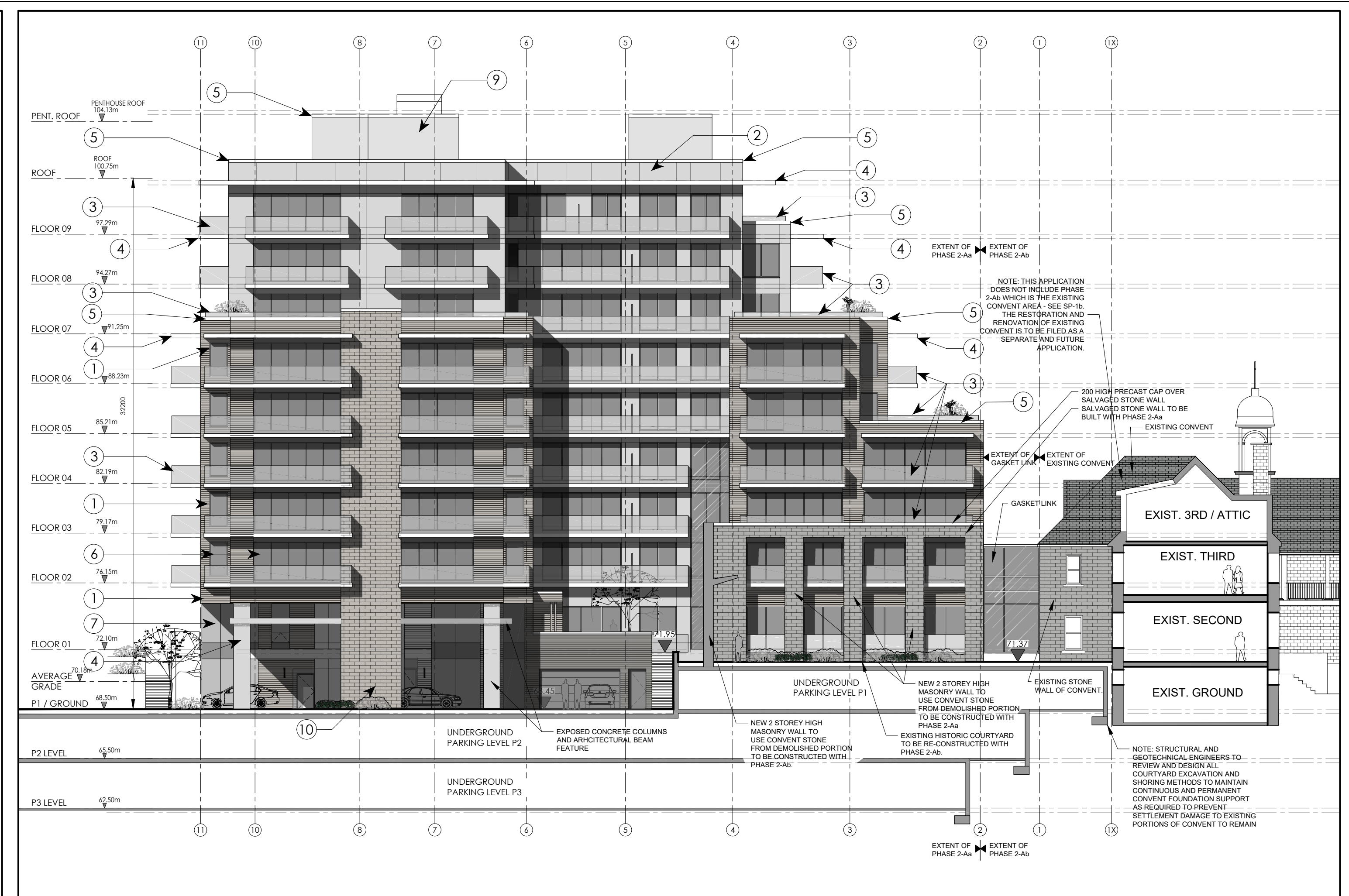
DATE DEC. 2021	SCALE 1:125	SHEET No. A10
DRAWN BY: mdb	CHECKED MDB	



PHASE LINE



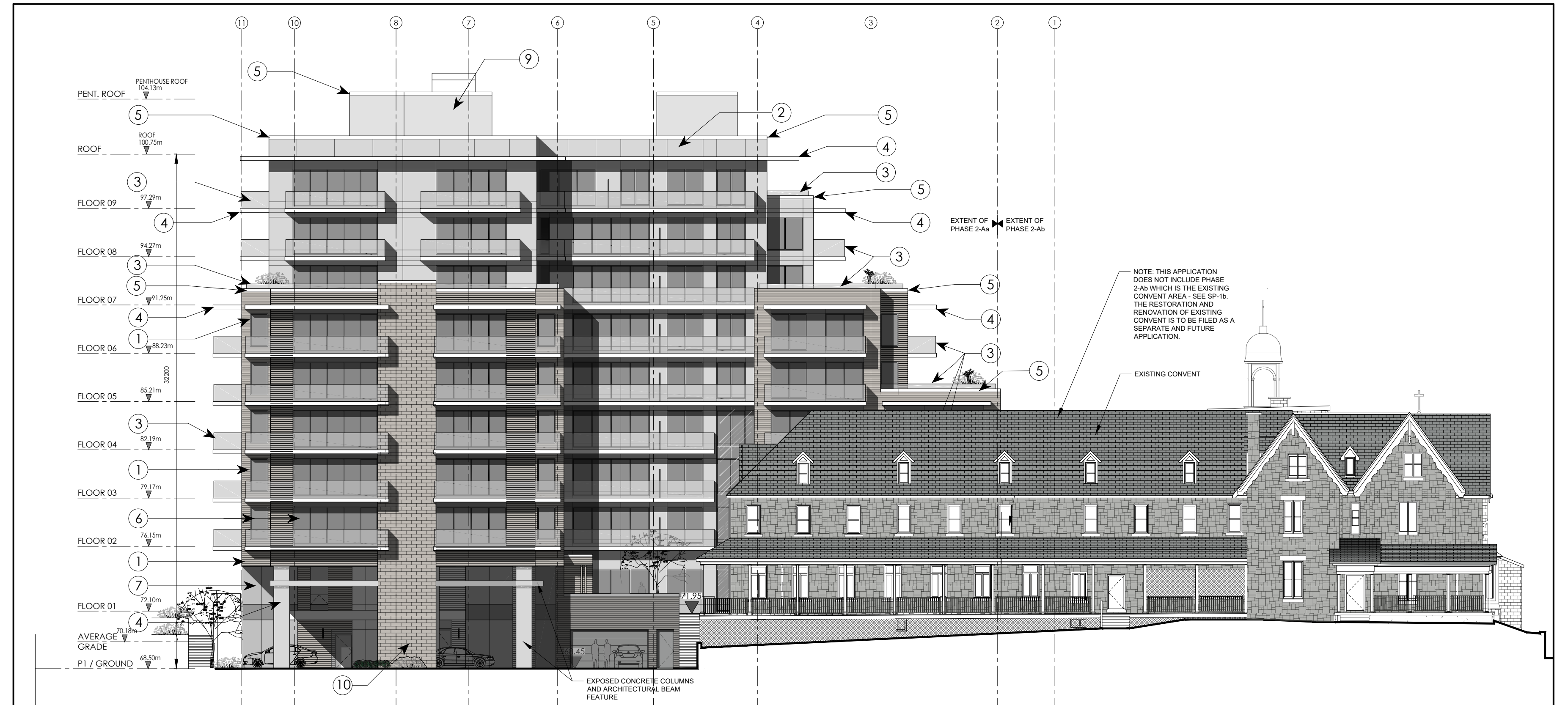
1 SOUTH ELEVATION
A12



2 EAST ELEVATION THROUGH HISTORIC COURTYARD
A12

- 1 BRICK VENEER
- 2 WINDOW WALL PREFINISHED METAL SPANDREL
- 3 GLAZED GUARD
- 4 EXPOSED CONCRETE
- 5 PREFINISHED PARAPET CAP
- 6 WINDOW WALL GLAZED VISION PANEL
- 7 CURTAINWALL
- 8 CANOPY
- 9 PRE-FINISHED VERTICAL URBAN ACCENT ALUMINUM SIDING
- 10 STONE VENEER

4 FACADE FINISHES LEGEND
A12

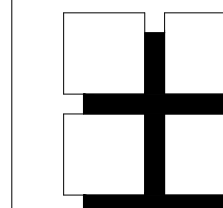


3 EAST ELEVATION
A12

NO.	DATE	DESCRIPTION	INT.	NO.	DATE	DESCRIPTION	INT.
1	02/06/22	FOR SITE PLAN CONTROL	KB	24			



A	DETAIL NUMBER
B	SHEET NUMBER (DETAIL REQUIRED)
C	SHEET NUMBER (DETAIL LOCATION)

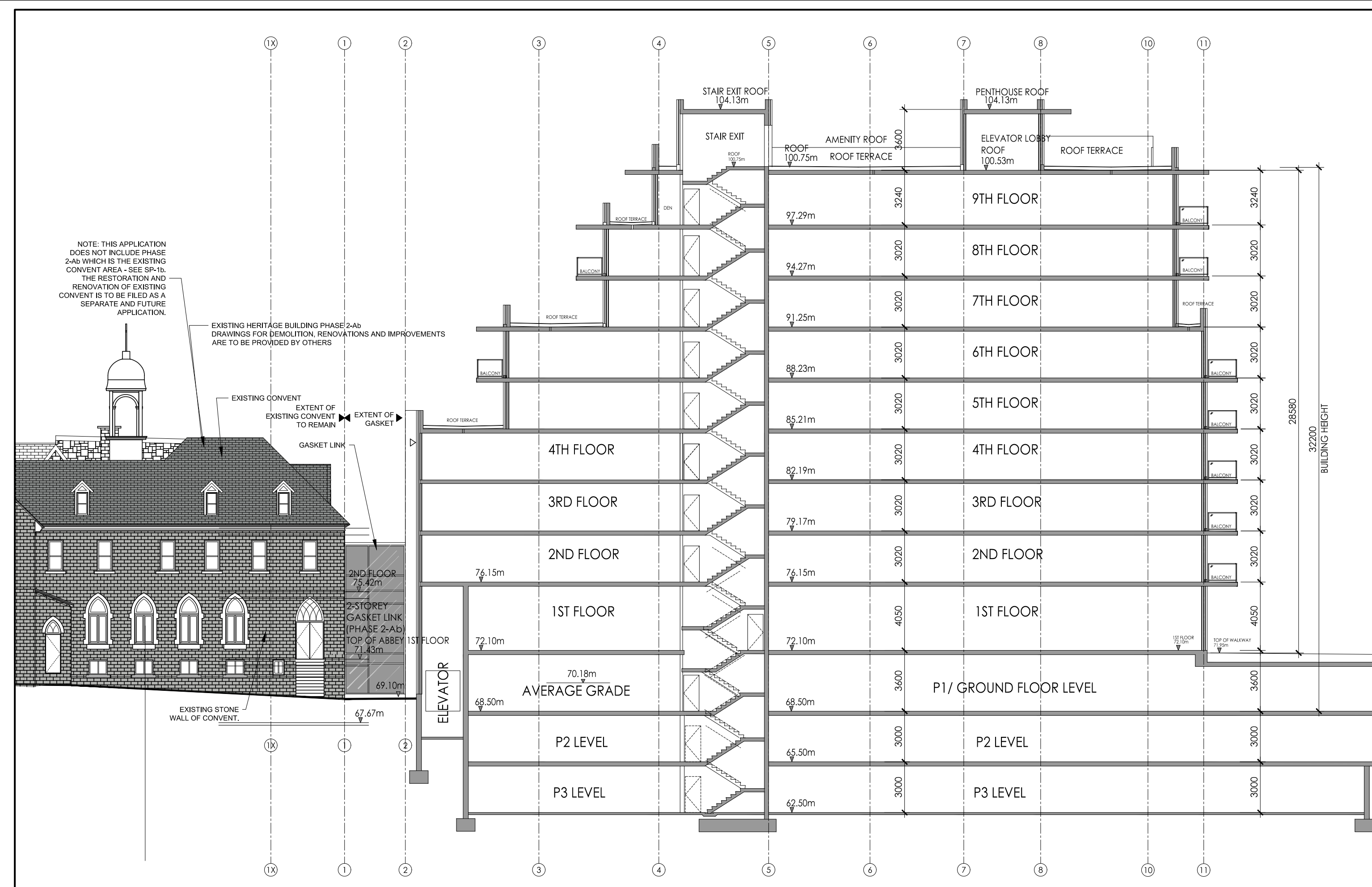


**M. David Blakely
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Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

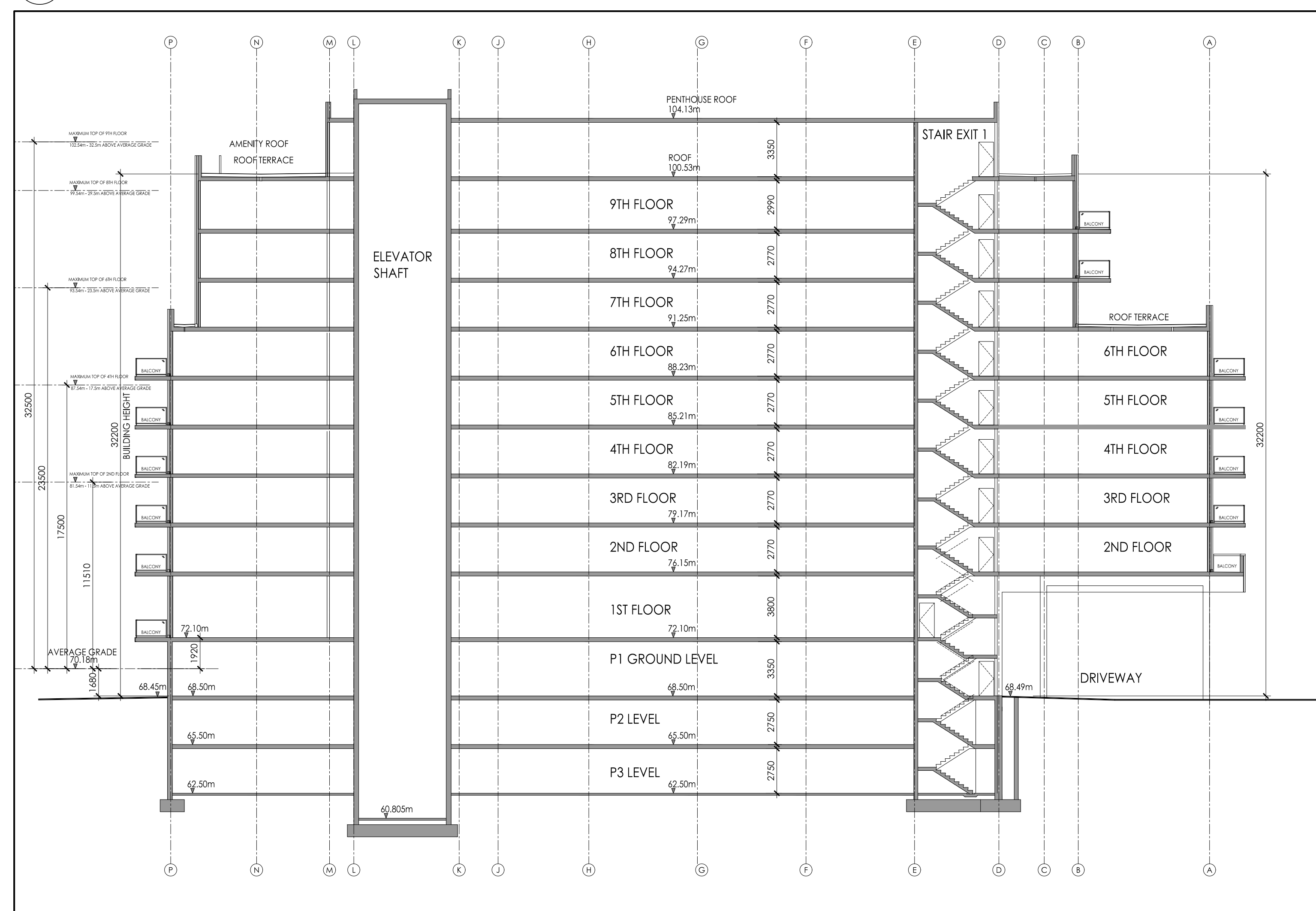
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1 BUILDING SECTION

A13



2 BUILDING SECTION

A13

12.		
11.		
10.		
9.		
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3.	02/06/22	FOR SITE PLAN CONTROL	KB
2.	24/02/22	FOR STRUCTURAL REVIEW	KB
1.	01/02/22	FOR REVIEW	KB

#	DATE	DESCRIPTION	INIT
REVISIONS			

ARCHITECT'S SEAL:	ENGINEER'S SEAL:

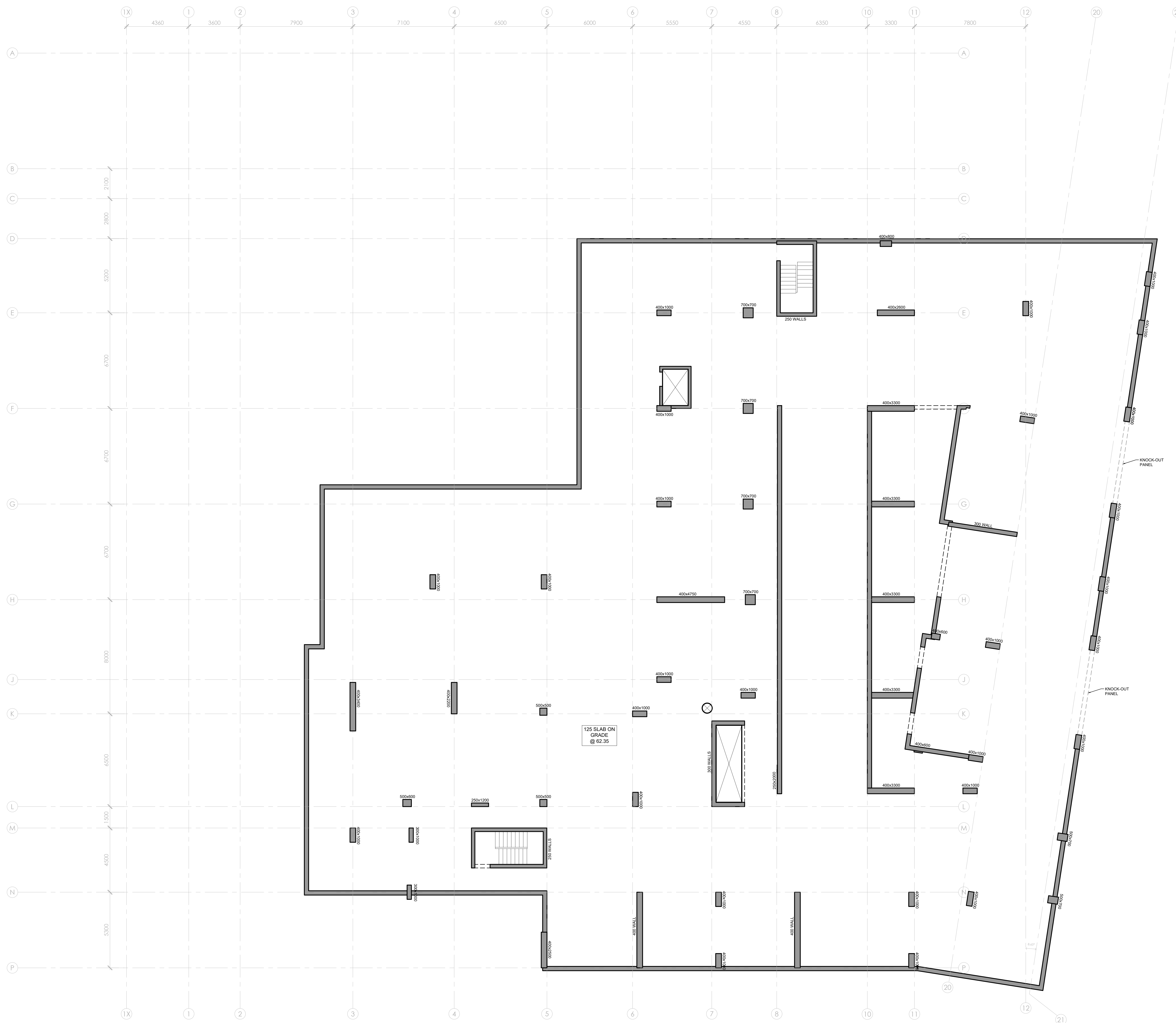
	CONSTRUCTION NORTH		A - DETAIL NUMBER B - SHEET NUMBER (DETAIL REQUIRED) C - SHEET NUMBER (DETAIL LOCATION)
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PROJECT
**Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**



DRAWING TITLE
BUILDING SECTIONS

DATE JAN 2022	SCALE 1:200	SHEET No. A13
DRAWN BY: KB	CHECKED MDB	



1. DESIGN AND CONSTRUCTION ARE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012.
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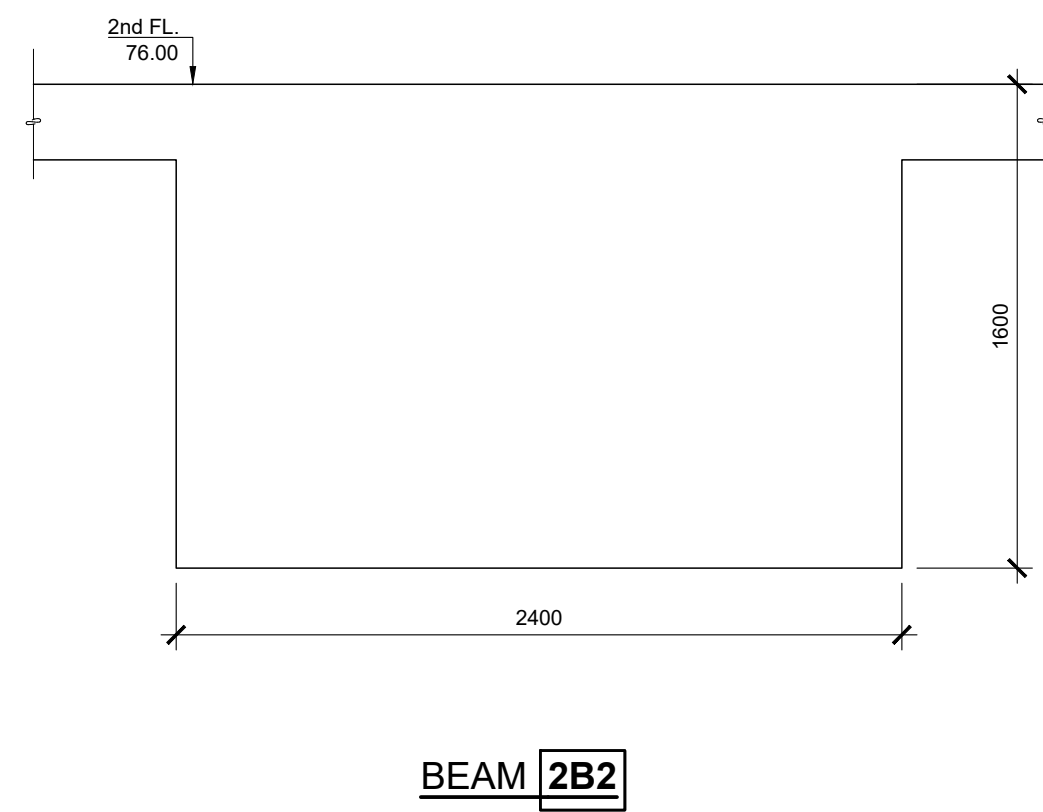
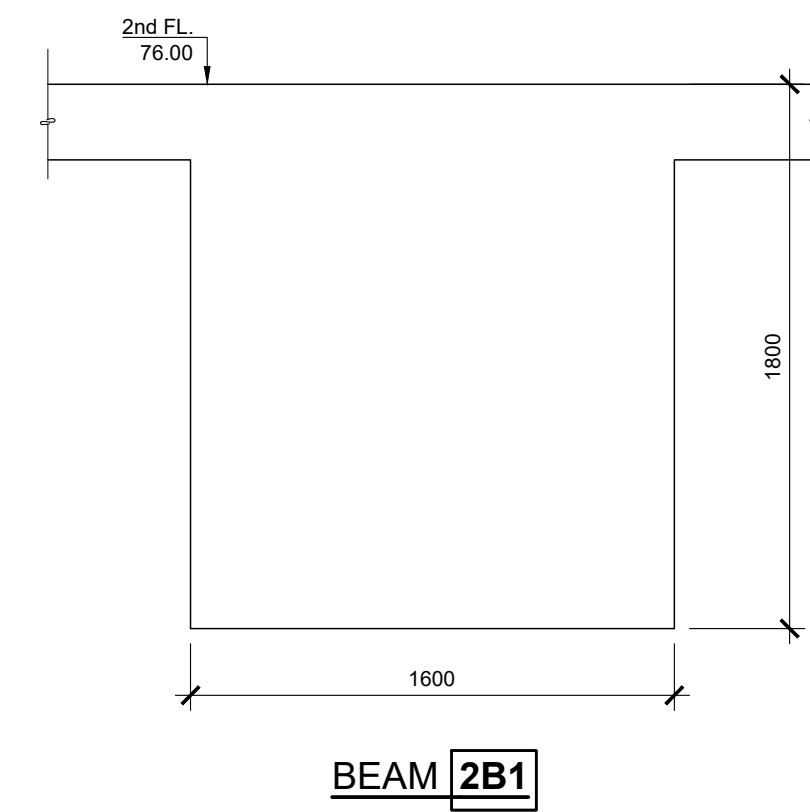
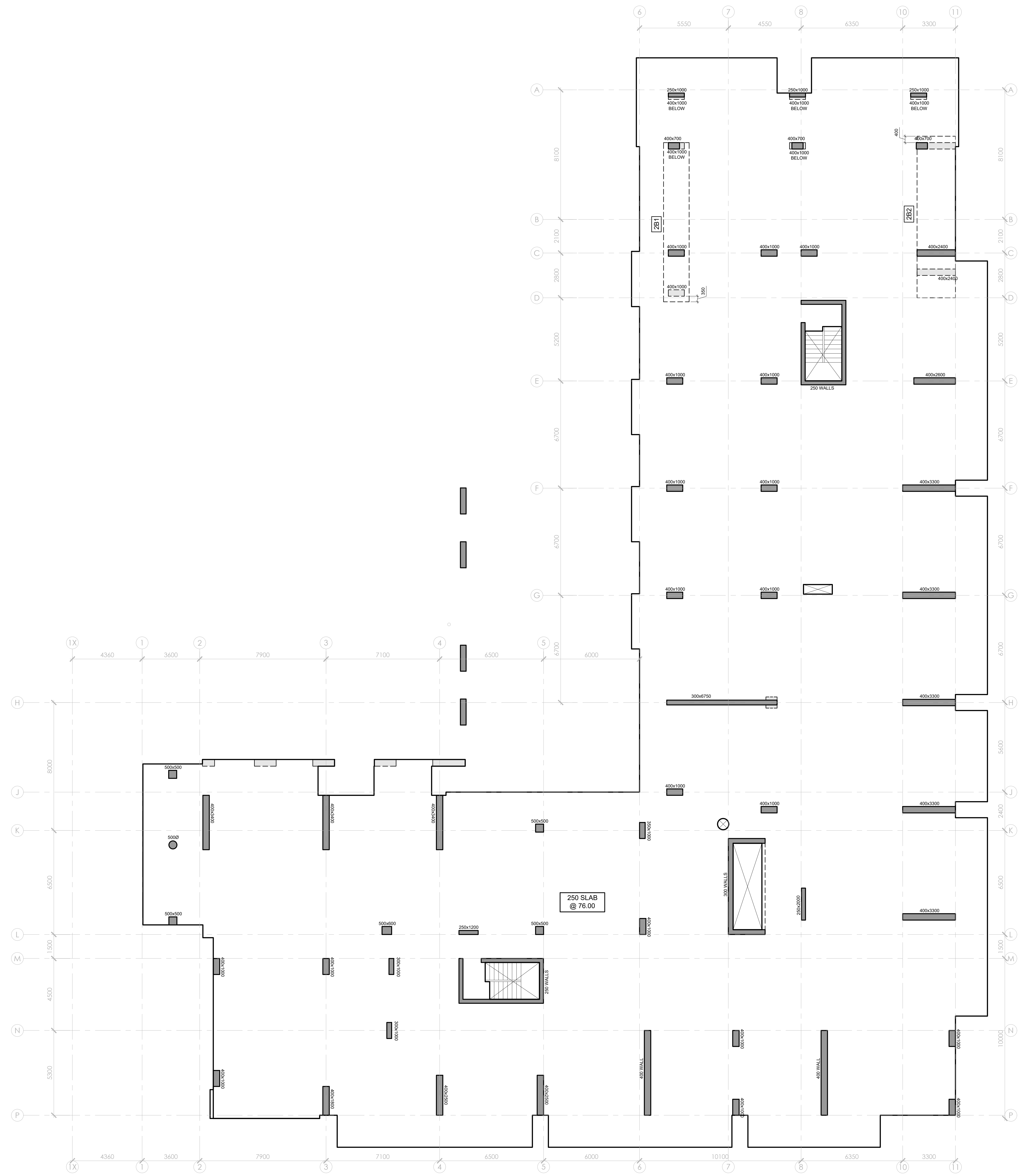
NO.	REVISION	DATE

GOODEVE STRUCTURAL INC.
 18-77 Auriga Dr. Ottawa ON K2E 7Z7
 613-226-4558 www.goodevestructural.ca

Drawing		P3 LEVEL LAYOUT	
Client			
Project		Q WEST BUILDING "B" OTTAWA ON	
Drawn	T.M.	Checked	P.A.G.
Date	03/21/2022	Scale	AS NOTED
Project Number	22-027	Sheet	S200

P3 LEVEL LAYOUT

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NO.	REVISION	DATE
1	REVISION	MM/DD/YY

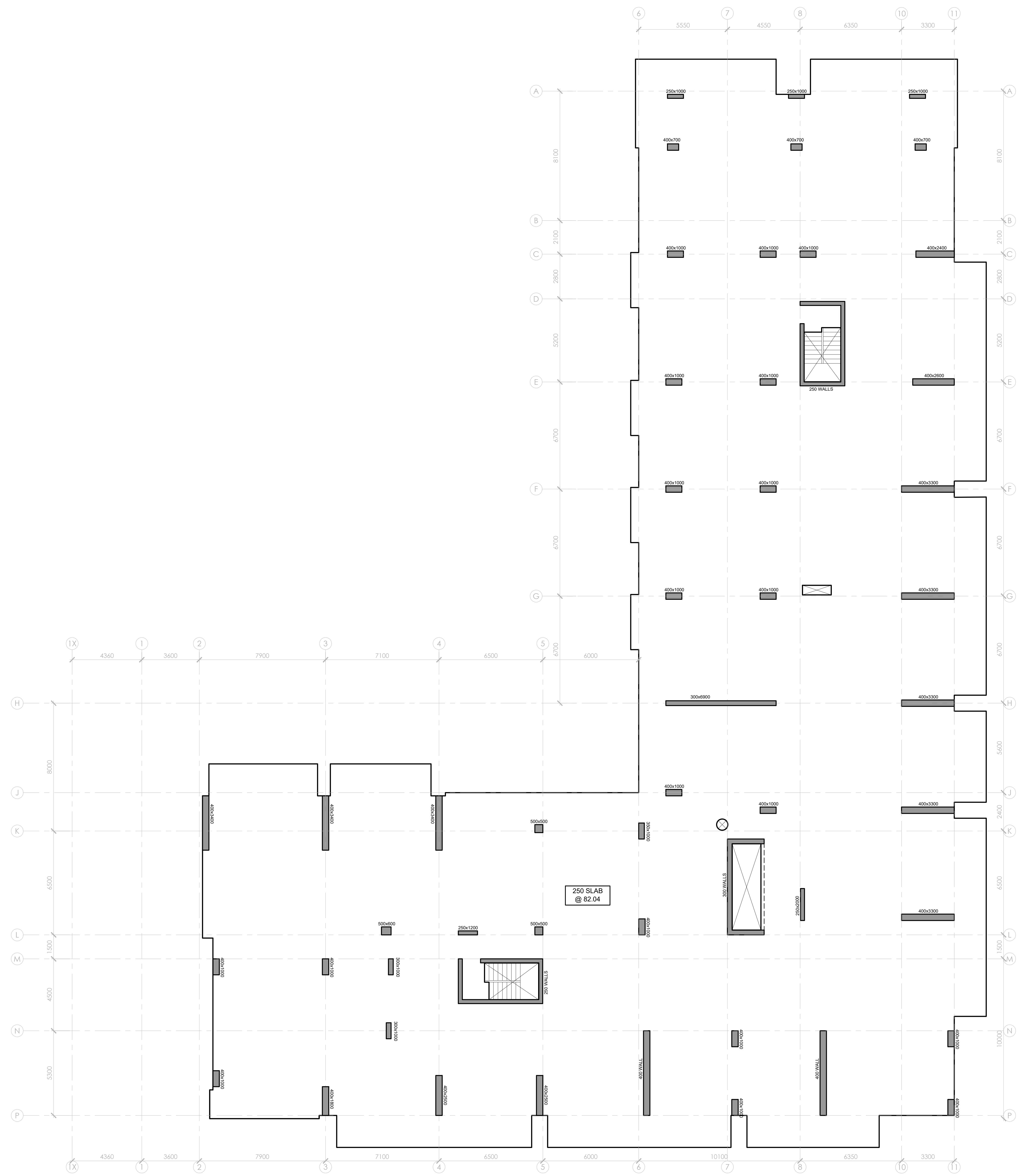
GOODEVE STRUCTURAL INC.
 18-77 Auriga Dr. Ottawa ON K2E 7Z7
 613-226-4558 www.goodevestructural.ca

Client: **ASCHROFT HOMES**

Project: **Q WEST BUILDING "B" OTTAWA ON**

Drawn: T.M.	Checked: P.A.G.
Date: 03/21/2022	
Scale: AS NOTED	
Project Number: 22-027	
S204	

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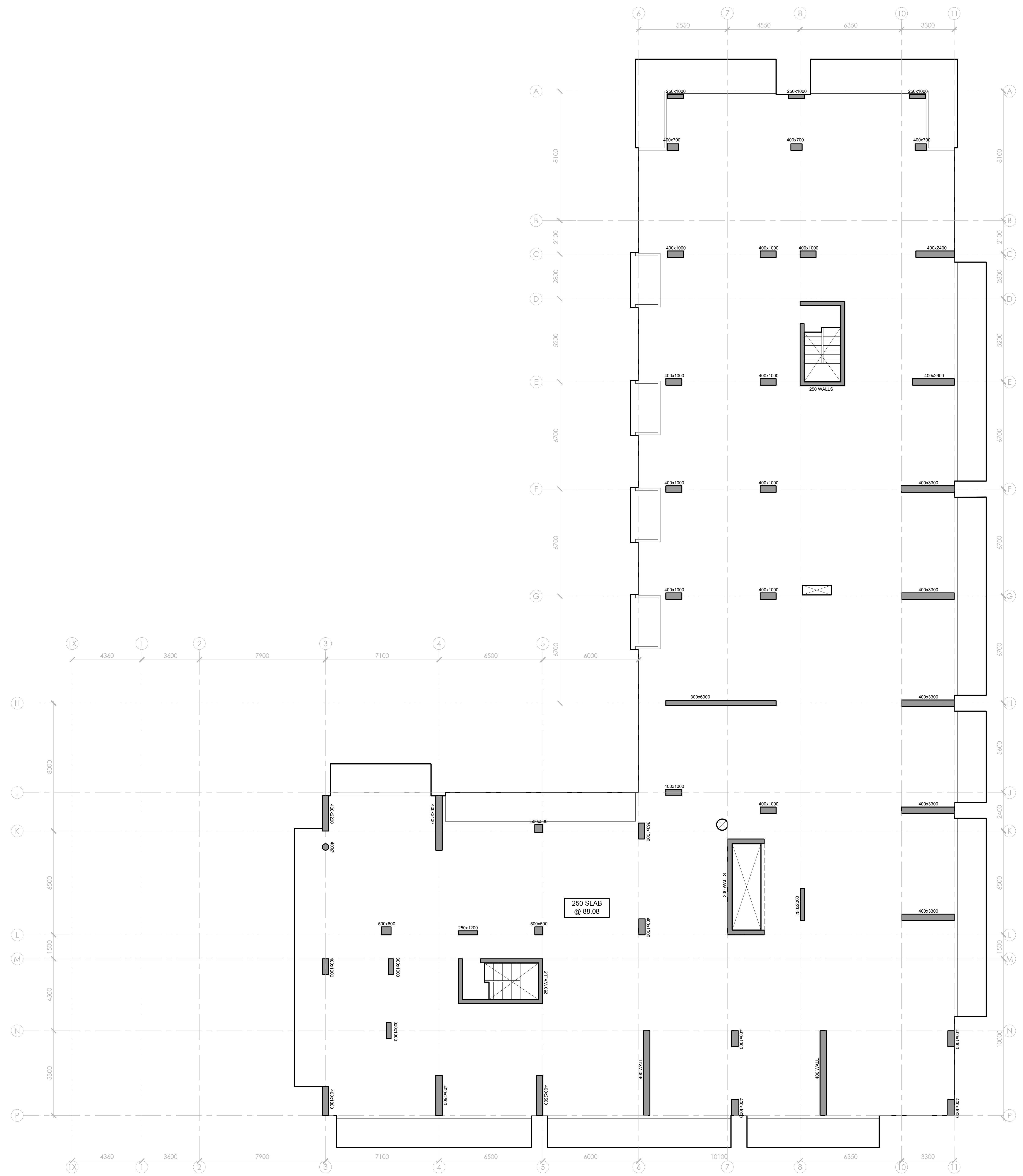


NO.	REVISION	DATE
1	REVISION	MM/DD/YY

GOODEVE STRUCTURAL INC.
 18-77 Auriga Dr. Ottawa ON K2E 7Z7
 613-226-4558 www.goodevestructural.ca

Drawing		4TH FLOOR LAYOUT	
Client			
Project		Q WEST BUILDING "B" OTTAWA ON	
Drawn	T.M.	Checked	P.A.G.
Issue No.	03/21/2022	Scale	AS NOTED
Project Number	22-027	Sheet	S206

- DESIGN AND CONSTRUCTION ARE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012.
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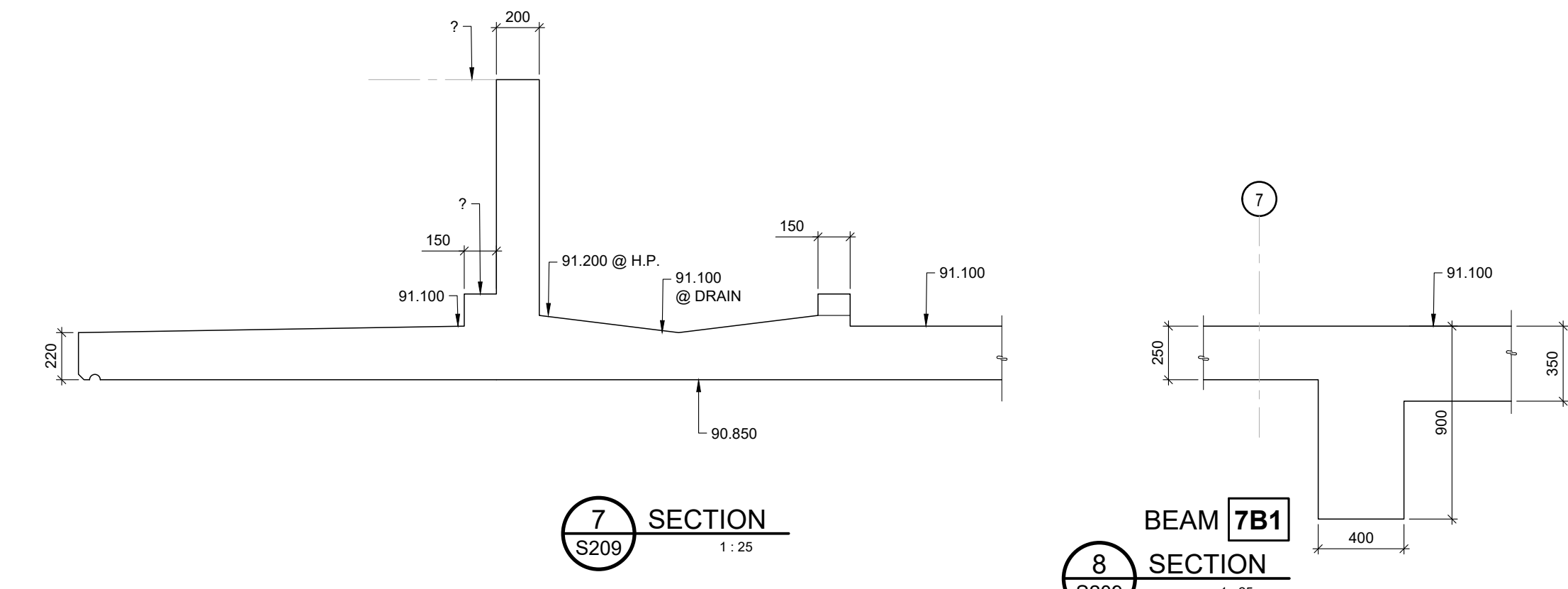
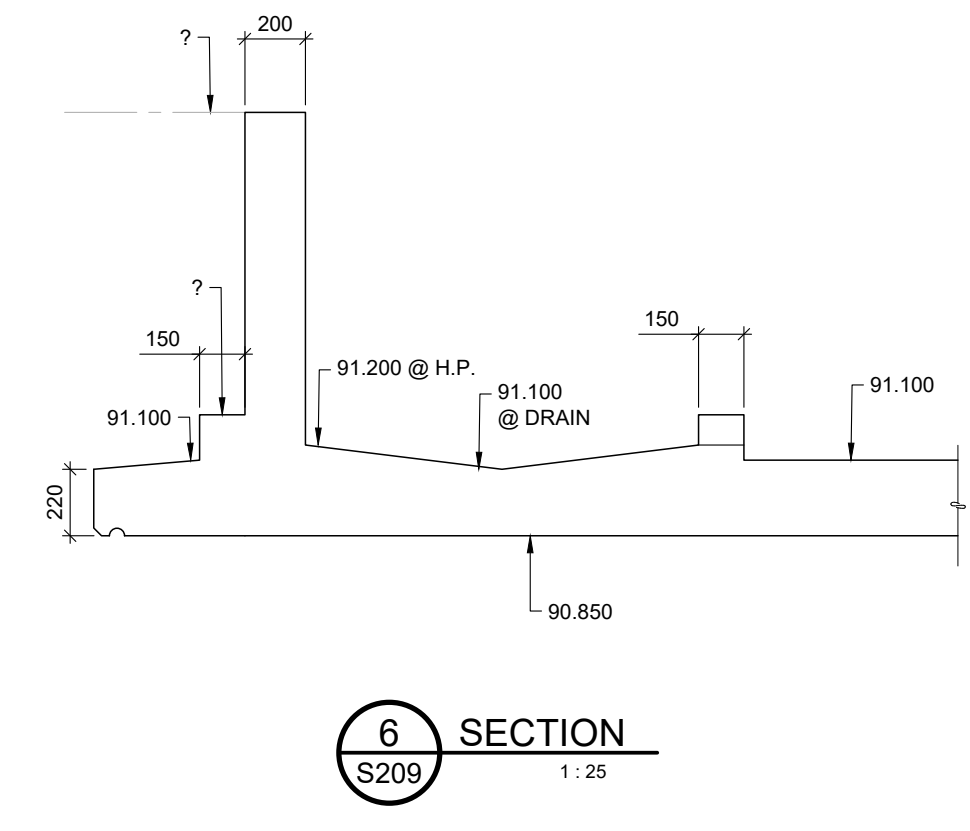
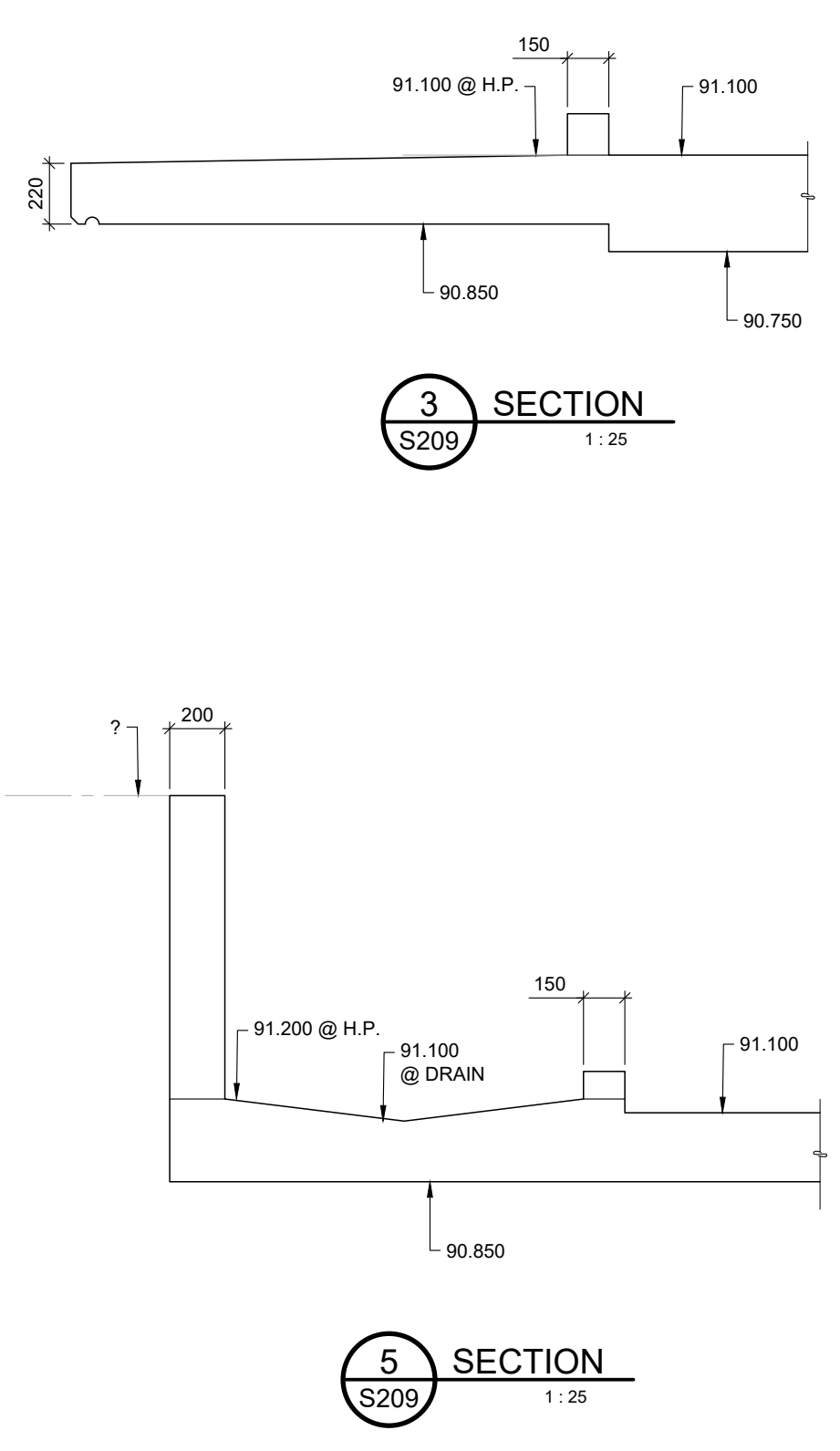
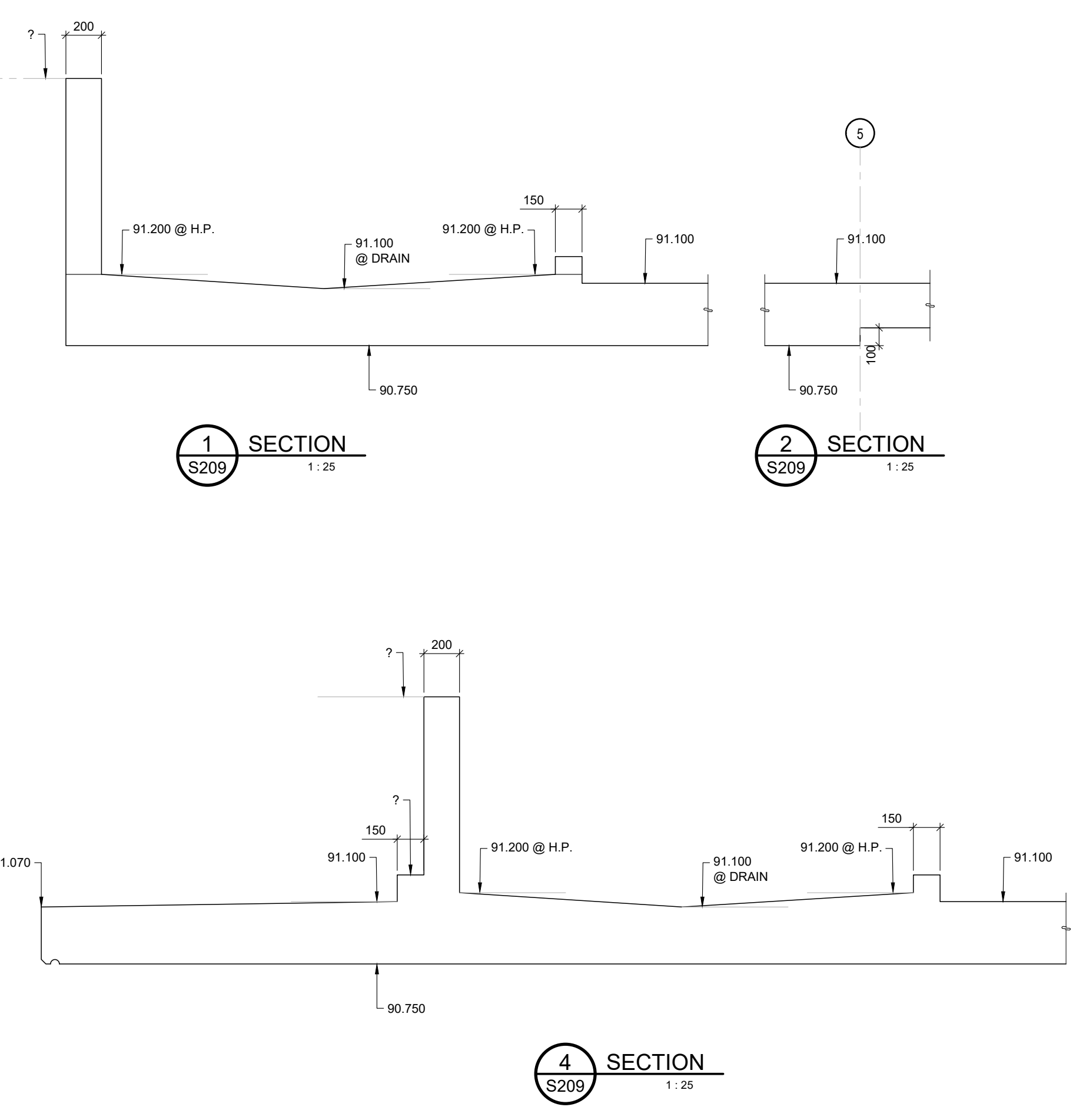
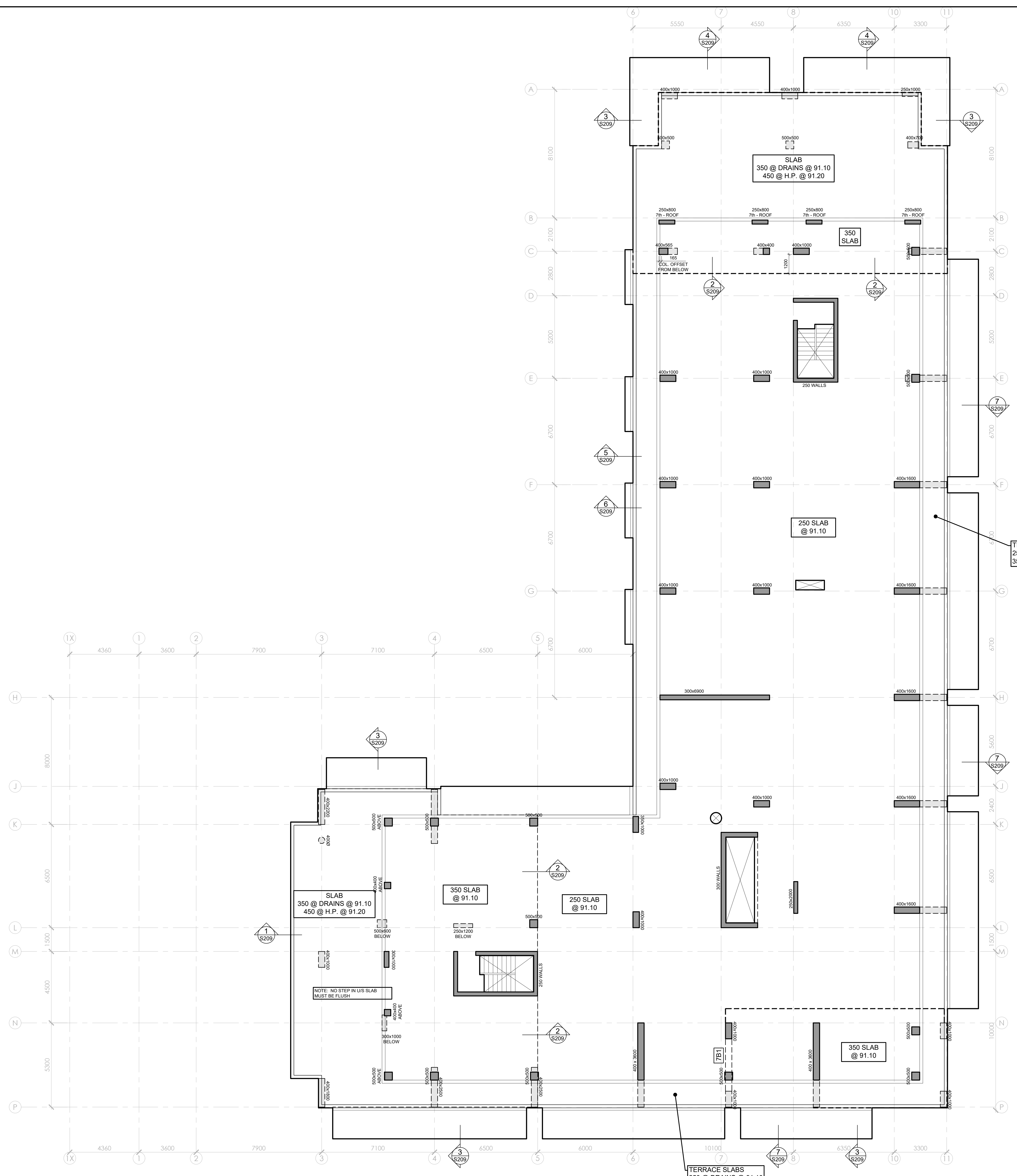


NO.	REVISION	DATE
1	REVISION	MM/DD/YY

GOODEVE STRUCTURAL INC.
 18-77 Auriga Dr. Ottawa ON K2E 7Z7
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Drawing		6th FLOOR LAYOUT	
Client			
Project		Q WEST BUILDING "B" OTTAWA ON	
Drawn	T.M.	Checked	P.A.G.
Issue No.	03/21/2022	Scale	AS NOTED
Project Number	22-027	Sheet	S208

- DESIGN AND CONSTRUCTION ARE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012.
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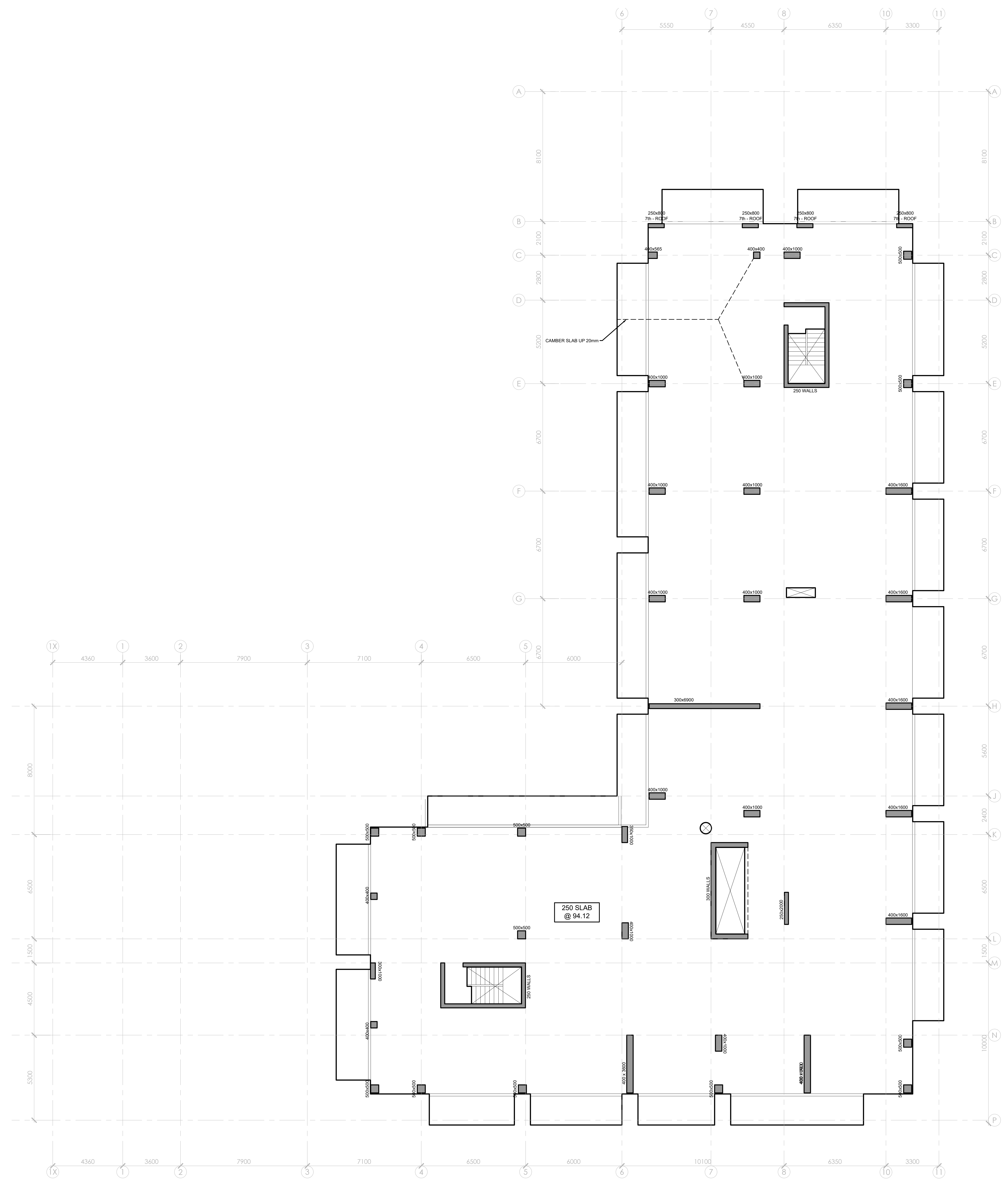


NO.	REVISION	DATE
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GOODEVE STRUCTURAL INC.
 18-77 Auriga Dr. Ottawa ON K2E 7Z7
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Drawing		7th FLOOR LAYOUT	
Client			
Project		Q WEST BUILDING "B" OTTAWA ON	
Drawn	T.M.	Checked	P.A.G.
Issue No.	03/21/2022	Scale	AS NOTED
Project Number	22-027	Sheet	S209

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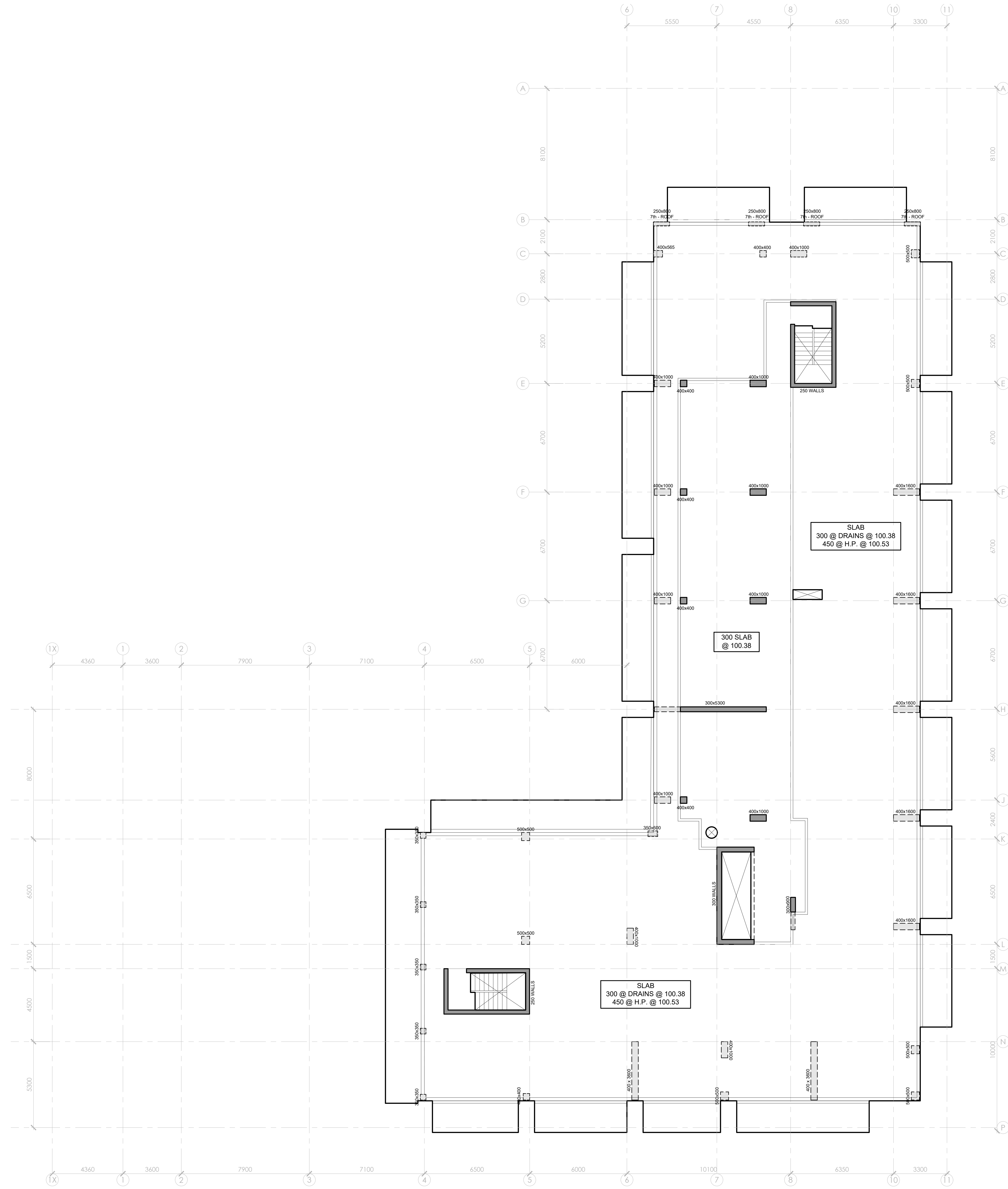


NO.	REVISION	DATE
1	REVISION	MM/DD/YY

GOODEVE STRUCTURAL INC.
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 613-226-4558 www.goodevestructural.ca

Drawing		8th FLOOR LAYOUT	
Client			
Project		Q WEST BUILDING "B" OTTAWA ON	
Drawn	T.M.	Checked	P.A.G.
Issue No.	03/21/2022	Scale	AS NOTED
Project Number	22-027	Sheet	S210

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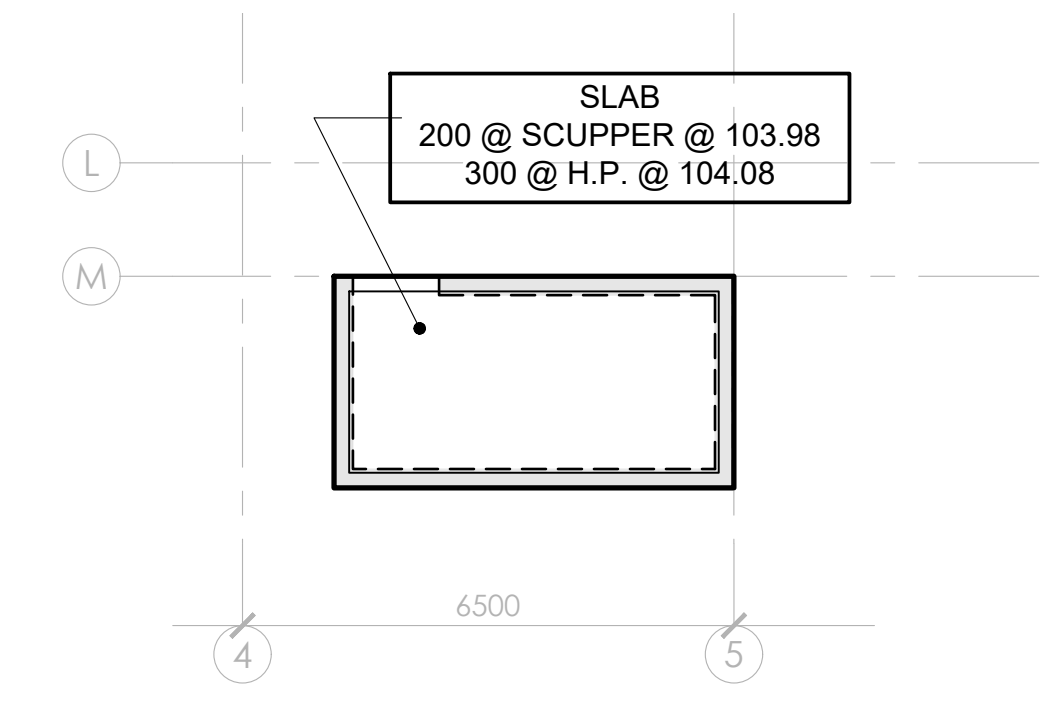
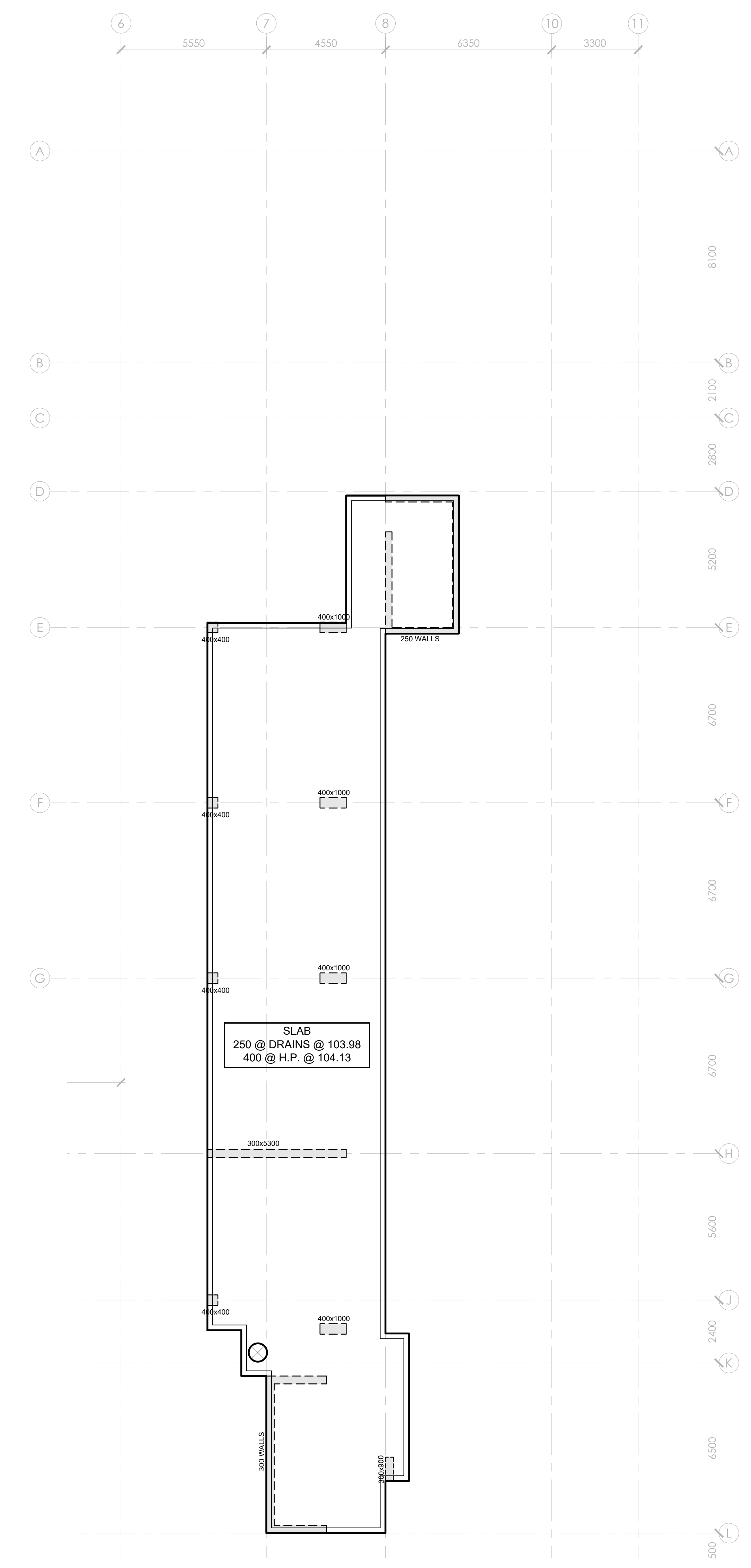


NO.	REVISION	DATE
1	REVISION	MM/DD/YY

GOODEVE STRUCTURAL INC.
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Drawing		ROOF LAYOUT	
Client			
Project		Q WEST BUILDING "B" OTTAWA ON	
Drawn	T.M.	Checked	P.A.G.
DATE	03/21/2022	Scale	AS NOTED
Project Number	22-027	Sheet	S212

1. DESIGN AND CONSTRUCTION ARE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012.
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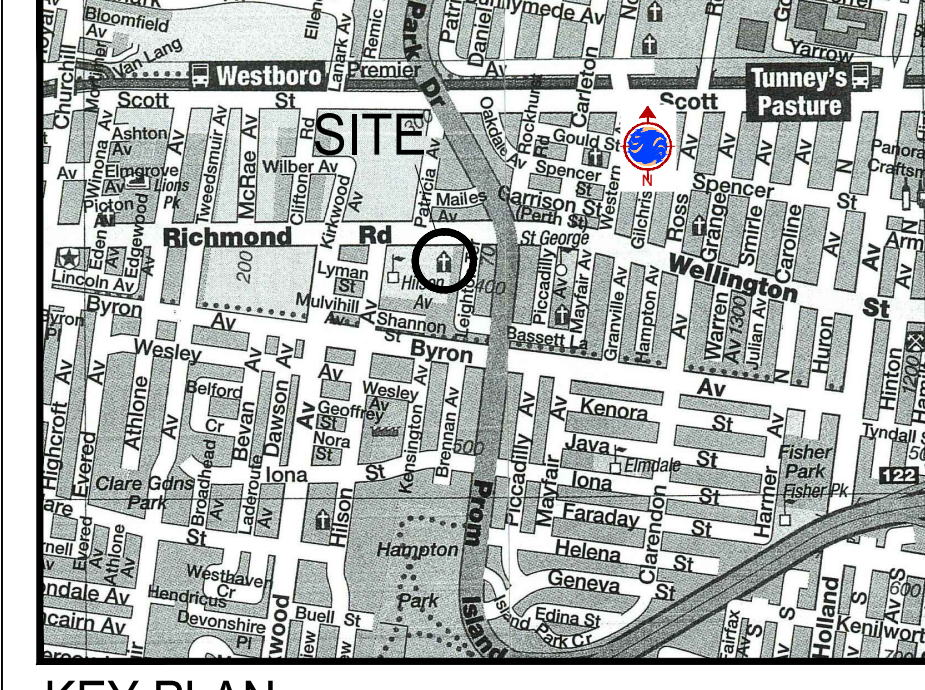
STAIR ROOF LAYOUT

HIGH ROOF LAYOUT

NO.	REVISION	DATE
1	REVISION	MM/DD/YY

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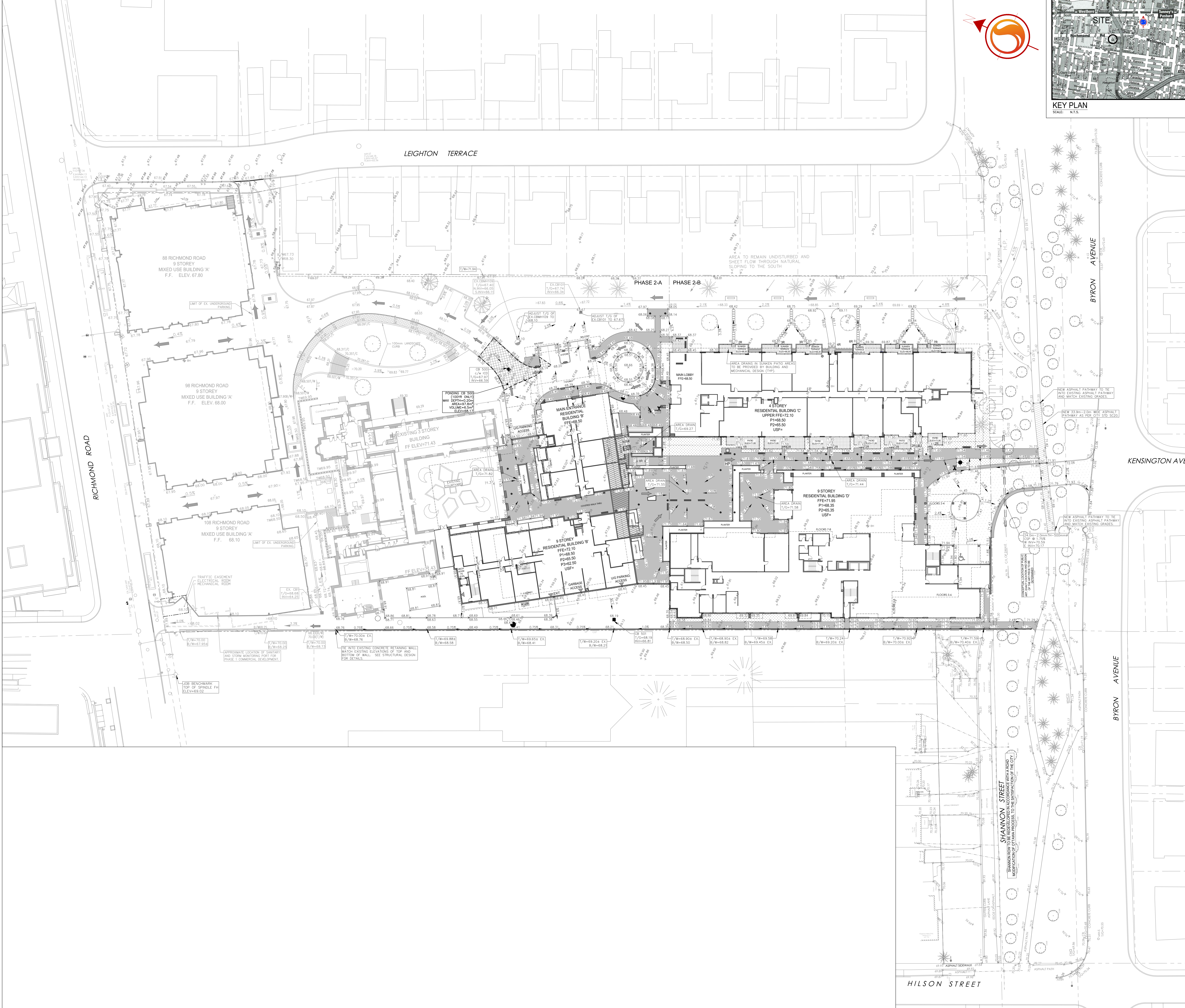
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Client			
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Drawn	T.M.	Checked	P.A.G.
Date	03/21/2022	Scale	AS NOTED
Project Number	22-027	Sheet	S213



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- Legend**
- ORIGINAL GROUND
 - PROPOSED ELEVATION
 - DIRECTION & PERCENT FLOW
 - PROPOSED LOT CORNER ELEVATION
 - EXISTING ELEVATION AT LOT CORNER
 - PROPOSED SWALE INVERT ELEVATION
 - NUMBER OF RISERS
 - PROPOSED CATCH BASIN
 - PROPOSED CATCH BASIN/ MANHOLE
 - DIRECTION OF OVERLAND FLOW
 - EXISTING RETAINING WALL
 - PROPOSED RETAINING WALL
 - PROPOSED DIRECTION OF FLOW
 - HEAVY DUTY ASPHALT
400mm H.B. OR SUPERPAVE 12.5 AC
50mm H.B. OR SUPERPAVE 19.0 AC
150mm OPS GRANULAR A BASE
400mm OPS GRANULAR B TYPE II
 - WALKWAY / PATHWAY RE-STATEMENT

- Notes**
- CONTRACTOR IS RESPONSIBLE TO KEEP PUBLIC ROADS FREE AND CLEAN FROM MUD AND DEBRIS PER CONTRACT SPECIFICATIONS.
 - SITE BENCHMARK TOP OF SPINDLE EX. FIRE HYDRANT, SOUTH SIDE OF RICHMOND ROAD, NORTH WEST OF SUBJECT PROPERTY, TOP OF SPINDLE GEODETIC ELEVATION = 49.10M
 - ALL STANDARDS QUOTED ON THE PLANS ARE CURRENT AS PER CITY OF OTTAWA AND PROVINCE OF ONTARIO STANDARDS AND REGULATIONS.



Revision	By	App'd	Date
3	REVISED FOR PERMITS	M.S.	07/20/24
2	REVISED FOR CITY COMMENTS	M.S.	07/20/24
1	ISSUED FOR REVIEW	M.S.	07/20/24

Permit-Scale
 M.S. C.K. M.S. 18.0x15
 Dwn. Chkd. Dign. Y.Y.A.M.D.D.

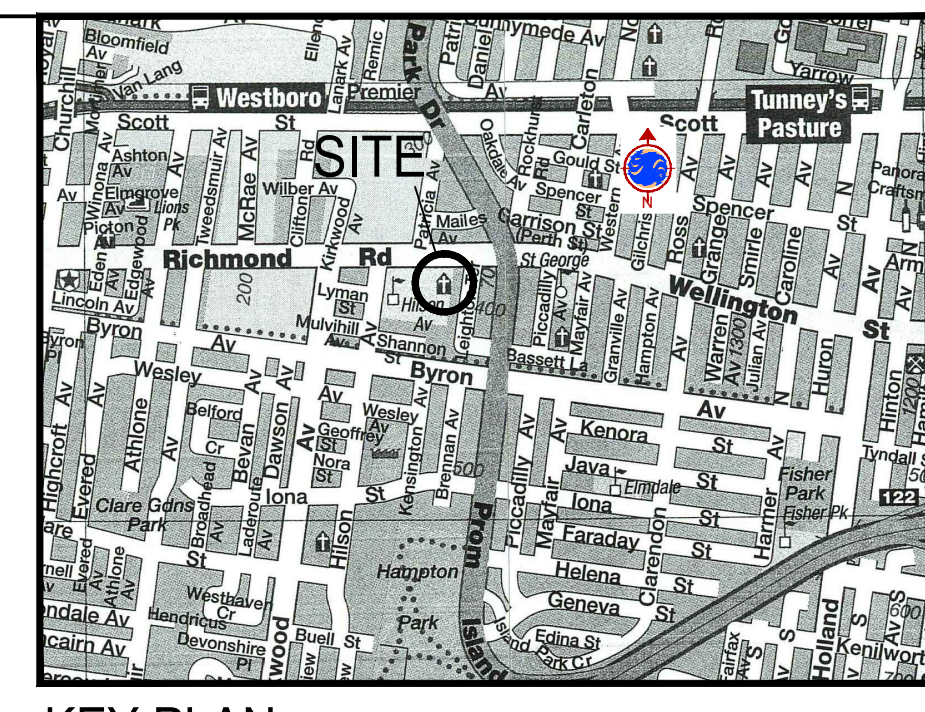
Client/Project
 ASHCROFT HOMES
 18 ANDARES DRIVE, OTTAWA, ON, K2E 1A9
 PH: 613-226-7266

Q-WEST PHASE 2
 OTTAWA, ON, CANADA

Title
 GRADING PLAN

Project No. 160400864
Drawing No. GP-1
Scale 1:300
Sheet 2 of 4
Revision 3
Date 07/12/18-03/08

V:\160400864\160400864_14_Richmond_Leighton\design\utility\Phase 2\utility\160400864_P2_18-24.dwg
 2024/07/20 11:52 AM by M.S.



KEY PLAN
SCALE: N.T.S.

Legend

- PROPOSED SILT FENCE BOUNDARY AS PER OPSD 219.1.10
- ▭ PROPOSED STRAW BALE LOCATION AS PER OPSD 219.1.10
- ⊗ PROPOSED MUD MAT LOCATION
- PROPOSED CATCH BASIN PROTECTION AS PER DETAIL

Notes

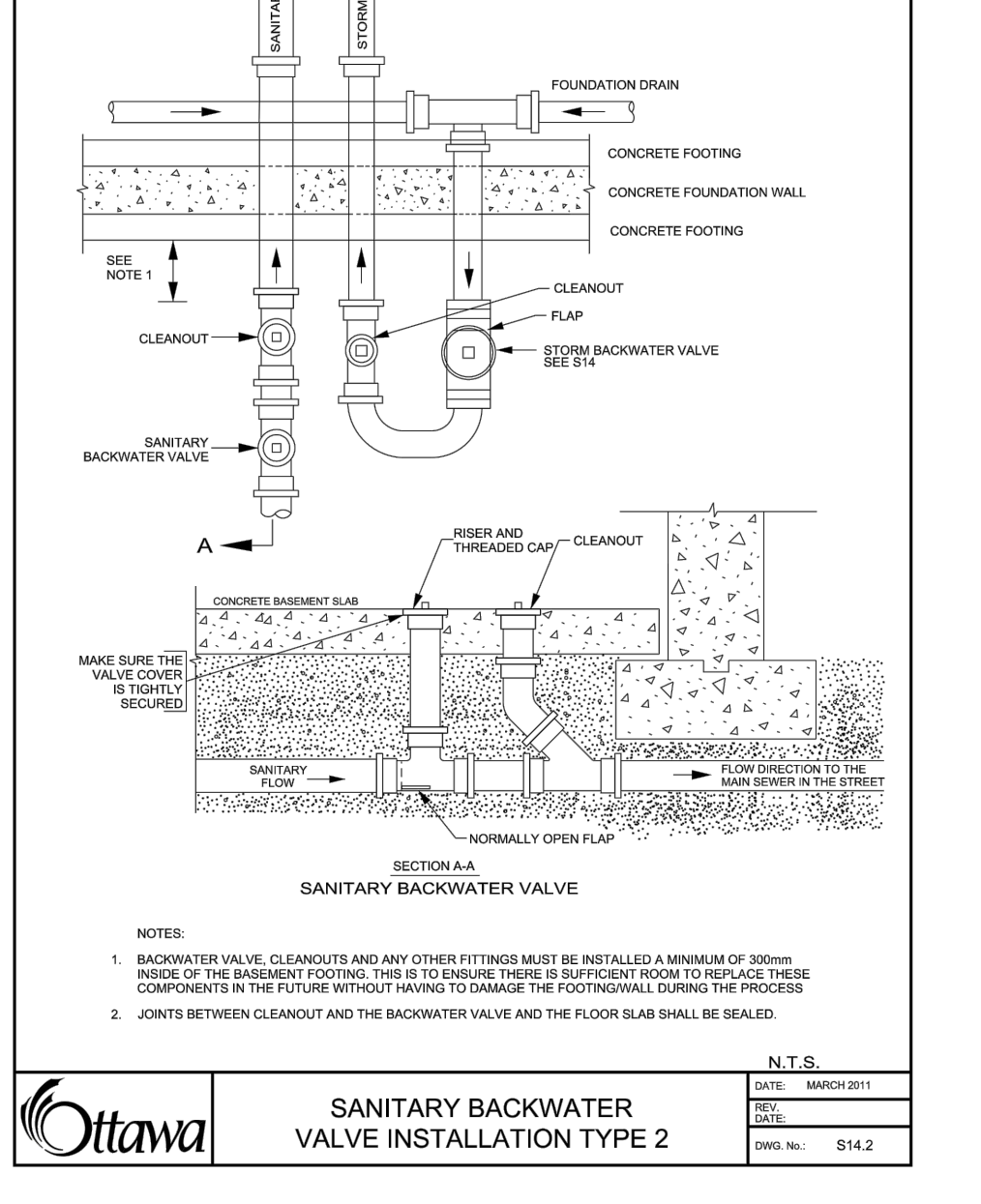
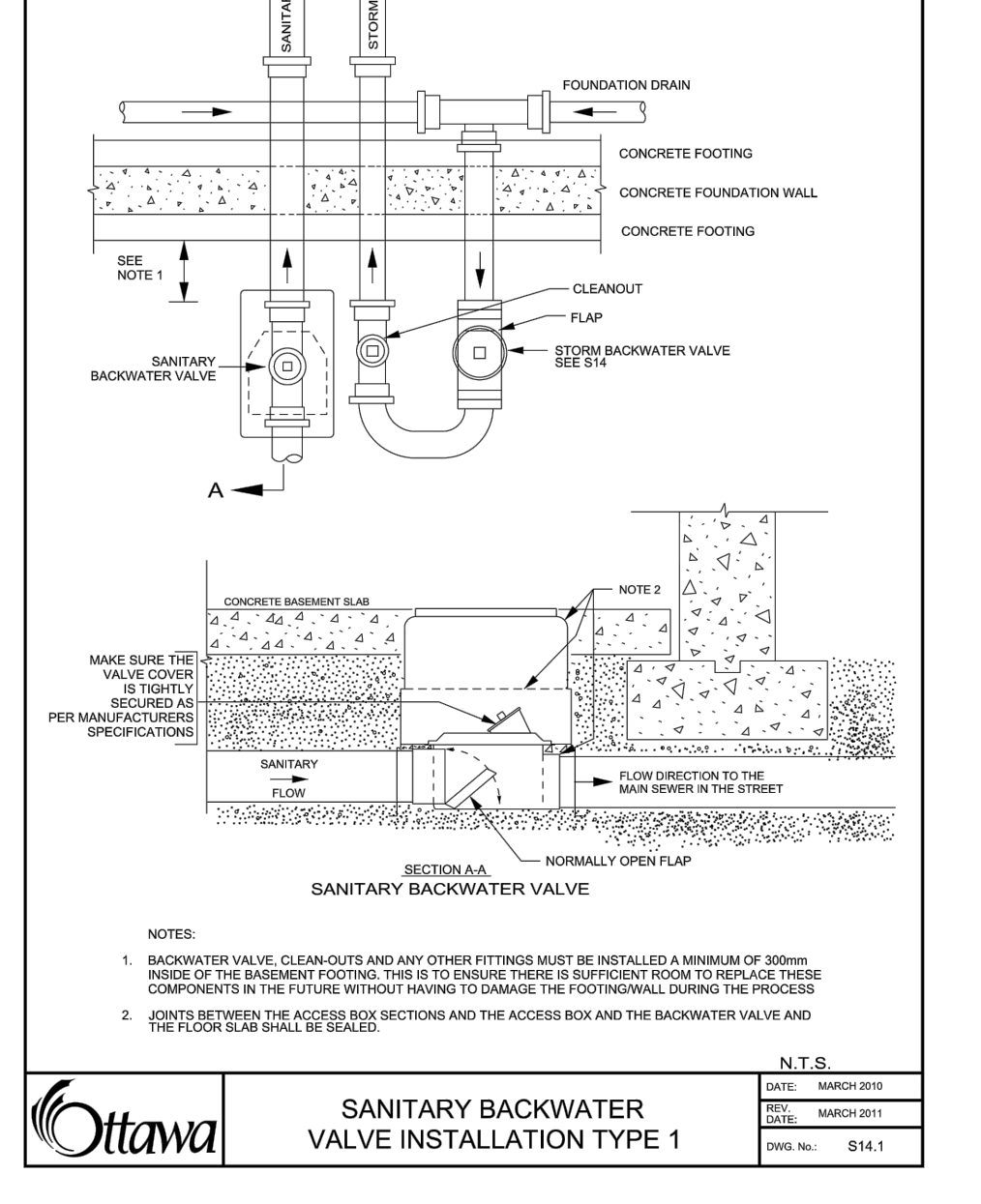
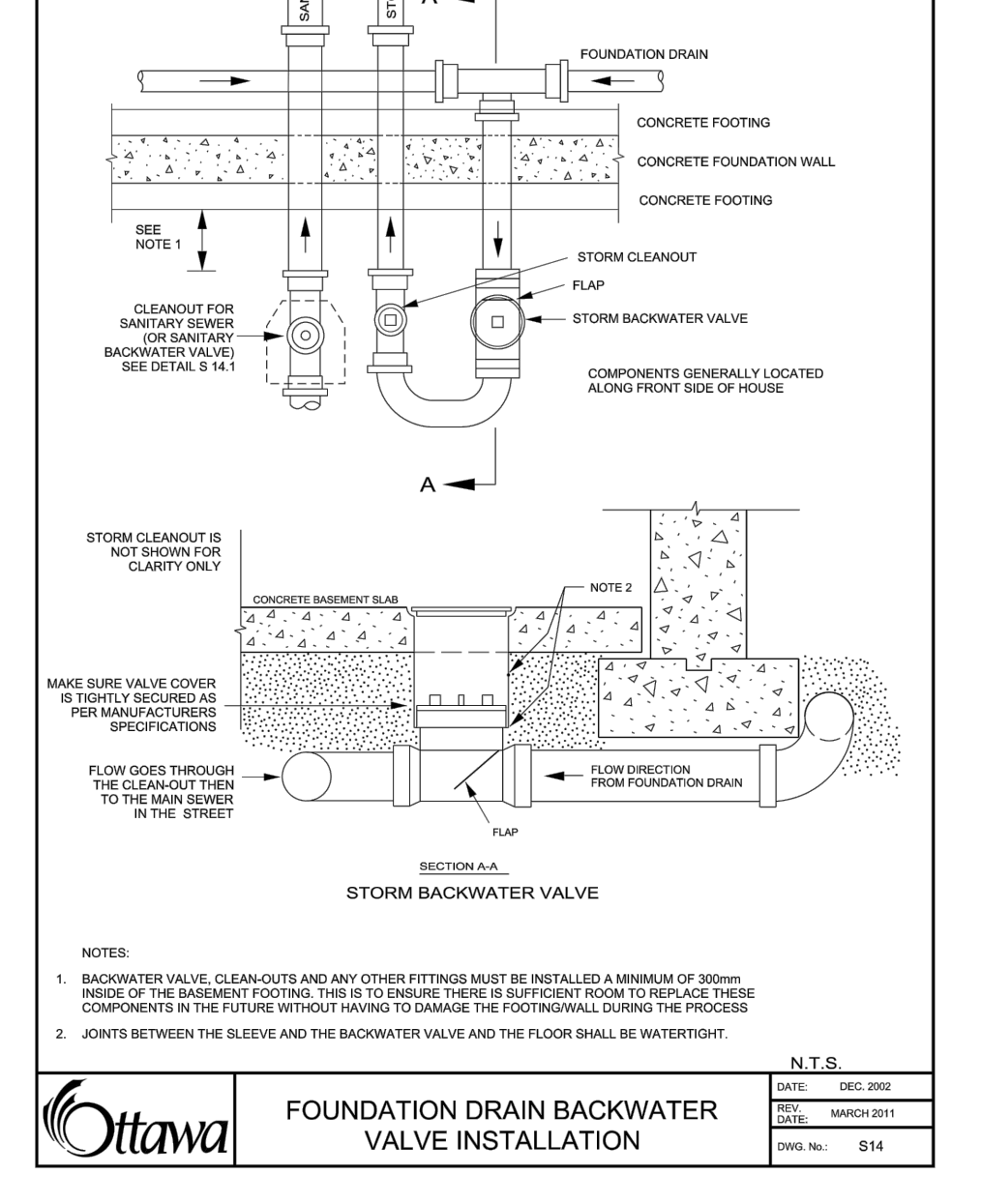
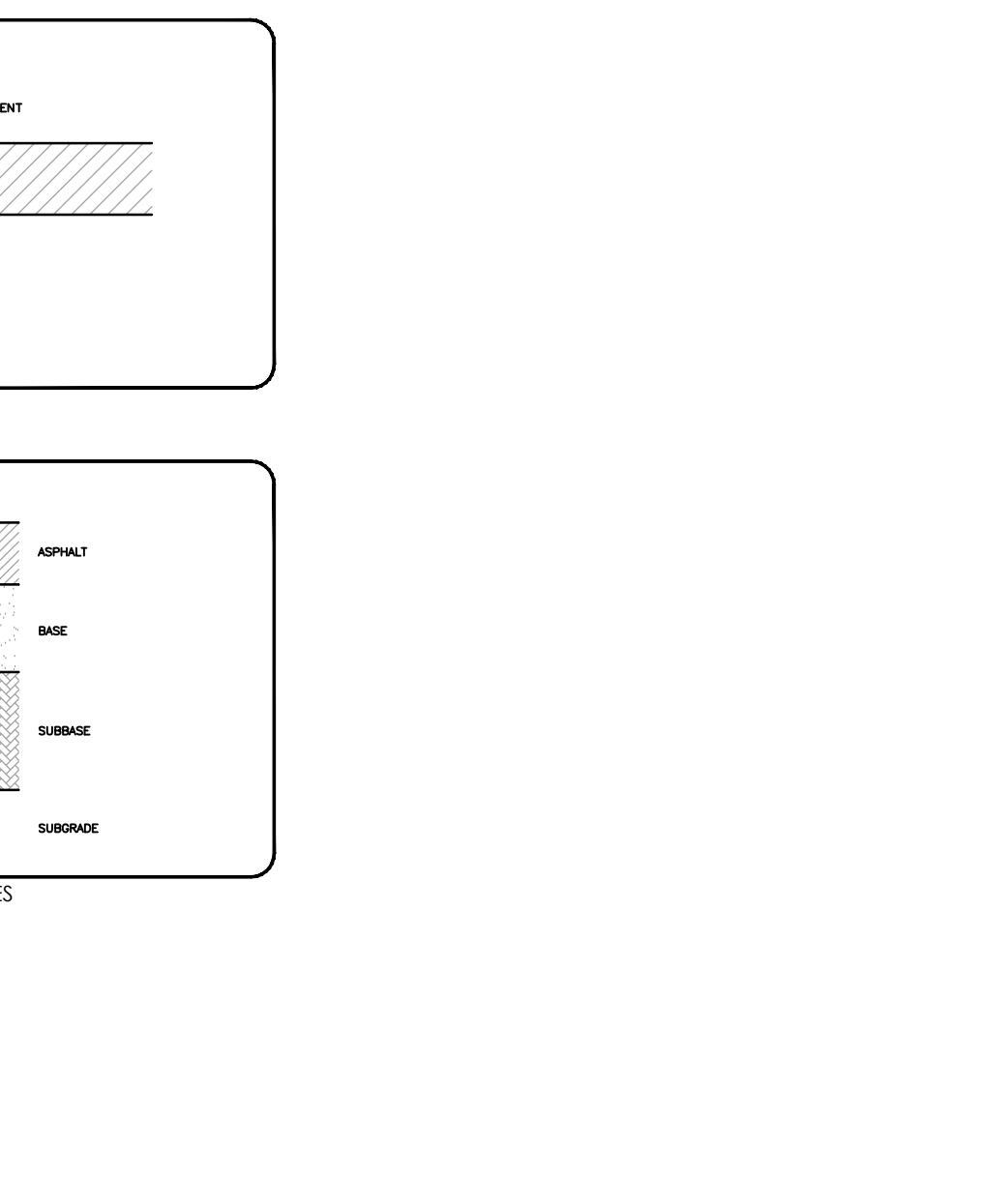
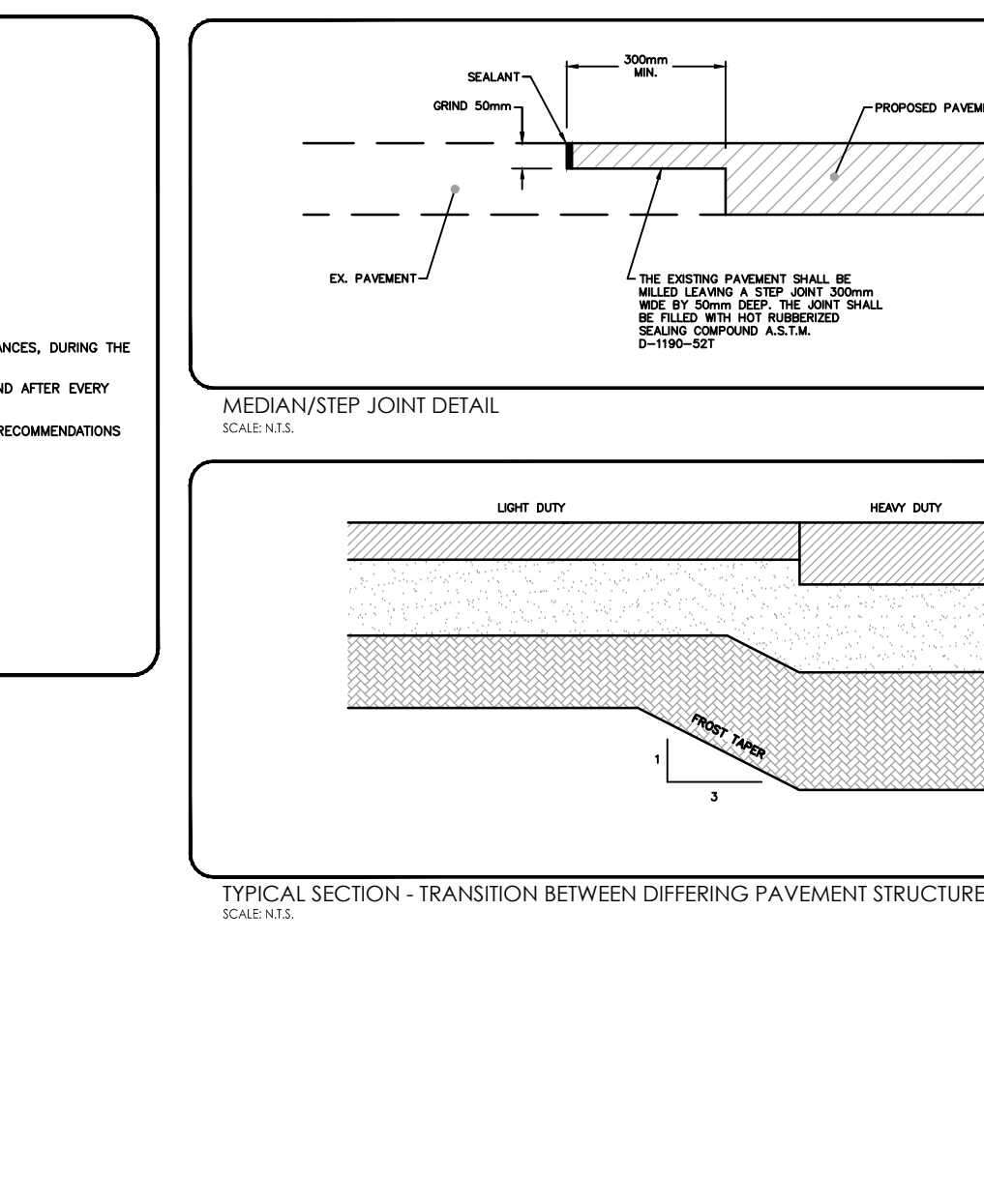
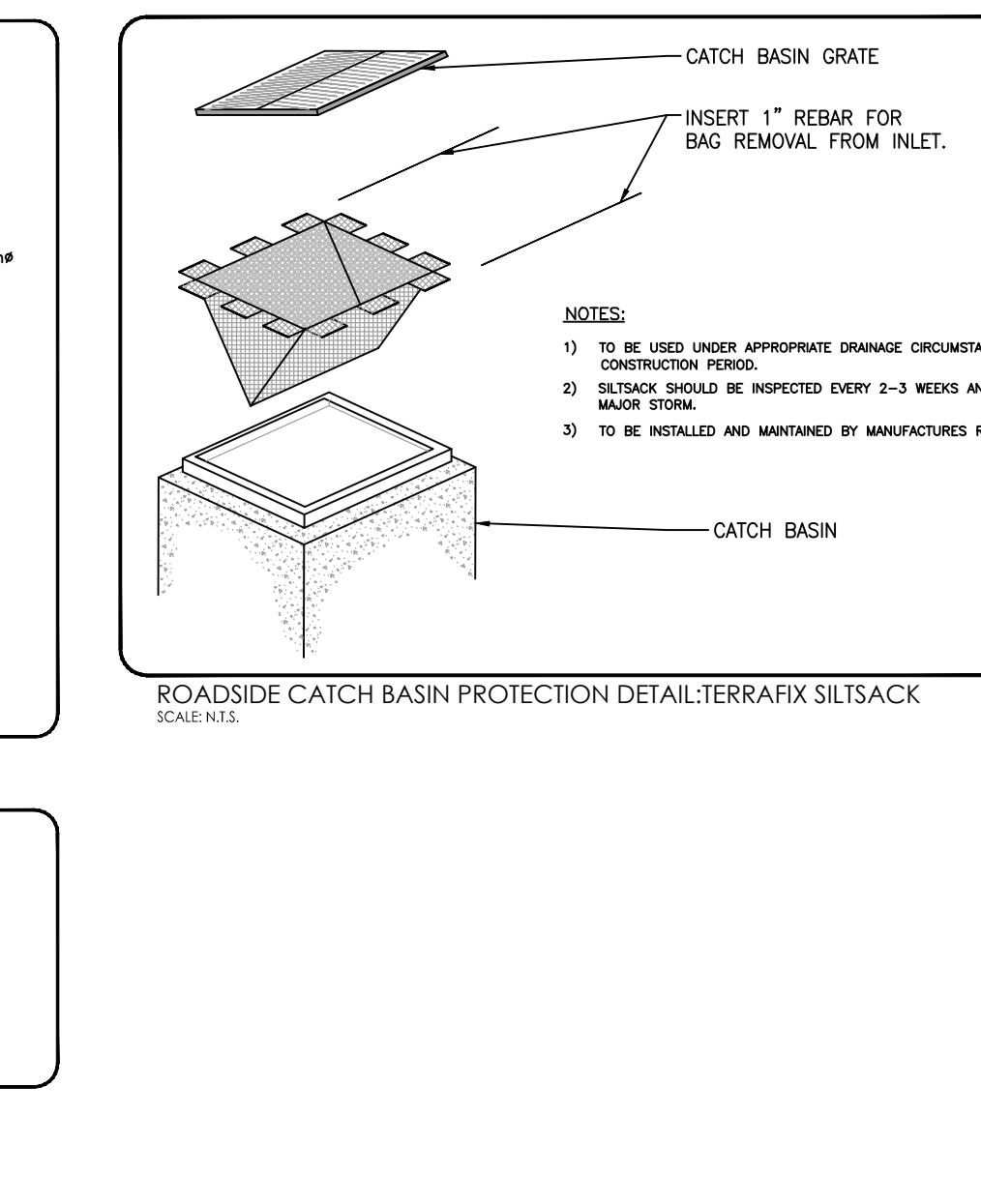
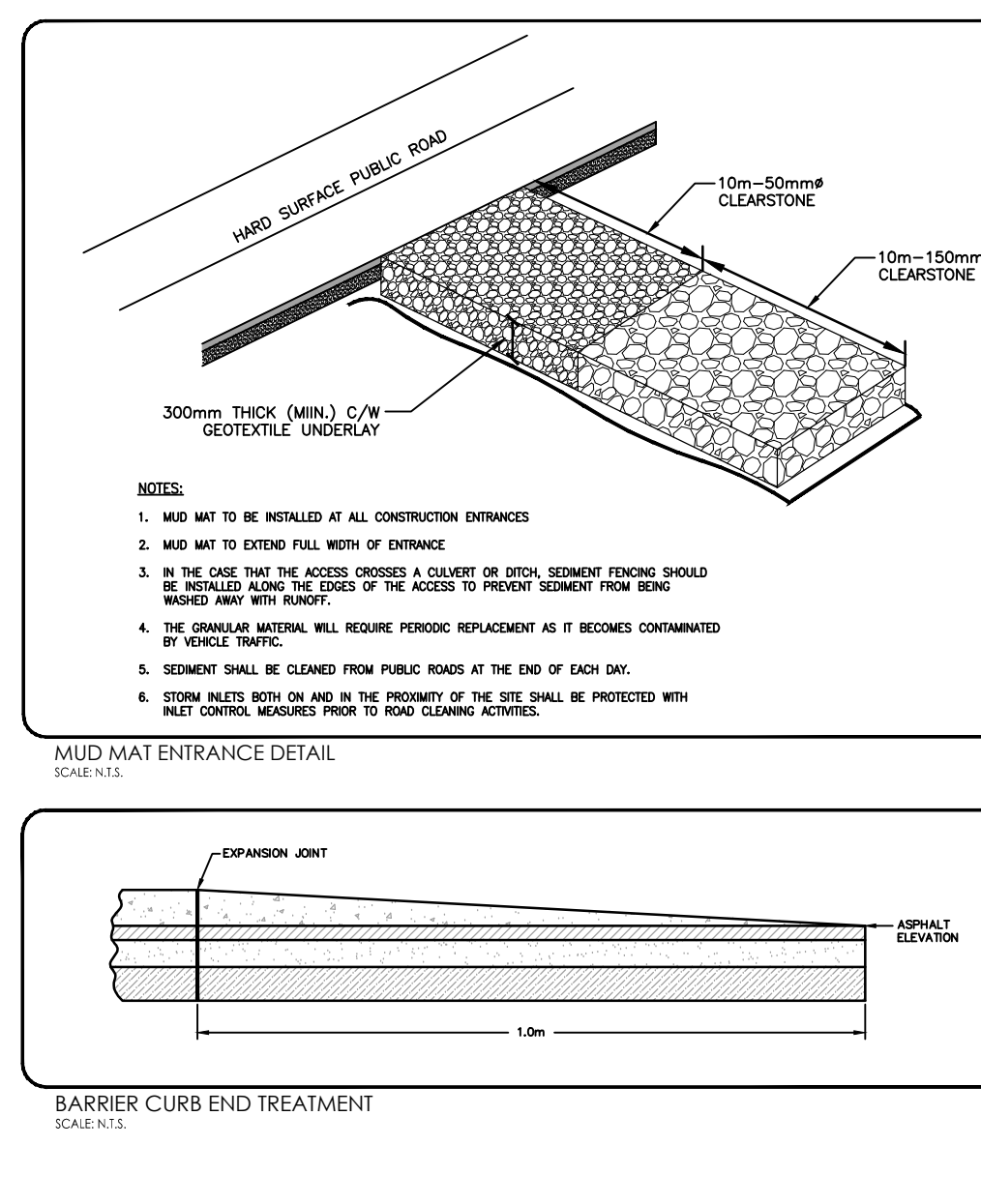
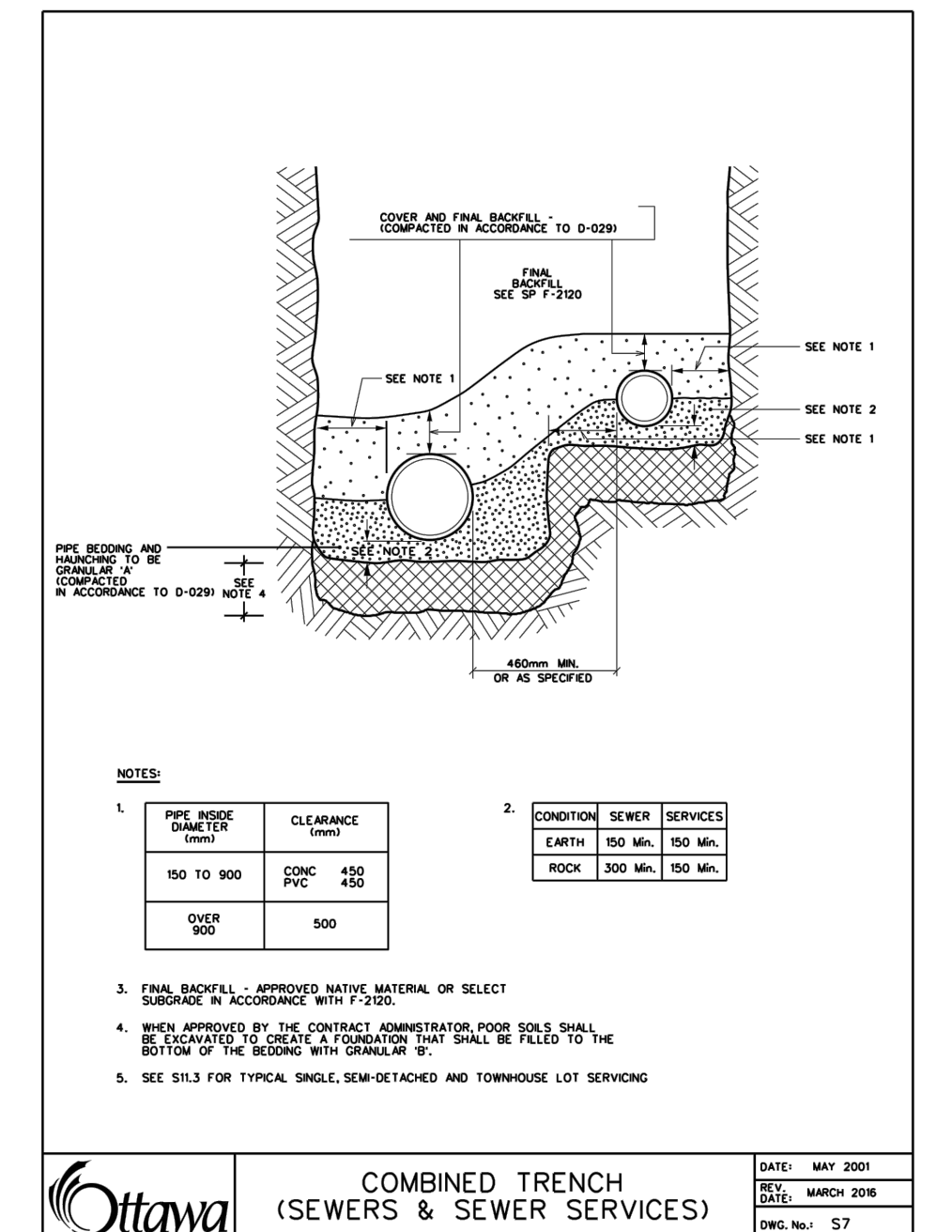
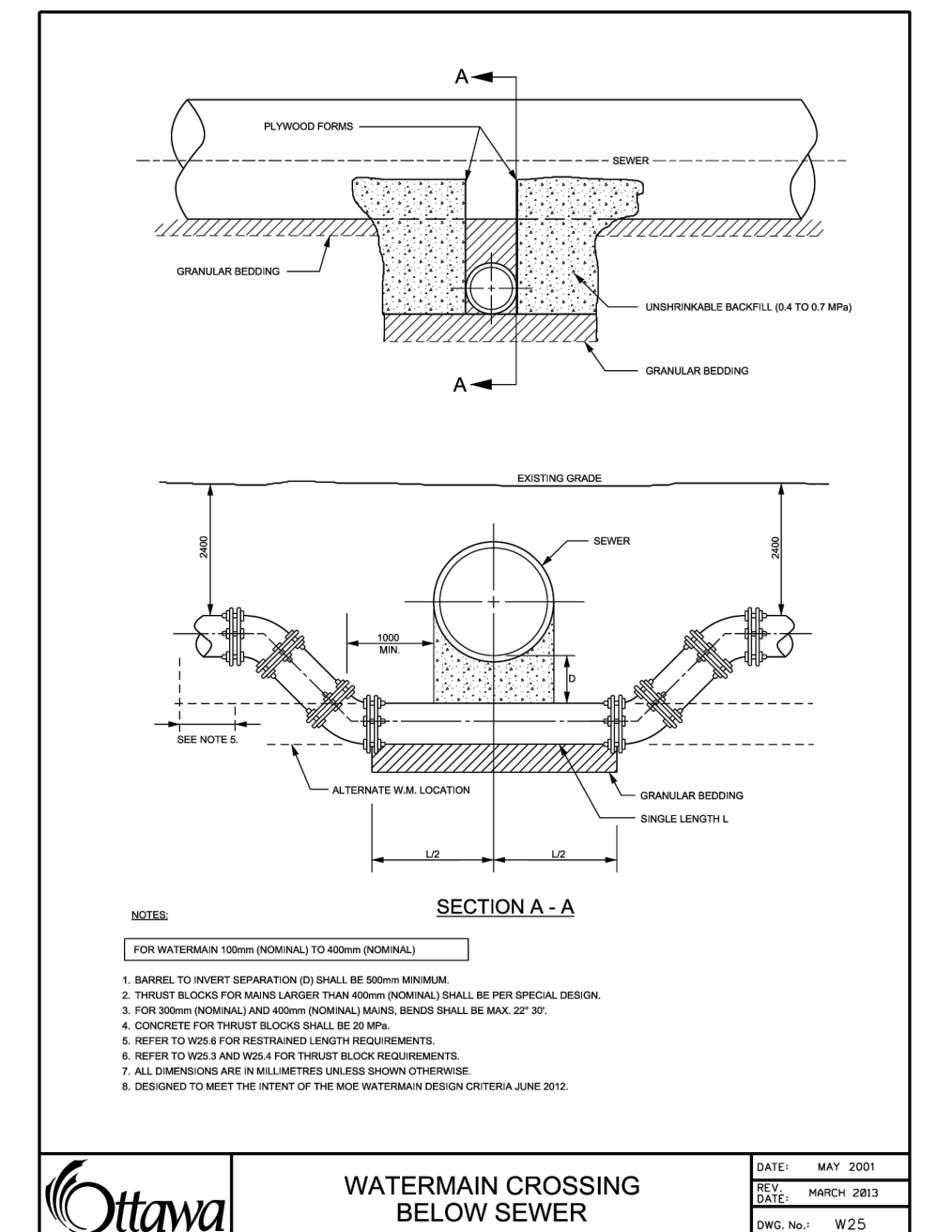
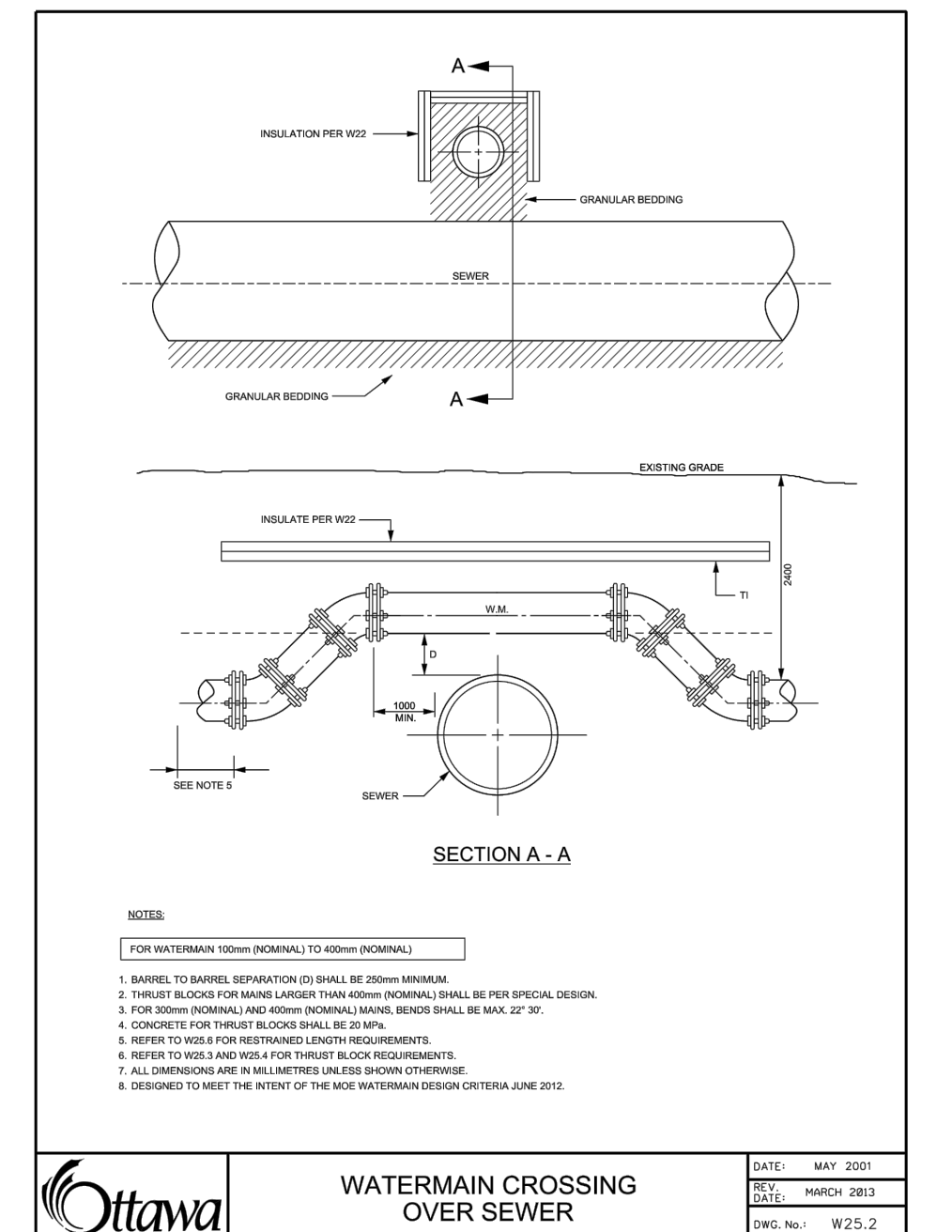
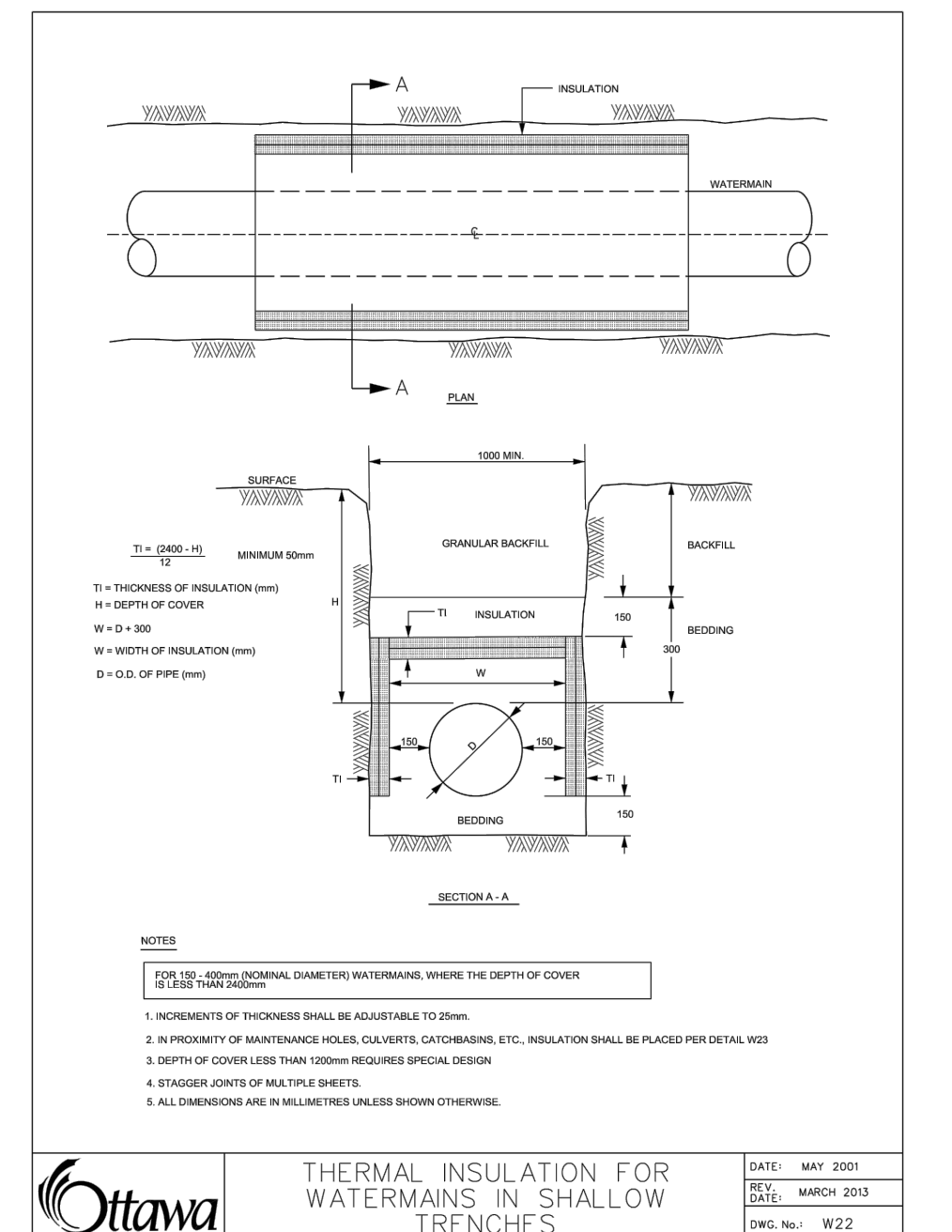
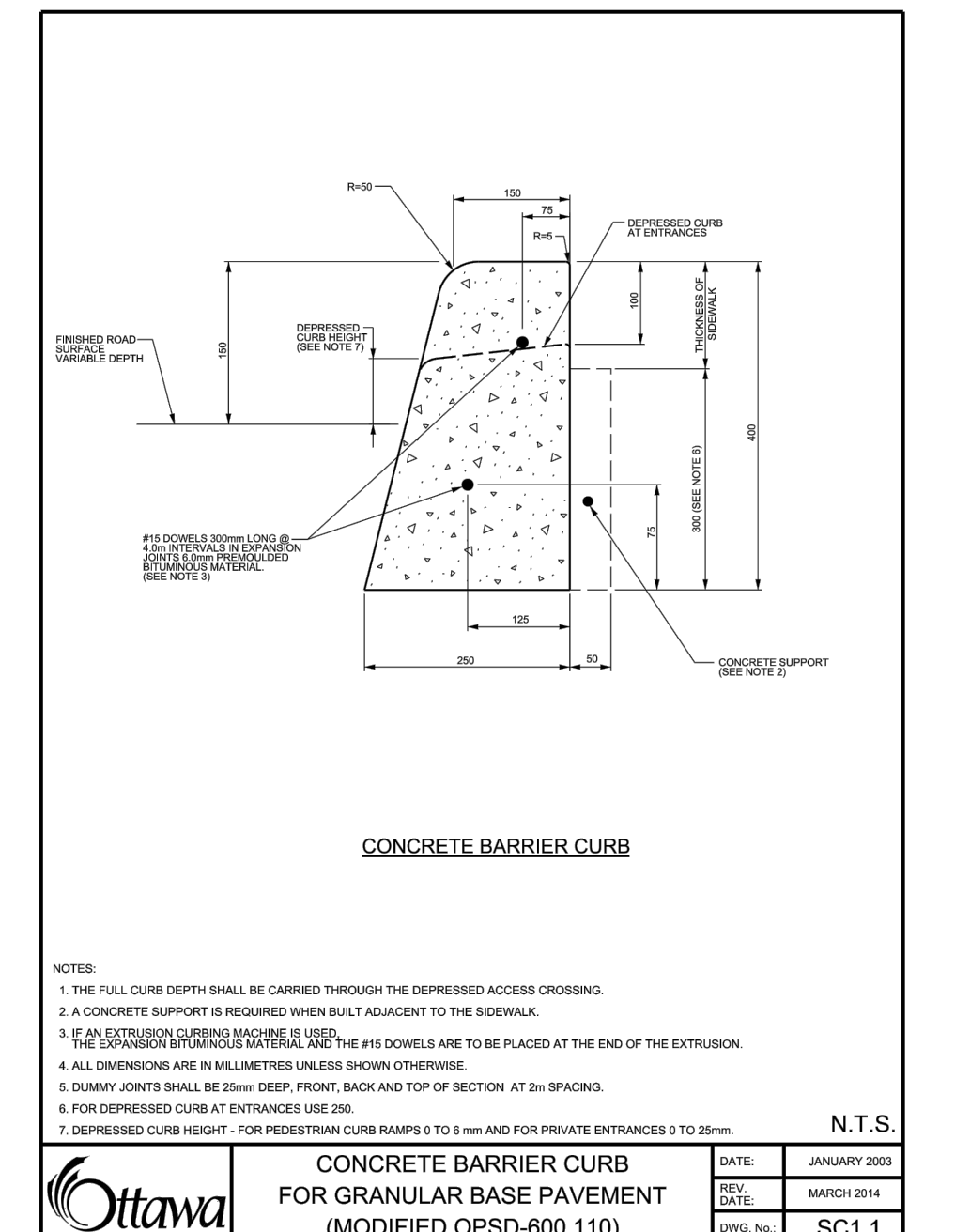
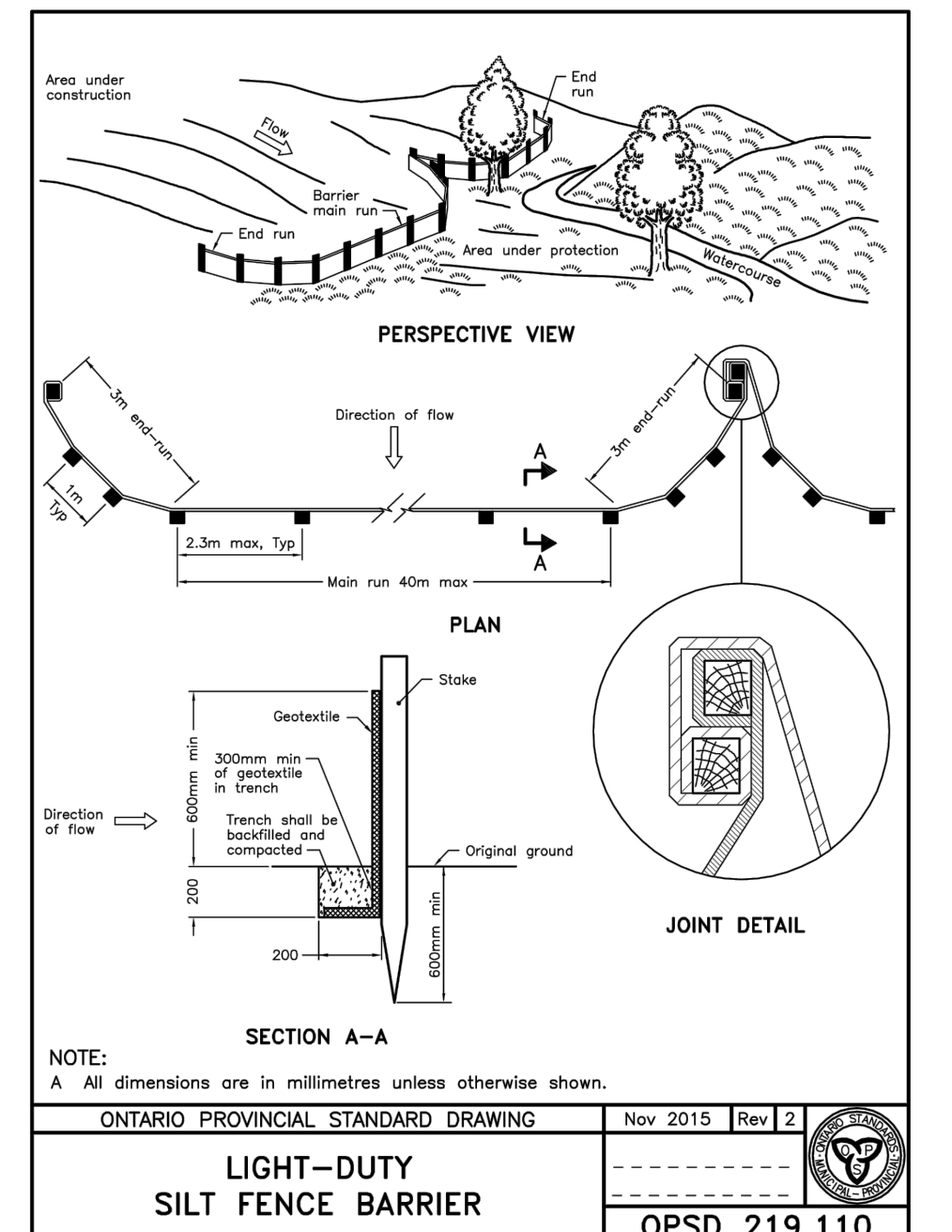
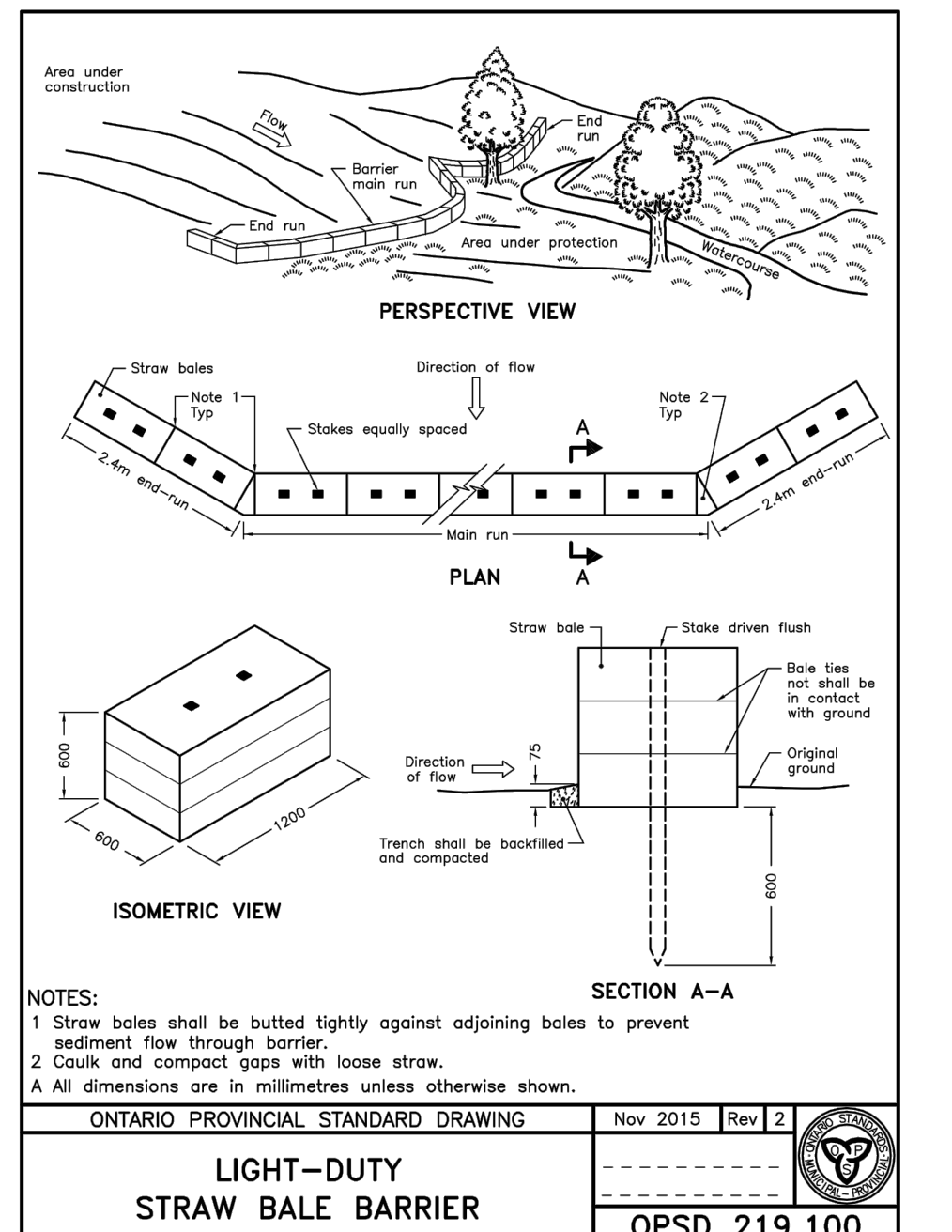
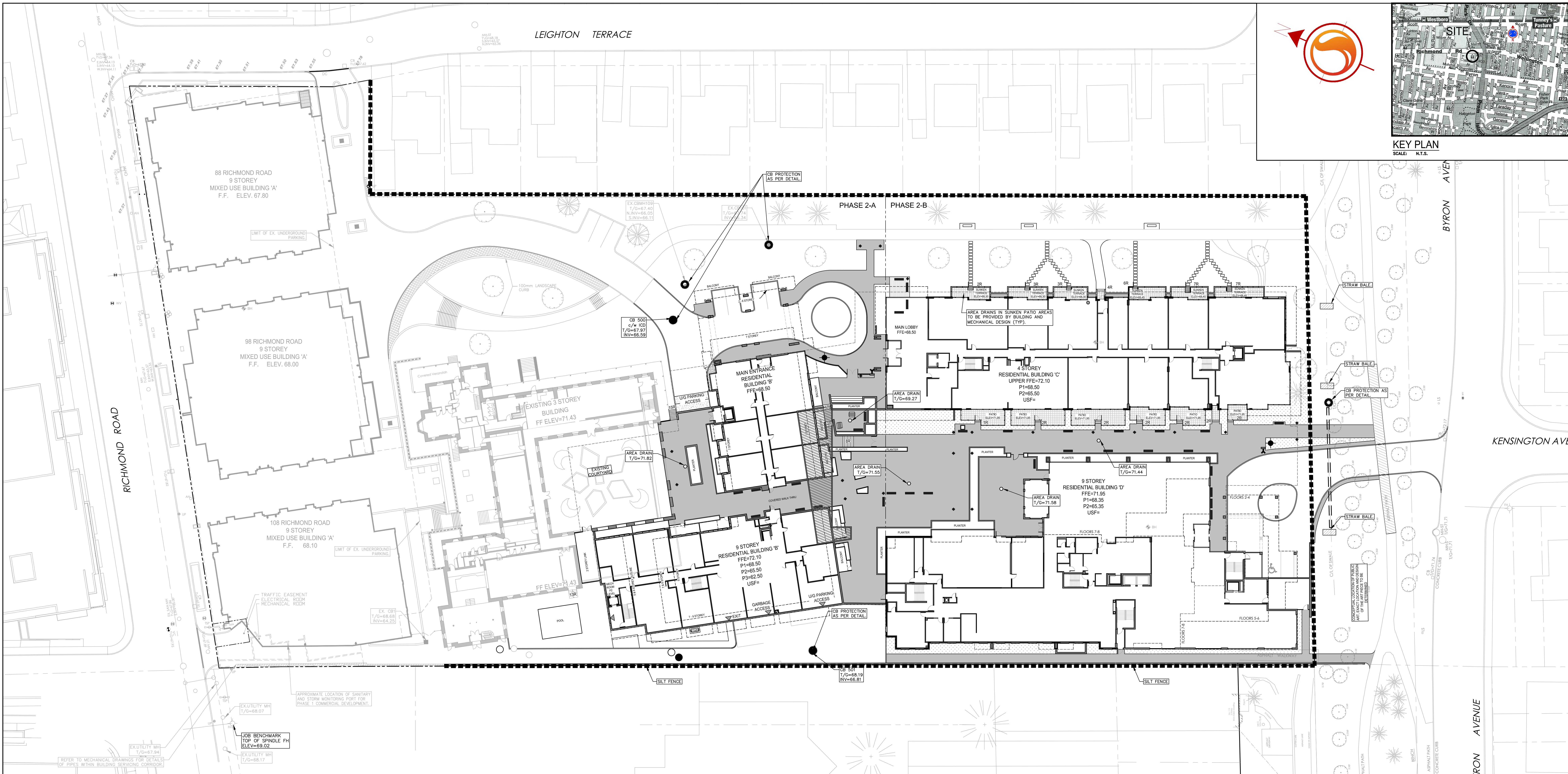
Best Management Practices

THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.

CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROLS (BEST MANAGEMENT PRACTICES) DURING CONSTRUCTION OF THIS PROJECT.

EROSION MUST BE MINIMIZED AND SEDIMENTS MUST BE REMOVED FROM CONSTRUCTION SITE RUN-OFF IN ORDER TO PROTECT DOWNSTREAM AREAS. DURING ALL CONSTRUCTION, EROSION AND SEDIMENTATION SHOULD BE CONTROLLED BY THE FOLLOWING TECHNIQUES:

1. LIMIT THE EXTENT OF EXPOSED SOILS AT ANY GIVEN TIME.
2. REVEGETATE EXPOSED AREAS AND SLOPES AS SOON AS POSSIBLE.
3. MINIMIZE AREA TO BE CLEARED AND GRUBBED.
4. PROTECT EXPOSED SLOPES WITH PLASTIC OR SYNTHETIC MULCHES.
5. INSTALL FILTER CLOTH BETWEEN FRAME AND COVER ON ALL PROPOSED CATCH BASINS AND CATCH BASIN MANHOLES AND ALL EXISTING CATCH BASINS THAT WILL RECEIVE RUN-OFF FROM THE SITE.
6. A SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF ALL AND ANY STOCKPILES OF MATERIAL TO BE USED OR REMOVED FROM SITE. LOCATION TO BE DETERMINED.
7. A VISUAL INSPECTION SHALL BE DONE ONLY ON SEDIMENT CONTROL MEASURES AND CLEANERS OF ANY ACCUMULATED SOLIDS AS REQUIRED. THE DEPOSITS WILL BE DISPOSED OFF SITE AS PER THE REQUIREMENTS OF THE CONTRACT.
8. SEDIMENT CONTROL BARRIERS MAY ONLY BE REMOVED TEMPORARILY WITH APPROVAL OF CONTRACT ADMINISTRATOR TO ACCOMMODATE CONSTRUCTION OPERATIONS. ALL AFFECTED BARRIERS MUST BE REINSTATED AT NIGHT WHEN CONSTRUCTION IS COMPLETED. NO REMOVAL WILL OCCUR IF THERE IS SIGNIFICANT RAINFALL EVENT ANTICIPATED (>10mm) UNLESS A NEW DEVICE HAS BEEN INSTALLED TO PROTECT THE EXISTING STORM AND SANITARY SEWER SYSTEMS.
9. NO REFUELING OR CLEANING OF EQUIPMENT IS PERMITTED NEAR ANY EXISTING WATERWAY.
10. CONTRACTOR SHALL REMOVE SEDIMENT CONTROL MEASURES WHEN, WITH THE CONSENT OF THE CONTRACT ADMINISTRATOR, THE MEASURES IS NO LONGER REQUIRED. NO CONTROL MEASURES SHALL BE PERMANENTLY REMOVED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE CONTRACT ADMINISTRATOR.
11. THE CONTRACTOR SHALL PERIODICALLY, OR WHEN REQUESTED BY THE ADMINISTRATOR, CLEAN UP ACCUMULATED SEDIMENTS AS REQUIRED.
12. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY ACCIDENTAL DISCHARGES OR SEDIMENT MATERIAL INTO THE WATERCOURSE. APPROPRIATE RESPONSE MEASURES, INCLUDING ANY REPAIRS TO EXISTING CONTROL MEASURES OR THE IMPLEMENTATION OF ADDITIONAL CONTROL MEASURES, SHALL BE CARRIED OUT BY THE CONTRACTOR WITHOUT DELAY.
13. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE ROADS FREE AND CLEAN FROM MUD OR DEBRIS.
14. ALL STANDARDS QUOTED ON THE PLANS ARE CURRENT AS PER CITY OF OTTAWA AND PROVINCE OF ONTARIO STANDARDS AND REGULATIONS.



3. REVISED AS PER SHEET PLAN	M.S.	D.T.	20/05/20
2. REVISED PER CITY COMMENTS	M.S.	D.T.	20/04/20
1. ISSUED FOR REVIEW	M.S.	D.T.	19/04/20

Revision	By	App'd	Y.Y.M.A.M.D
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File Name:	160400864 Phase 1 & 2	M.S.	K.K.	M.S.	18.04.19
Drawn:		Chk'd:		Design:	Y.Y.M.A.M.D

Client/Project
ASHCROFT HOMES
18 ANDES DRIVE, OTTAWA, ON, K2E 1A9
PH: 613-226-7266

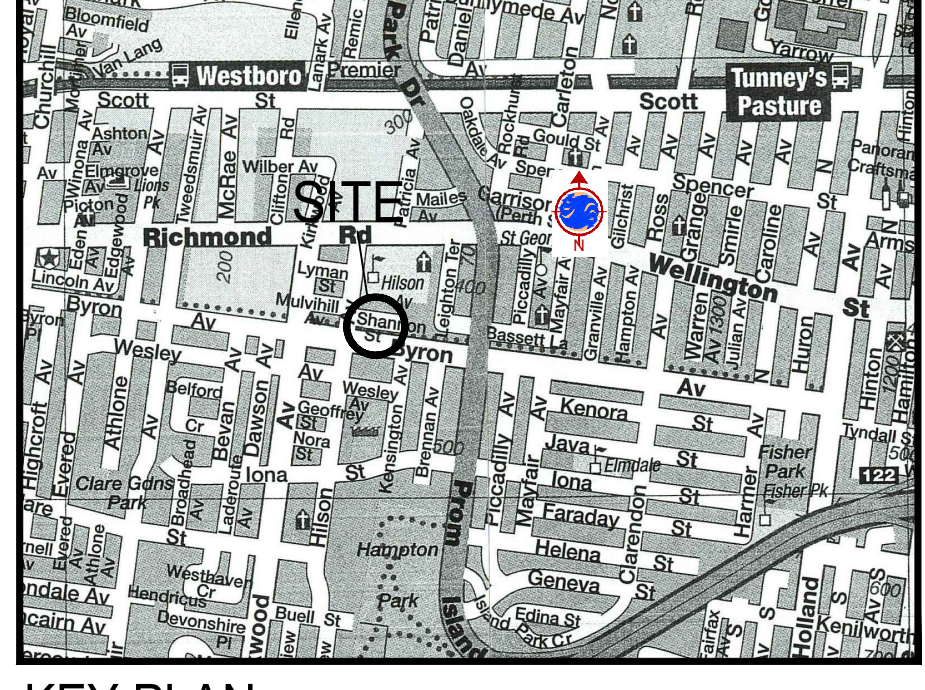
Q-WEST PHASE 2
OTTAWA, ON, CANADA

Title
EROSION CONTROL PLAN AND DETAIL SHEET

Project No.	160400864	Scale	0 3 9 15m
Drawing No.	Sheet	Revision	

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 PLAN# 1828-A

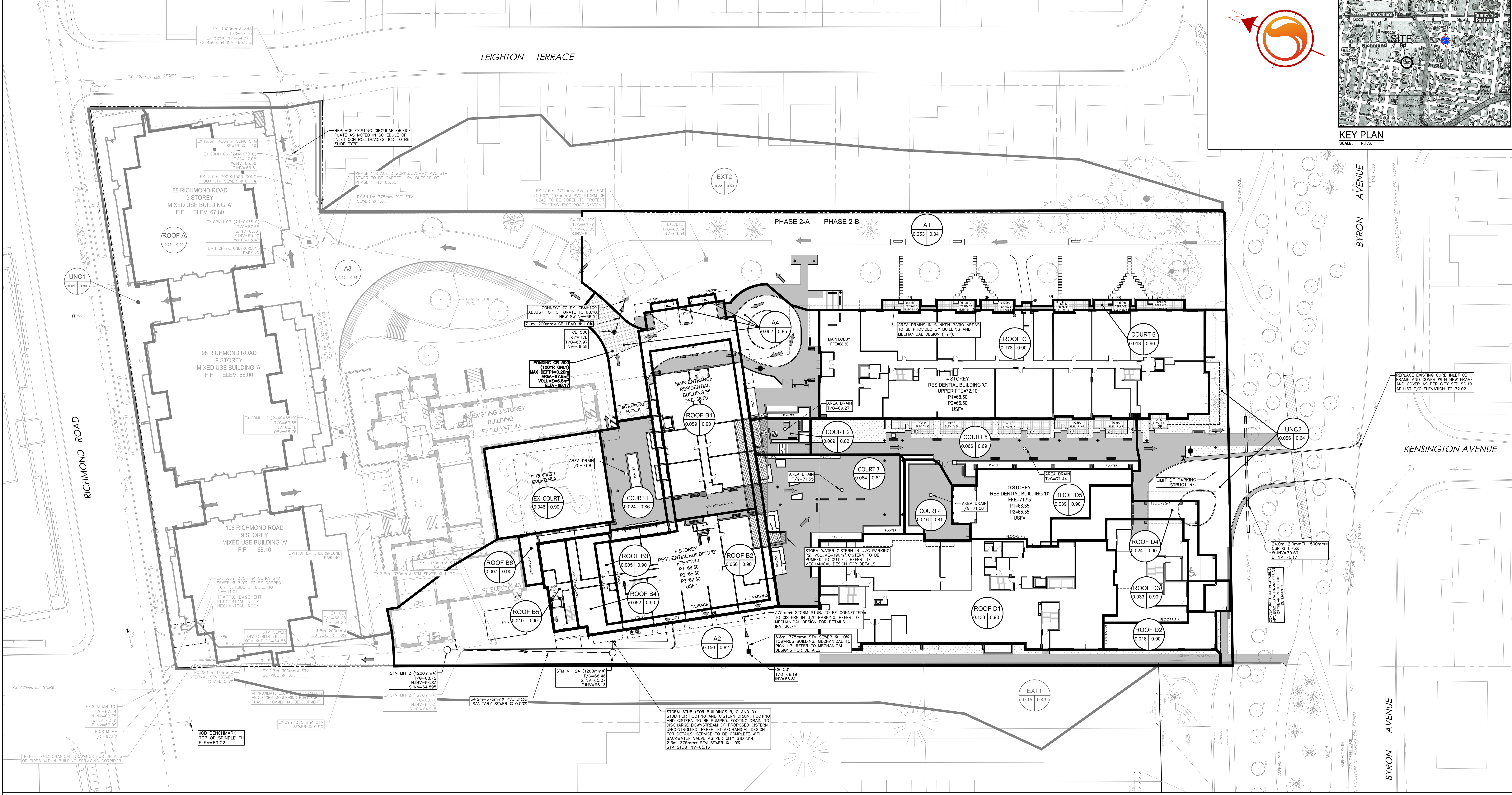


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The Contractor shall verify and be responsible for all dimensions, DO NOT rely on the drawings, on notes or omissions shall be reported to Stantec without delay. The Contractor is responsible for the accuracy of the information. Stantec disclaims any liability for any purpose other than that intended by Stantec's instructions.

Legend

- F100A AREA ID
- RINOFF COEFFICIENT
- STORM DRAINAGE AREA No.
- STORM DRAINAGE BOUNDARY
- EX. AREA ID
- EX. RINOFF COEFFICIENT
- EX. STORM DRAINAGE AREA No.
- EX. STORM DRAINAGE BOUNDARY
- MAXIMUM PONDING UNITS
- DIRECTION OF OVERLAND FLOW
- PROPOSED STORM SEWER
- PROPOSED CATCHBASIN MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED AREA DRAIN ON TOP OF PARKING DECK
- THERMAL INSULATION ON STORM SEWER WHERE COVER IS LESS THAN 1.5m. THERMAL RESISTANCE ON WATER MAIN WHERE COVER IS LESS THAN 2.4m AS PER W22.
- EXISTING STORM SEWER
- EXISTING CATCHBASIN MANHOLE
- EXISTING CATCHBASIN

- Notes**
- ALL AREA DRAINS ON TOP OF PARKING DECK (AREAS COURT1-3) TO BE CONNECTED TO INTERNAL PLUMBING AND DIRECTED TO STORAGE CISTERN.
 - ROOF DRAINS WITHIN AREA ROOFS TO BE UNCONTROLLED AT ROOF LEVEL AND DIRECTED TO STORAGE CISTERN.
 - CONTROLLED ROOF DRAINS WITHIN ROOF AREAS FOR BUILDINGS B, C, D TO BE DIRECTED TO STORAGE CISTERN.
 - CISTERN TO BE PUMPED AT THE MAXIMUM RATE SPECIFIED ON THE SCHEDULE OF INLET CONTROL DEVICES.
 - SITE BENCH MARK TOP OF SPINDLE EX. FIRE HYDRANT, SOUTH SIDE OF RICHMOND ROAD, NORTH WEST OF SUBJECT PROPERTY. TOP OF SPINDLE GEODESIC ELEVATION = 69.00m.
 - ALL STANDARDS QUOTED ON THE PLANS ARE CURRENT AS PER CITY OF OTTAWA AND PROVINCE OF ONTARIO STANDARDS AND REGULATIONS.



SCHEDULE OF ROOF RELEASE RATES

AREA ID	DEPTH (mm)	DRAIN TYPE	# OF DRAINS	100YR RELEASE RATE (L/s)	STORAGE VOLUME (m ³)
ROOF A	-	EXISTING	-	17.4	83.6
ROOF B1	148	WATTS ACCUFLOW (25% OPEN)	3	2.8	23.0
ROOF B2	150	WATTS ACCUFLOW (50% OPEN)	2	2.5	22.3
ROOF B3	-	NO ROOF CONTROLS	-	-	-
ROOF B4	-	NO ROOF CONTROLS	-	-	-
ROOF B5	-	NO ROOF CONTROLS	-	-	-
ROOF C	148	WATTS ACCUFLOW (50% OPEN)	7	8.7	68.7
ROOF D1	149	WATTS ACCUFLOW (50% OPEN)	5	6.3	52.1
ROOF D2	-	NO ROOF CONTROLS	-	-	-
ROOF D3	145	WATTS ACCUFLOW (25% OPEN)	2	1.9	12.1
ROOF D4	-	NO ROOF CONTROLS	-	-	-
ROOF D5	148	WATTS ACCUFLOW (25% OPEN)	2	17.4	83.6

ICD SCHEDULE

AREA ID	STRUCTURE ID	100Y PONDING ELEV. (m)	INVERT ELEV. (m)	MAX HEAD (m)	RELEASE RATE (L/s)	ORIFICE TYPE
A4	CS 500	62.17	66.59	1.19	19.6	IPEX TEMPEST HF (65mm)
A1, A3, EXT2	CBMH 106	66.98	65.31	1.67	46.3	130mm ORIFICE
COURT, B3-6, A2, D2, D4	CISTERN	-	65.13	-	50.0	PUMPED

Revision

Revision	By	App'd	Yr	MM	DD
3	REVISED FOR PERMITS	M.S.	DT	2025	03
2	REVISED FOR CITY COMMENTS	M.S.	DT	2024	03
1	ISSUED FOR REVIEW	M.S.	DT	19	04

Permit/Seal

Client/Project
ASHCROFT HOMES
 18 ANDRES DRIVE, OTTAWA, ON, K2E 1A9
 PH: 613-226-7266

Q-WEST PHASE 2
 OTTAWA, ON, CANADA

Title
STORM DRAINAGE AREA PLAN

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Appendix B:

Reference Images – Existing Context

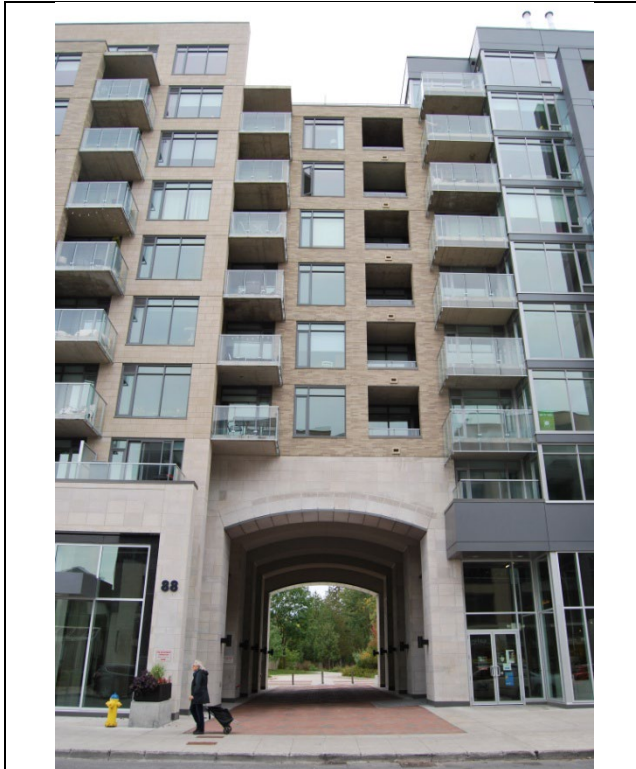


Photo 1:View towards 'Nuns Walk' from Richmond Road through east arch of Phase I of development.



Photo 2:View of Monastery through west arch of Phase I of development.

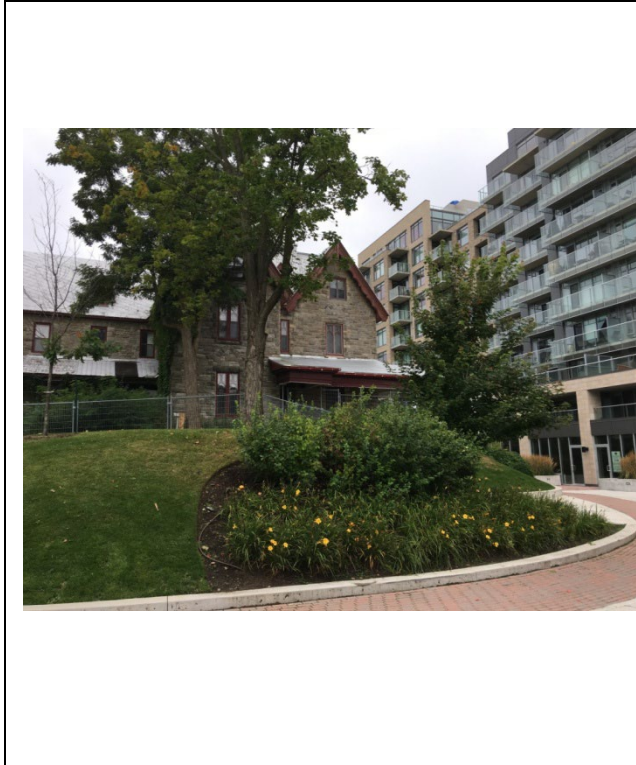


Photo 3:View towards northeast corner of the Elms House and Phase I of development, from the 'Nuns Walk.'



Photo 4:View of The Elms House and new hardscaping from the north (to be rehabilitated in proposed development).



Photo 5:View of the southern wall of Chapel with gallery (area to be rehabilitated as part of proposed development).



Photo 6:View towards Elms House from northwest, with new hardscaping (area to be rehabilitated as part of proposed development).



Photo 7:View of the Chapel from the southwest (to be rehabilitated in proposed development).



Photo 8:Junction of south wall of the Chapel and west wing (area to be rehabilitated as part of proposed development).



Photo 9: Wall jog in center of on the west wing wall (location of termination of west wing wall in proposed development).



Photo 10: Southern half of west wing (to be demolished in proposed development).



Photo 11: Southern face of east wing from south (to be rehabilitated as part of proposed development).



Photo 12: Southeast corner of Monastery viewed from 'Nuns Walk' (to be rehabilitated as part of proposed development).



Photo 13:View of new hardscape on north east side of Monastery, looking towards south.



Photo 14/15:View of new pathway along 'Nuns Walk' at east boundary of site, looking south towards Byron.



Photo 16:View of south face of Monastery from Byron (south wing & south face of west wing to be demolished, courtyard to be infilled as part of proposed development).



Photo 17:View of south face of Monastery from south half of site (south wing & south face of west wing to be demolished, courtyard to be infilled as part of proposed development).



Photo 18:Chapel interior, view towards west (area to be rehabilitated in proposed development).



Photo 19:Chapel interior, view towards northwest (area to be rehabilitated in proposed development).



Photo 20:Typical interior view of rectangular window on north wing (windows to be rehabilitated as part of proposed development).



Photo 21:Typical interior corridor of wing (interior partitions to be demolished as part of proposed development).



Photo 22:Attic space below hipped roof (to be renovated as office space in proposed development).



Photo 23:View out of typical dormer facing towards courtyard (dormers to be removed and replaced with contemporary dormers in proposed development).



Photo 24:View looking into courtyard from northeast (south wing & southern half of west wing shown here to be removed, courtyard to be infilled in proposed development).



Photo 25:Ground view of courtyard and gardens looking towards north wing (courtyard to be infilled in proposed development).



Photo 26:View looking into courtyard from south wing (courtyard to be infilled in proposed development).



Photo 27:Aerial view of courtyard and gardens (courtyard to be infilled, west & south wings to be removed, hip roof facing into courtyard to be removed as part of proposed development).

Appendix C:
**Statement of Cultural Heritage Value
& Heritage Designation Report**

STATEMENT OF CULTURAL HERITAGE VALUE

Description of Property - The Soeurs de la Visitation d'Ottawa, 114 Richmond Road.

The Soeurs de la Visitation d'Ottawa Monastery is a large stone structure, located on Richmond Road in the Westboro neighbourhood of Ottawa.

Statement of Cultural Heritage Value or Interest

The Soeurs de la Visitation d'Ottawa Monastery is comprised of two parts, a Gothic Revival house built in 1864-1865 and the large stone addition constructed in 1913 to transform the structure into a monastery. Its cultural heritage value lies in its being an excellent example of both an 1860s Gothic Revival House designed for and occupied by members of the elite and an early 20th century monastery. The complex has historical value for its association with James Skead (owner 1880 until his death in 1884, whose widow lived there until 1887), a lumberman, senator, Ottawa booster and founder of Skead's Mills and George Holland, (owner 1887-1910), a successful publisher and innovator, and with the Soeurs de la Visitation d'Ottawa. It is also a rare surviving example of a property that housed a cloistered religious community for over 100 years and functioned as a self-sustaining entity for much of that time.

The original two and a half storey stone house was built in 1864-1865. It was designed by English architect Sidney Bowles Fripp for James Dyke, a local merchant, who quickly sold it to George Eaton, a gentleman farmer. It was one of a number of properties built on larger lots laid out along Richmond Road after its macadamization that were intended for members of Ottawa's emerging elite class. The longest owner of the building prior to its purchase and conversion to a monastery in the early 20th century was George Holland, a prominent local newspaperman, and, with his brother Andrew, a communications entrepreneur.

In 1909 George and Alison Holland sold the entire property to the Soeurs de la Visitation, a cloistered order of nuns whose members devote their lives to prayer. Founded in Annecy, France in 1610, the order established monasteries across Europe in the centuries following its establishment. The order's founders, St. Francis de Sales and Ste. Jeanne Francois de Chantal, have both been beatified. The nuns moved into the house in 1910 and, by 1913, its conversion to a monastery was complete. A tall, two storey building with an attic, it consists of four wings, arranged around a central courtyard or cloister, a plan followed by the monasteries of medieval Europe, and used for Roman Catholic convents and monasteries around the world. Soon after its acquisition by the Soeurs de la Visitation, the property was encircled by high walls which shielded the monastery from the exterior world, although the Chapel was used by the community throughout its history. In the years following its establishment, the grounds evolved from food production into a contemplative space, also used by the nuns for recreation.

Description of Heritage Attributes

Key attributes that embody the cultural heritage value of the Soeurs de la Visitation d'Ottawa Monastery as an excellent example of both a large Gothic Revival house built for and inhabited by members of Ottawa's elite and a monastery housing a contemplative order of nuns include:

House

- steeply pitched roof with narrow gable-roofed dormers
- location of the east facing veranda
- bay window with wooden pointed arch details
- decorative bargeboard
- tall chimneys
- stone quoins and voussoirs
- Distinctive "pinwheel plan" and central staircase
- Stone construction

Monastery

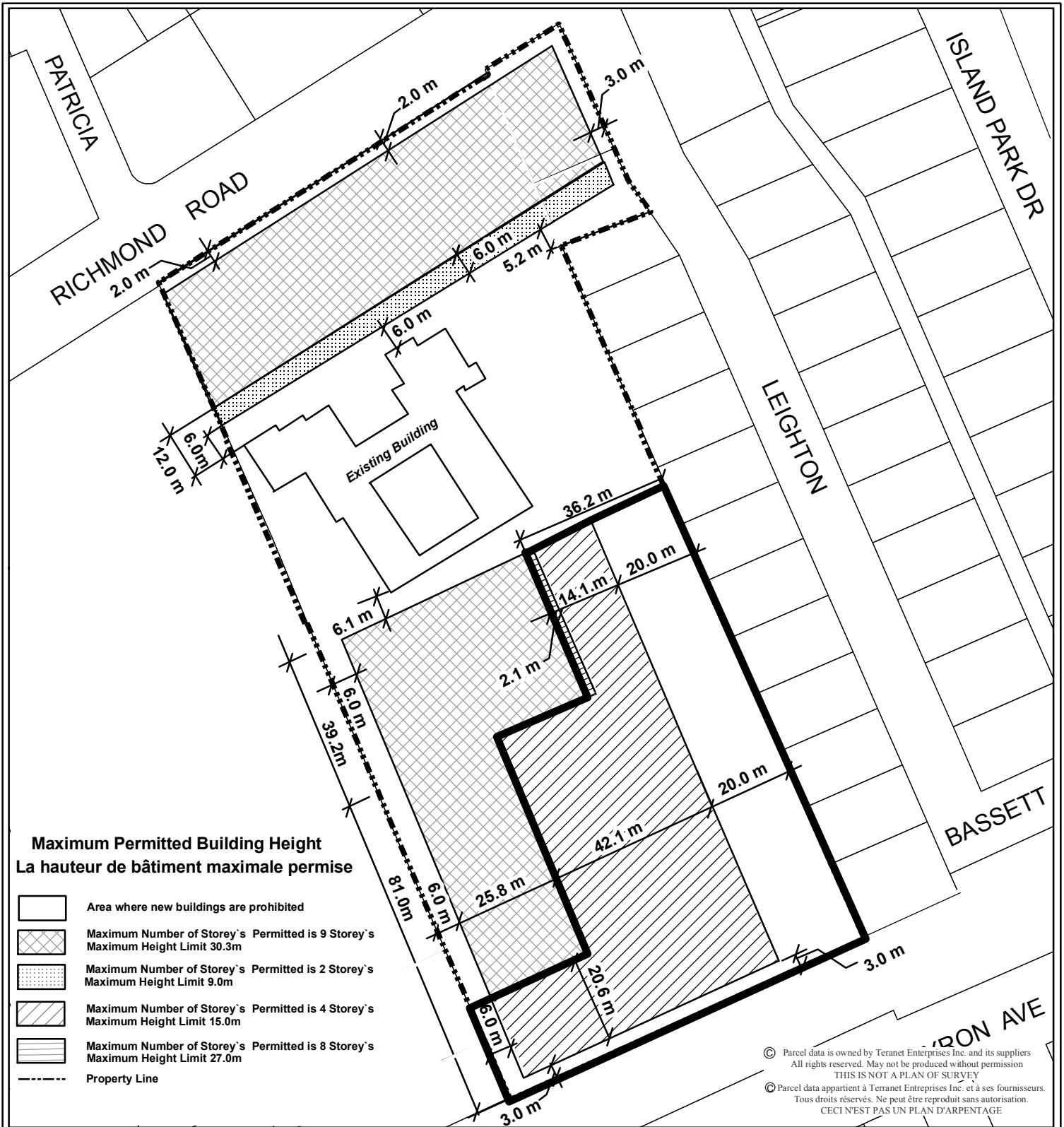
- tall, two storey stone construction with regularly spaced rectangular windows
- inward-facing plan with the wings arranged around a central courtyard or cloister, enclosed on four sides
- Pattern of the flowerbeds within central courtyard or cloister
- high hipped metal-clad roof with gable and triangular dormers
- bellcote
- first and second floor galleries overlooking the grounds
- Chapel, its interior volume and pointed arch windows

Grounds

- picturesque gardens associated with the Gothic Revival house, with the layout of pathways, flowerbeds and mature trees
- pathway around the periphery of the site to the south of the monastery used by the nuns for recreation, including the allée of trees that defines the pathway on the east side of the property
- The trees and shrubs along the walls planted to buffer the site from the outside world
- The strategic placement of the house on a slight rise

The flat roofed addition to the north of the chapel, the enclosed passageway to the west of the building, the metal barrier wall, the former garage to the east of the building and the small shed-roofed addition to the south of the building are not included in the designation.

Appendix D:
City of Ottawa Zoning Schedule 256



D02-02-10-0021

10-1208-J

M:\Zoning_Bylaw\Schedules\

Produced by Infrastructure Services
and Community Sustainability

Produit par le Services d'infrastructure
et Viabilité des collectivités

This is Schedule 256 to Zoning By-law No. 2008-250
Annexe 256 au Règlement de zonage n° 2008-250

90, 114 RICHMOND ROAD and 380 LEIGHTON TERR.

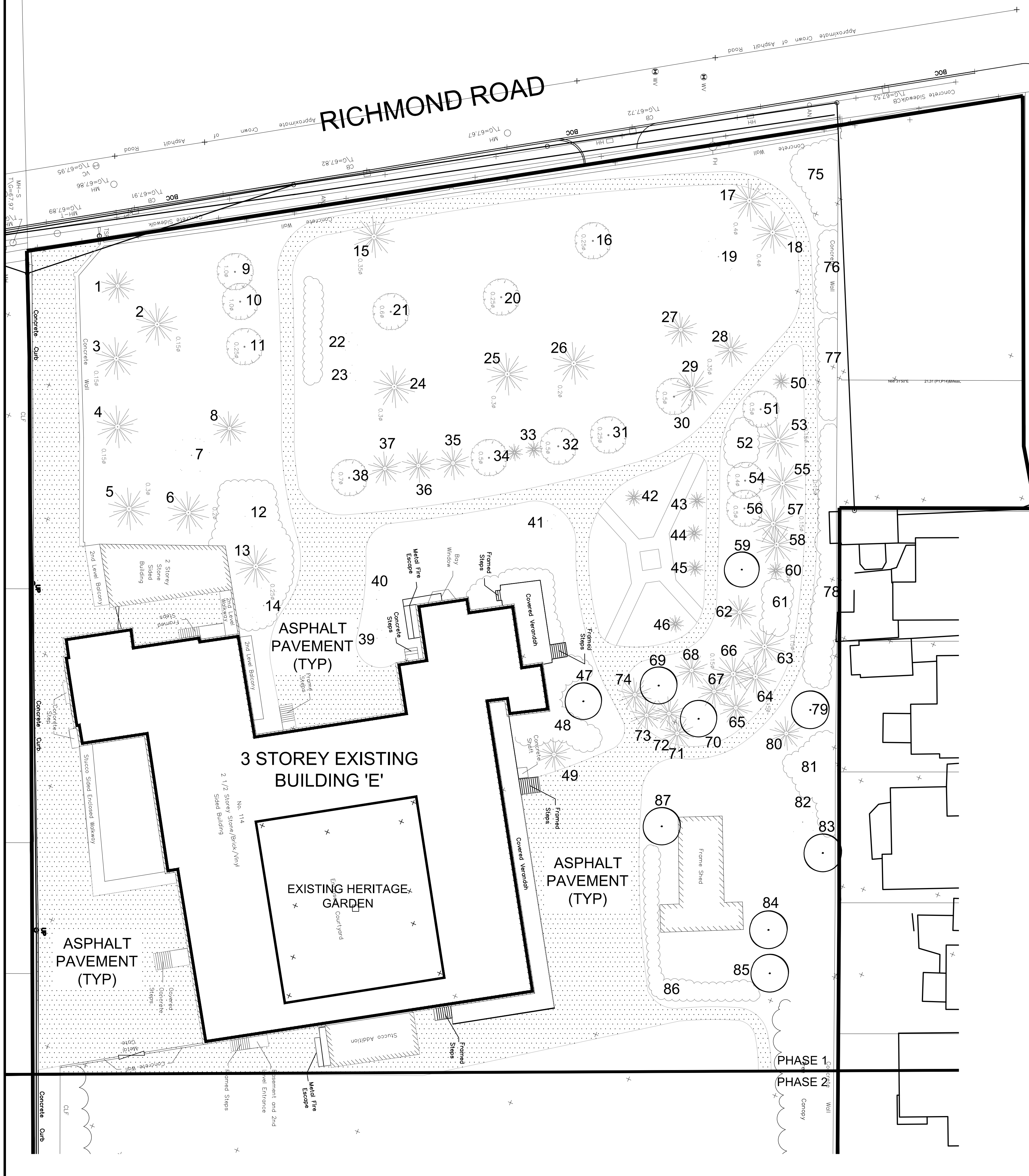
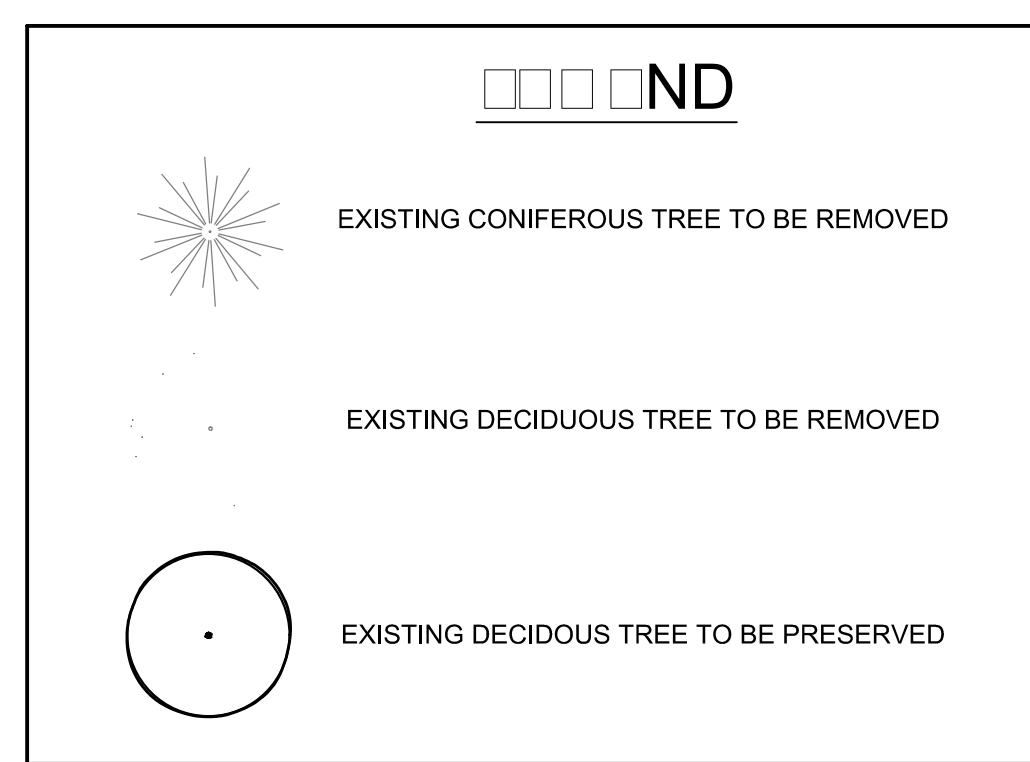
This is Attachment 2 to By-law Number 2010-367, passed November 22, 2010
 Pièce jointe n° 2 du Règlement municipal n° 2010-367, adopté le 22 novembre 2010

Échelle
N.T.S.
Mètres

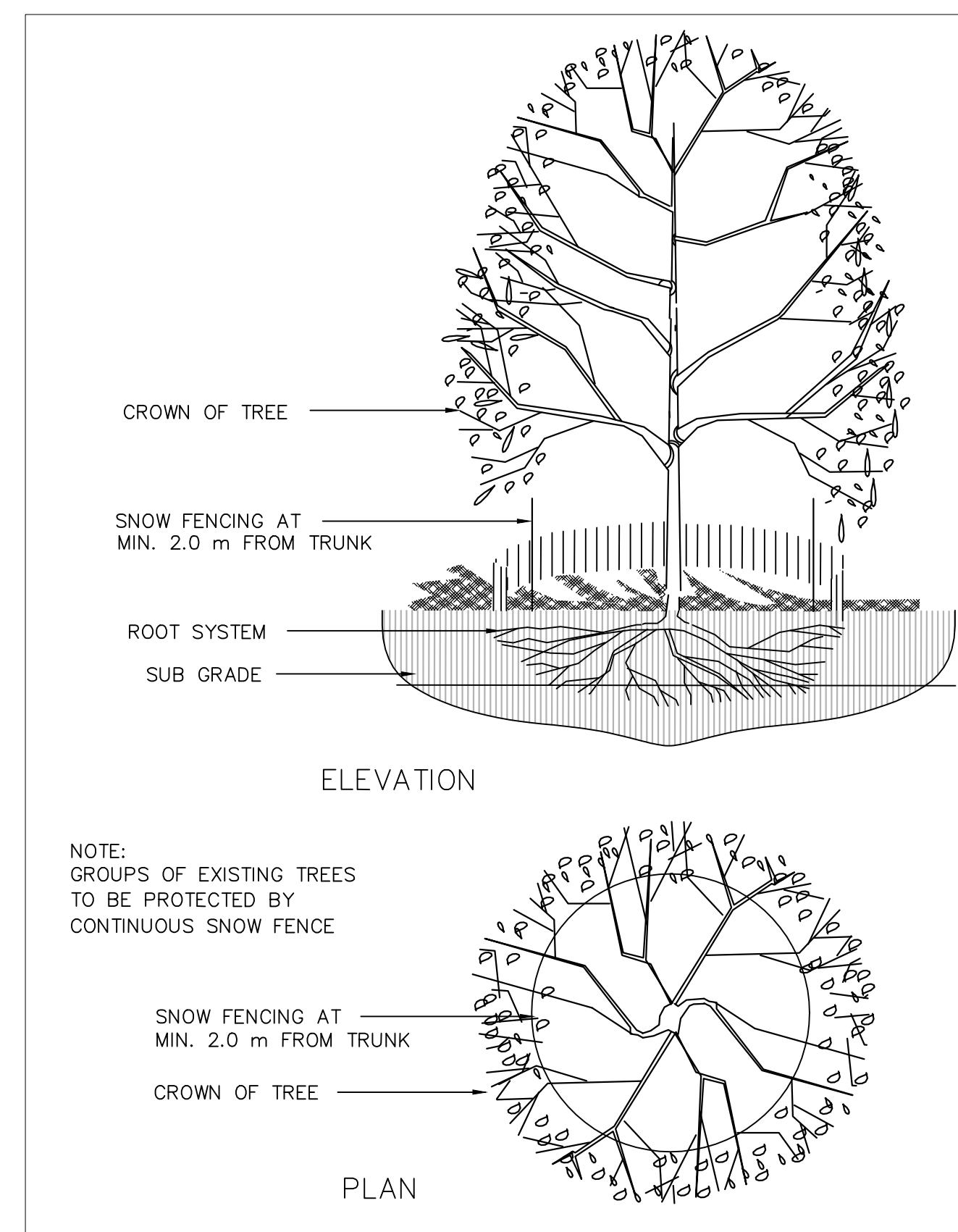


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Metres

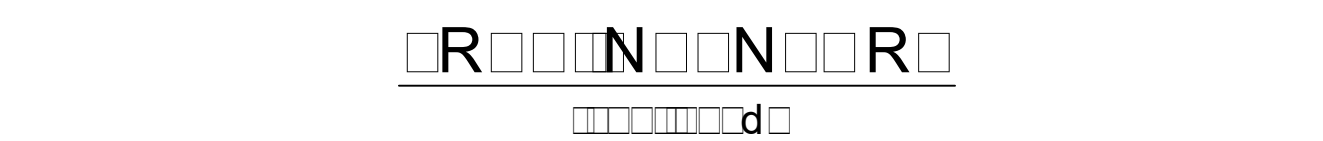
Appendix E:
Tree Conservation Plan



LEIGHTON TERRACE



1 TREE PROTECTION FENCE



#	BOTANICAL NAME	COMMON NAME	CAUPER (cm)	CONDITION	COMMENTS
66	Thuja occidentalis	Eastern Arborvitae	10	MODERATE	Healthy, but sparse and crowded.
67	Thuja occidentalis	Eastern Arborvitae	30	MODERATE	Very mature, healthy but sparse, and some minor injuries
68	Thuja occidentalis	Eastern Arborvitae	10	MODERATE	Healthy, but sparse and crowded.
69	Acer saccharum	Sugar Maple	41	VERY GOOD	
70	Fraxinus pennsylvanica	Green Ash	33	GOOD	No sign of Emerald Ash Borer, moderately good form.
71	Taxus spp.	Yew	VERY GOOD	VERY GOOD	
72	Thuja occidentalis	Eastern Arborvitae	32	MODERATE	Very mature, healthy but sparse, and some minor injuries
73	Taxus spp.	Yew	VERY GOOD	VERY GOOD	
74	Taxus spp.	Yew	VERY GOOD	VERY GOOD	
75	(4) Thuja occidentalis	Eastern Arborvitae	MODERATE - average 9	MODERATE - GOOD	Healthy, but very crowded
76	(3) Lonicera spp.	Honeysuckle	MODERATE - average 5	MODERATE - POOR	Very old and sparse
77	(5) Syringa vulgaris	Common Lilac	MODERATE - average 7	MODERATE - POOR	Very old and sparse
78	(8) Lonicera spp.	Honeysuckle	MODERATE - average 9	MODERATE - POOR	Very old and sparse. Some partenocissus invading, otherwise healthy and moderately well-formed.
79	Catalpa speciosa	Norther Catalpa	30	GOOD	
80	Thuja occidentalis	Eastern Arborvitae	MODERATE - average 18	MODERATE - POOR	Crowded and suckering
81	(4) Acer ginnala	Amur Maple	MODERATE - average 9	MODERATE - POOR	Small and poorly-formed. Covered in parthenocissus vines
82	Acer ginnala	Amur Maple	MODERATE	MODERATE	Better formed than adjacent specimens and slightly larger.
83	Acer platanoides	Norway Maple	25	VERY GOOD	Some low-growing limbs.
84	Acer negundo	Manitoba Maple	28	VERY GOOD	Unusually well-formed specimen for this species.
85	Acer negundo	Manitoba Maple	MODERATE - average 15	MODERATE - POOR	Very poor form - high likelihood of failure.
86	Ulmus pumila (hedge)	Siberian Elm Hedge (hedge)	POOR	POOR	Very mature tress, becoming sparse. Heavily pruned.
87	Acer saccharinum	Silver Maple	100	MODERATE	Very mature. Some evidence of insect infestation, with large open cavity on a main branch.



#	BOTANICAL NAME	COMMON NAME	CAUPER (cm)	CONDITION	COMMENTS
1	Pinus strobus	White Pine	13	VERY GOOD	
2	Picea pungens 'glauca'	Blue Colorado Spruce	10	VERY GOOD	
3	Pinus strobus	White Pine	18	MODERATE - GOOD	Choked with Parthenocissus vine, leader slightly deformed, otherwise very healthy.
4	Pinus strobus	White Pine	18	VERY GOOD	Leaning slightly but very healthy
5	Abies balsamea	Balsam Fir	30	MODERATE	Very close to wall and building, some evidence of insect infestation. Crowded and infected by parthenocissus vines, otherwise healthy
6	Thuja occidentalis	Eastern Arborvitae	8, 13, 15 & 28	MODERATE	Large canker or other disease on main stem, canopy seems unaffected
7	Acer platanoides	Norway Maple	43	GOOD	Young Ash and Maples growing up in branch zone
8	Pinus nigra	Austrian Pine	28	VERY GOOD	Poorly healed pruning scars, some holes from decay. Tree leans slightly.
9	Acer saccharinum	Silver Maple	76	MODERATE - POOR	Also leaning slightly, generally healthy. One branch union of slight concern.
10	Acer saccharinum	Silver Maple	84	MODERATE	
11	Acer platanoides	Norway Maple	MODERATE - 18, 15 & 14	MODERATE	Probably a volunteer. Form is poor, with one dead stem from base
12	(2) Cotinus coggygria	Smoke Tree	MODERATE - MULTI-STEM	MODERATE	Growing very close together.
13	Picea glauca	White Spruce	25	VERY GOOD	
14	Rhus typhina	Staghorn Sumac	MODERATE - MULTI-STEM	VERY GOOD	Unusually well-formed specimen for this species.
15	Abies balsamea	Balsam Fir	MODERATE - MULTI-STEM - 23 & 25	MODERATE - POOR	Double leader, each leader topped.
16	Malus spp.	Crabapple	25	MODERATE - GOOD	Some dead wood, leaf spot throughout
17	Picea glauca	White Spruce	38	GOOD	Tree splits to a triple leader midway up high, minor growth on one leader, but otherwise healthy.
18	Picea glauca	White Spruce	36	VERY GOOD	Excellent form and health. Slight
19	Cotinus coggygria	Smoke Tree	MODERATE - MULTI-STEM	MODERATE	One dominant stem exists, many other suckers have sprouted up to create a large bush form.
20	Prunus spp.	Cherry (fruiting variety)	MODERATE - MULTI-STEM - 15, 23, 25, 15 & 23	MODERATE - POOR	Several holes and wounds in trunk and stems, and rot in trunk. Severely pruned. Some dead wood. Leaf spot throughout, evidence of insect
21	Malus spp.	Crabapple	MODERATE - MULTI-STEM	MODERATE - POOR	Infestation
22	Syringa vulgaris	Common Lilac	MODERATE - MULTI-STEM	MODERATE - POOR	Very mature, heavily pruned, infected with powdery mildew. Structure is poor, infected with powdery mildew.
23	Amelanchier spp.	Serviceberry	MODERATE - MULTI-STEM	MODERATE	Some small Norway Maple saplings growing up within branching zone of tree.
24	Picea pungens	Colorado Spruce	28	VERY GOOD	
25	Abies concolor	White Fir	25	VERY GOOD	
26	Picea glauca	White Spruce	20	MODERATE - GOOD	Poorly healed injury or burf midway up trunk.
27	Picea glauca	White Spruce	6	VERY GOOD	
28	Picea glauca	White Spruce	6	VERY GOOD	
29	Picea glauca	White Spruce	30	VERY GOOD	
30	Acer saccharinum	Silver Maple	38	VERY GOOD	
31	Acer saccharum	Sugar Maple	22	GOOD	
33	(2) Thuja occidentalis	Eastern Arborvitae	8	POOR	Each tree is topped.
34	Acer platanoides	Norway Maple	43	GOOD	One large branch poorly connected - too large and attached at an oblique angle to trunk.
35	Thuja occidentalis	Eastern Arborvitae	MODERATE - average 10	MODERATE - POOR	Topped, but somewhat healthy.
36	Thuja occidentalis	Eastern Arborvitae	17	MODERATE	Healthy, but very crowded
37	Thuja occidentalis	Eastern Arborvitae	MODERATE - MULTI-STEM	MODERATE - POOR	Topped, but somewhat healthy.
38	Acer saccharum	Sugar Maple	38	VERY GOOD	
38	Acer saccharum	Sugar Maple	51	MODERATE	One side of trunk showing signs of severe decay, with dead branches aligned in this section. Tree is otherwise healthy.
39	Malus spp.	Crabapple	MODERATE - MULTI-STEM	MODERATE	Some leaf spot, small, red-leaved ornamental variety
40	Malus spp.	Crabapple	MODERATE - MULTI-STEM	MODERATE	Some leaf spot, small, red-leaved ornamental variety
41	Cotinus coggygria	Smoke Tree	MODERATE - MULTI-STEM	MODERATE	Healthy, form is moderate.
42	Thuja spp.	Ornamental cedar	MODERATE - MULTI-STEM	MODERATE	Pruned to large shrub form
43	Thuja spp.	Ornamental cedar	MODERATE - MULTI-STEM	MODERATE	Pruned to large shrub form
44	Thuja spp.	Ornamental cedar	MODERATE - MULTI-STEM	MODERATE	Pruned to large shrub form
45	Taxus spp.	Yew	MODERATE - MULTI-STEM	MODERATE - GOOD	Pruned to large shrub form
46	Thuja spp.	Ornamental cedar	MODERATE - MULTI-STEM	MODERATE	Pruned to large shrub form
47	Robinia pseudoacacia	Black Locust	41	MODERATE - GOOD	Leaning slightly towards building. Old injury was patched with concrete or similar material - tree has mostly healed it over.
48	(group) Rhamnus cathartica	Buckthorn	MODERATE - MULTI-STEM	MODERATE - GOOD	Very healthy, invasive species.
49	Thuja spp.	Ornamental cedar	MODERATE - MULTI-STEM	MODERATE - GOOD	Pruned to large shrub form
50	Picea pungens	Colorado Spruce	90 cm TALL	MODERATE	Newly planted
51	Acer platanoides	Norway Maple	36	VERY GOOD	
52	Syringa vulgaris	Common Lilac	MODERATE - MULTI-STEM	MODERATE - GOOD	Large group of young Ulmas - whip-like.
53	Thuja occidentalis	Eastern Arborvitae	MODERATE - average 13	MODERATE	Bare on one side.
54	Acer platanoides	Norway Maple	28	GOOD	One branch infected by a fungus, otherwise very healthy.
55	Thuja occidentalis	Eastern Arborvitae	MODERATE - MULTI-STEM - 14 & 20	MODERATE - GOOD	Slightly crowded, but healthy.
56	Acer platanoides	Norway Maple	33	MODERATE - GOOD	Healthy, form is moderate.
57	Thuja occidentalis	Eastern Arborvitae	18	GOOD	Healthy, but crowded
58	Thuja occidentalis	Eastern Arborvitae	MODERATE - MULTI-STEM - (9) - average 7	MODERATE - GOOD	Healthy, but crowded
59	Acer platanoides	Norway Maple	36	VERY GOOD	
60	Picea glauca	White Spruce	110 cm TALL	MODERATE - GOOD	Newly planted
61	(3) Thuja occidentalis	Eastern Arborvitae	MODERATE - MULTI-STEM - average 4	MODERATE - GOOD	Healthy, but very crowded
62	Pinus strobus	White Pine	180 cm TALL	MODERATE - GOOD	Healthy, but suckering
63	Thuja occidentalis	Eastern Arborvitae	MODERATE - MULTI-STEM - 10, 20 & 30	MODERATE - GOOD	One stem is healthy and well-formed, other stems are sucker-like
64	Thuja occidentalis	Eastern Arborvitae	10	MODERATE	Healthy, but sparse and crowded.
65	Thuja occidentalis	Eastern Arborvitae	MODERATE - MULTI-STEM - 13 & 15	MODERATE	Healthy, but sparse and crowded.

Professional Engineer (P.Eng.)

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CORUSH SUNDERLAND WRIGHT

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