



PROJECT NAME: IBPS TEMPLE

OWNER: INTERNATIONAL BUDDHIST PROGRESS SOCIETY OF OTTAWA-CARLETON
6688 FRANKTOWN ROAD,
RICHMOND, ON K0A 2Z0
T: 613 759 8111 F: 613 759 8110

ARCHITECT: GRC ARCHITECTS
401-47 CLARENCE STREET,
OTTAWA, ON K1N 9K1
T: 613 241 8203 F: 613 241 4180

LANDSCAPE ARCHITECT: JAMES B. LENNOX & ASSOCIATES INC.
3332 CARLING AVENUE,
OTTAWA, ON K2H 5A8
T: 613 722-5168

STRUCTURAL: CUNLIFFE & ASSOCIATES INC.
102 - 1737 WOODWARD DRIVE,
OTTAWA, ON K2C 0P9
T: 613 729-7242 F: 613 728-1461

CIVIL: EXP
2650 QUEENSVIEW DR SUITE 100,
OTTAWA, ON K2B 8H6
T: (613) 688-1899

ELECTRICAL & MECHANICAL: SMITH + ANDERSEN
1600 CARLING AVE #530
OTTAWA, ON K1Z 1G3
T: (613) 230-1186

SURVEYOR (CONTRACTED BY OWNER): EGIS
3240 DRUMMOND CON. 5A, R.R. #7
PERTH, ON K7H 3C9
T: 613-267-6524 F: 613-267-7992

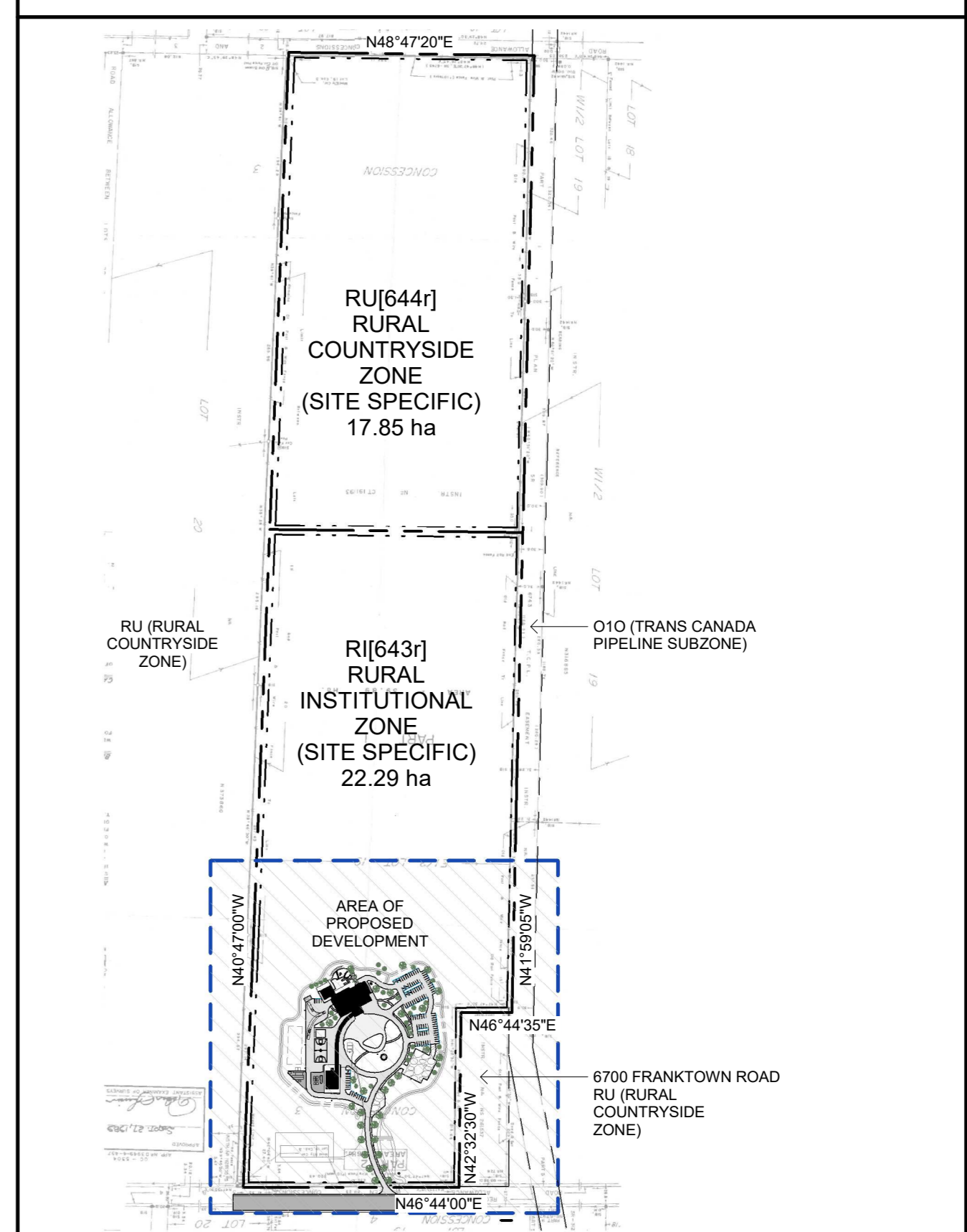
ADDRESS: 6688 FRANKTOWN RD, RICHMOND, ON K0A 2Z0

ZONING PROVISION	REQUIRED	PROVIDED
LEGAL DESCRIPTION PART OF L01 16 CONCESSION 3 R043R RURAL INSTITUTIONAL ZONE		
LEGAL PROVISIONS		
(a) Minimum lot width	30m min lot width	> 30m min lot width
(b) Minimum lot area	2000m ² min lot area	> 2000m ² min lot area
(c) Minimum front yard setback	6m front yard setback	> 6m setback
(d) Minimum rear yard setback	7.5m rear yard setback	> 7.5m setback
(e) Minimum interior side yard setback	6m interior side yard setback	> 7.5m setback
(f) Minimum corner side yard setback	6m interior corner side yard setback	> 6m setback
(g) Maximum principal building height	10m maximum building height	10m maximum building height
COVERAGE		
(h) Maximum lot coverage (%)	50%	50%
LANDSCAPE		
(i) Minimum landscaped area (%)	20%	20%
GROSS FLOOR AREA		
Existing Building	22403m ² (net) (per R043R)	22403m ² (net) (per R043R)
New Building	Existing Building Footprint: 348m ² New Building Footprint: 1398m ² 1746m ² = 0.8% (per R043R)	348m ² 956m ²
PARKING PROVISIONS		
PARKING RATES	N66 Assembly Area: = 10 per 100 m ² of Gross floor area of assembly area = 73 parking spaces required N62 Rooming Units: 6 rooming units = 0.5 per rooming unit = 3 parking spaces required A05 Table 3: = 3 accessible spaces required	98 Standard Spaces (Assembly) 3 Standard Spaces (Rooming) 7 Type A Accessible Spaces = 108 Total Spaces
BICYCLE PARKING RATES	111A (a) 0.25 per rooming unit = 2 required	2 spaces 0.6m x 1.8m

- GENERAL NOTES**
- ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT GRADE, FLOOR ELEVATIONS AND PROPERTY LINE DIMENSIONS (SHOWN IN METERS).
 - ALL LEGAL SURVEY INFORMATION OBTAINED FROM SURVEY PLANS PREPARED BY MCINTOSH PERRY SURVEYING INC. DATED AUGUST 29, 2023.
 - REFER TO LANDSCAPE DRAWINGS FOR SOFTHARD LANDSCAPING AND PAVEMENT MATERIAL PATTERN SCHEDULE.
 - REFER TO CIVIL DRAWING FOR SITE SERVICES, SITE GRADING, SURFACE DRAINAGE, ROAD WORK, PAVEMENT, SIDEWALK AND CONCRETE CURBS.
 - REFER TO ELECTRICAL DRAWING FOR LIGHT FIXTURES & ELECTRICAL SCOPE OF WORK.
 - ELEVATIONS SHOWN ARE REFERRED TO GEODETIC DATUM AS APPLICABLE.
 - ALL PARKING SPACES TO HAVE 100mm WIDE PAINTED LINES ON ASPHALT, INCLUDING ACCESSIBLE PARKING SPACE PICTOGRAM.
- FULL COURT BASKETBALL**
- ALL GAME LINES FOR FULL COURT BASKETBALL TO BE PAINTED WHITE, UNLESS NOTED OTHERWISE
 - LANE SPACE MARKS & NEUTRAL ZONE MARKS TO BE PAINTED A CONTRASTING COLOR TO THE BOUNDING LINES
 - ALL GAME LINES FOR BASKETBALL TO BE 50mm WIDE, UNLESS NOTED OTHERWISE.

SITE PLAN LEGEND

--- PROPERTY LINE	CH FIRE HYDRANT, SEE CIVIL
- - - BUILDING SETBACK	G 4 CUBIC YARD GARBAGE CONTAINER
- - - NEW CHAIN LINK FENCE	R RECYCLE AREA
▲ MAIN ENTRANCE	+ B NEW GALVANIZED STEEL BOLLARDS, PAINTED.
▲ SECONDARY ENTRANCE	○-LP NEW LIGHT POST C/W CONCRETE BASE, REFER TO ELECTRICAL
♿ BARRIER FREE PARKING STALL	ES EXTERIOR SIGNAGE, REFER TO ELECTRICAL
➡ VEHICULAR DIRECTION	ES EXISTING CONCRETE, SEE CIVIL
CONCRETE PAVERS, REFER TO LANDSCAPE DRAWINGS	CONCRETE, SEE CIVIL
EXISTING ASPHALT, SEE CIVIL	EXISTING TREE CANOPY OUTLINE AS PER MCINTOSH PERRY SURVEY DATED AUGUST 29, 2023
ASPHALT, SEE CIVIL	PROPOSED TREE, SEE LANDSCAPE
GRAVEL, SEE CIVIL	



LOCATION PLAN

3 SITE PLAN AREA OF DEVELOPMENT
A002 1:400

grc architects
A PROVENCHER ROY COMPANY

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Ottawa, Ontario K1N 9K1
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www.grcarchitects.com

consultant

northpoint

professional stamp

project title
IBPS TEMPLE

address
Ottawa, ON

drawing title
SITE PLAN

date DECEMBER 18, 2024	job no. 0623
scale As indicated	drawing no. A002
drawn CM	approved AL
plot date 12/18/24	

1. DO NOT SCALE FROM THIS DRAWING.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS: STRUCTURAL, MECHANICAL, ELECTRICAL.