

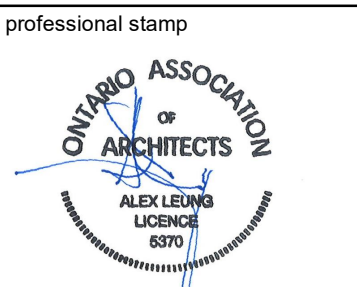
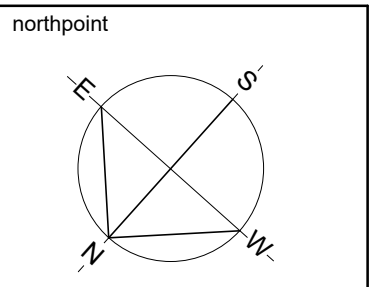
PART LOT 19 CONCESSION 3 GOULBOURN PART 1 4R7040
EXCEPT PART 1 4R32299 CITY OF OTTAWA
FRONT LOT LINE LENGTH: 259.53M PIN: 039331060

3	21/08/2025	RE-ISSUED FOR SPC	AL
2	17/07/2025	RE-ISSUED FOR SPC	AL
1	18/12/2024	ISSUED FOR SITE PLAN CONTROL	AL
no.	date	revision/issue	by

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consultant



project title

IBPS TEMPLE

File Number **D07-12-18-0115**
Plan Number **#19269**

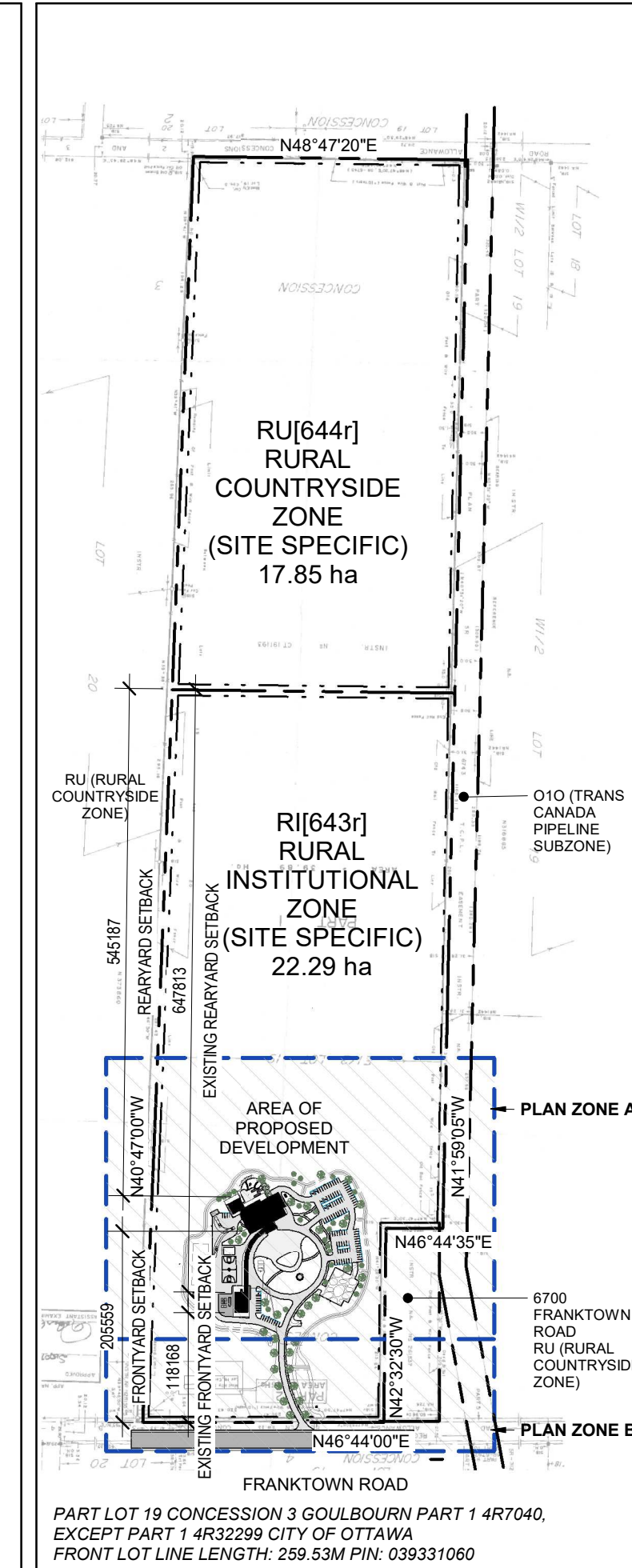
RICHMOND, ON.

drawing title

SITE PLAN - AREA A

date	August 9, 2025	job. no. 0623
scale	As indicated	
drawn	CM	drawing no. A00
approved	CJ / AL	
plot date/time	2025-08-21 1:40:11 PM	

1. DO NOT SCALE FROM THIS DRAWING
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS: STRUCTURAL, MECHANICAL, ELECTRICAL



3	21/08/2025	RE-ISSUED FOR SPC	AL
2	17/07/2025	RE-ISSUED FOR SPC	AL
1	18/12/2024	ISSUED FOR SITE PLAN CONTROL	AL
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consultant	
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northpoint



professional stamp



project title
IBPS TEMPLE
File Number D07-12-18-0115
Plan Number #19269
<div>RICHTON, ON.</div>

drawing title

SITE PLAN - AREA B

date	August 9, 2025	job. no. 0623
scale	As indicated	
drawn	CM	drawing no. A01
approved	CJ / AL	
plot date/time	2025-08-21 14:01:13 PM	

1. DO NOT SCALE FROM THIS DRAWING
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS: STRUCTURAL, MECHANICAL, ELECTRICAL

3 SITE PLAN AREA OF DEVELOPMENT - PLAN AREA B
A01 1:400

PROJECT NAME:	IBPS TEMPLE	ZONING PROVISION	REQUIRED	PROVIDED
OWNER:	INTERNATIONAL BUDDHIST PROGRESS SOCIETY OF OTTAWA-CARLETON 6688 FRANKTOWN ROAD, RICHMOND, ON K0A 2Z0 T: 613 759 8111 F: 613 759 8110	LEGAL DESCRIPTION <u>ZONE PROVISIONS</u> <small>(TABLE 22-18 ZONE PROVISIONS)</small> (a) Minimum lot width (b) Minimum lot area (c) Minimum front yard setback (d) Minimum rear yard setback (e) Minimum interior side yard setback (f) Minimum corner side yard setback (g) Maximum principal building height <u>COVERAGE</u> <small>(TABLE 22-19 ZONE PROVISIONS)</small> (h) Maximum lot coverage (%)	PART OF LOT 19 CONCESSION 3 R[643R] RURAL INSTITUTIONAL ZONE 30m min lot width 2000m ² min lot area 6m front yard setback 1) 7.5m rear yard setback 6m interior side yard setback 6m interior corner side yard setback 10m maximum building height 50%	> 30m min lot width > 2000m ² min lot area > 6m setback > 7.5m setback > 7.5m setback > 6m setback 10m maximum building height Site Area: 224031m ² (plot R[643R]) Building Area: Existing Building footprint: 348m ² New Building footprint: 1398m ² 1746m ² = 0.8% (1746/224031) Asphalt Area: 97077m ² = 4% (97077/224031) Landsaped Area: 212857m ² = 95% (212857/224031)
LANDSCAPE ARCHITECT:	JAMES B. LENNOX & ASSOCIATES INC. 3332 CARLING AVENUE, OTTAWA, ON K2H 5A8 T: 613 722-5168	<u>LANDSCAPE</u> <small>(TABLE 22-18 ZONE PROVISIONS)</small> (i) Minimum landscaped area (%) <u>GROSS FLOOR AREA</u> <small>CALCULATION FOR DOWNSIDE AND UPPERSIDE TERRAINFORMS (SEC. 1471)</small> Existing Building New Building <u>PARKING PROVISIONS</u> <small>AREA "F" SCHEDULE 1A - NOT APPLICABLE TO ASSEMBLY AREA ONLY; HOWEVER, ROOMING UNITS ACCESSIBLE PARKING IS PER CITY OF OTTAWA ACS TABLE A</small> PARKING RATES	20%	348m ² 955m ² 98 Standard Spaces (Assembly) 3 Standards Spaces (Rooming) 7 Type A Accessible Spaces = 108 Total Spaces
STRUCTURAL:	CUNLIFFE & ASSOCIATES INC. 102 - 1737 WOODWARD DRIVE, OTTAWA, ON K2C 0P9 T: 613 729-7242 F: 613 728-1461	BICYCLE PARKING RATES <small>CALCULATOR FOR ZONING BY-LAW 2006-20-231 DEFINITIONS (SEC. 1119)</small>	N66 Assembly Area: = 10 per 100 m ² of Gross floor area of assembly area. = 73 parking spaces required <small>(Shrine hall 342m² + Dining room 152m² + existing building working area 150m²)</small> R22 Rooming Units: 6 rooming units = 0.5 per rooming unit = 3 parking spaces required A05 Table 3: = 5 accessible spaces required 111A (a) 0.25 per rooming unit = 2 required	
CIVIL:	EXP 2650 QUEENSVIEW DR SUITE 100, OTTAWA, ON K2B 8H6 T: (613) 688-1899			
ELECTRICAL & MECHANICAL:	SMITH + ANDERSEN 1600 CARLING AVE #530 OTTAWA, ON K1Z 1G3 T: (613) 230-1186			2 spaces 0.6m x 1.8m
SURVEYOR: (CONTRACTED BY OWNER)	EGIS 3240 DRUMMOND CONE 5A, R.R. #7 PERTH, ON K7H 3C9 T: 613-267-6524 F 613-267-7992			
ADDRESS	6688 FRANKTOWN RD, RICHMOND, ON K0A 2Z0			

GENERAL NOTES











1. ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT GRADE, FLOOR ELEVATIONS AND PROPERTY LINE DIMENSIONS (SHOWN IN METERS).
2. ALL LEGAL SURVEY DATA OBTAINED FROM SURVEY PLANS PREPARED BY MCINTOSH PERRY SURVEYING INC. DATED AUGUST 29, 2023.
3. REFER TO LANDSCAPE DRAWINGS FOR SOFT-HARD LANDSCAPING, AND PAVEMENT MATERIAL PATTERN AND JOINT LOCATION.
4. REFER TO CIVIL DRAWING FOR SITE SERVICES, SITE GRADING, SURFACE DRAINAGE, ROAD WORK, PAVEMENT, SIDEWALK AND CONCRETE CURBS.
5. REFER TO ELECTRICAL DRAWING FOR LIGHT FIXTURES & ELECTRICAL SCOPES OF WORK.
6. ELEVATIONS SHOWN ARE REFERRED TO GEODETIC DATUM.
7. ALL SURVEY DATA HAS BEEN 100mm WIDE PAINTED LINES ON ASPHALT, INCLUDING ACCESSIBLE PARKING SPACE PICTOGRAM.

FULL COURT BASKETBALL

- ALL GAME LINES FOR FULL COURT BASKETBALL TO BE PAINTED WHITE, UNLESS NOTED OTHERWISE
- LANE SPACE MARKS & NEUTRAL ZONE MARKS TO BE PAINTED A CONTRASTING COLOR TO THE BOUNDING LINES
- ALL GAME LINES FOR BASKETBALL TO BE 50mm WIDE, UNLESS NOTED OTHERWISE.

SITE PLAN LEGEND

- | | | | |
|--|--|--|---|
| | PROPERTY LINE | | FIRE HYDRANT, SEE CIVIL |
| | BUILDING SETBACK | | 4 CUBIC YARD GARBAGE CONTAINER |
| | NEW CHAIN LINK FENCE | | RECYCLE AREA |
| | MAIN ENTRANCE | | NEW GALVANIZED STEEL BOLLARDS, PAINTED. |
| | SECONDARY ENTRANCE | | NEW LIGHT POST C/W CONCRETE BASE REFER TO ELECTRICAL |
| | BARRIER FREE PARKING STALL | | EXTERIOR SIGNAGE. REFER TO ELECTRICAL |
| | BARRIER FREE PARKING SIGNAGE | | EXISTING CONCRETE, SEE CIVIL |
| | VEHICULAR DIRECTION | | CONCRETE, SEE CIVIL |
| | CONCRETE PAVERS, REFER TO LANDSCAPE DRAWINGS | | EXISTING TREE CANOPY OUTLINE AS PER MCINTOSH PERRY SURVEY DATED AUGUST 29, 2023 |
| | EXISTING ASPHALT, SEE CIVIL | | PROPOSED TREE, SEE LANDSCAPE |
| | ASPHALT, SEE CIVIL | | |
| | GRAVEL, SEE CIVIL | | |
| | FIRE ROUTE, SEE CIVIL | | |

	FIRE HYDRANT. SEE CIVIL
	4 CUBIC YARD GARBAGE CONTAINER
	RECYCLE AREA
	NEW GALVANIZED STEEL BOLLARDS PAINTED.
	NEW LIGHT POST C/W CONCRETE BASE. REFER TO ELECTRICAL.
	EXTERIOR SIGNAGE. REFER TO ELECTRICAL
	EXISTING CONCRETE, SEE CIVIL
	CONCRETE, SEE CIVIL
	EXISTING TREE CANOPY OUTLINE AFTER MCINTOSH PERRY SURVEY DATA AUGUST 29, 2023
	PROPOSED TREE, SEE LANDSCAPE