

SWALE (SEE CIVIL & LANDSCAPE DRAWING)

CHAIN LINK FENCE

BICYCLE RACK FOR 2 BICYCLES
7800 X 4000 WOOD ENCLOSURE
ON 8600 X 4800 CONCRETE PAD

CHAIN LINK FENCE

NEW PAVED SERVICE LANE

EXISTING GREENHOUSES
TO REMAIN

EXISTING SHED TO REMAIN

EXISTING SEACANS TO BE
RELOCATED BY OWNER AS SHOWN

EXISTING SHEDS TO BE
RELOCATED BY OWNER AS SHOWN

EXISTING SHED TO REMAIN

EXISTING TRAILER TO REMAIN

EXISTING CONCRETE PAVED
AREA TO REMAIN

CUT EXISTING CONCRETE PAD
TO SUIT NEW ASPHALT LANE

EXISTING AC TO REMAIN

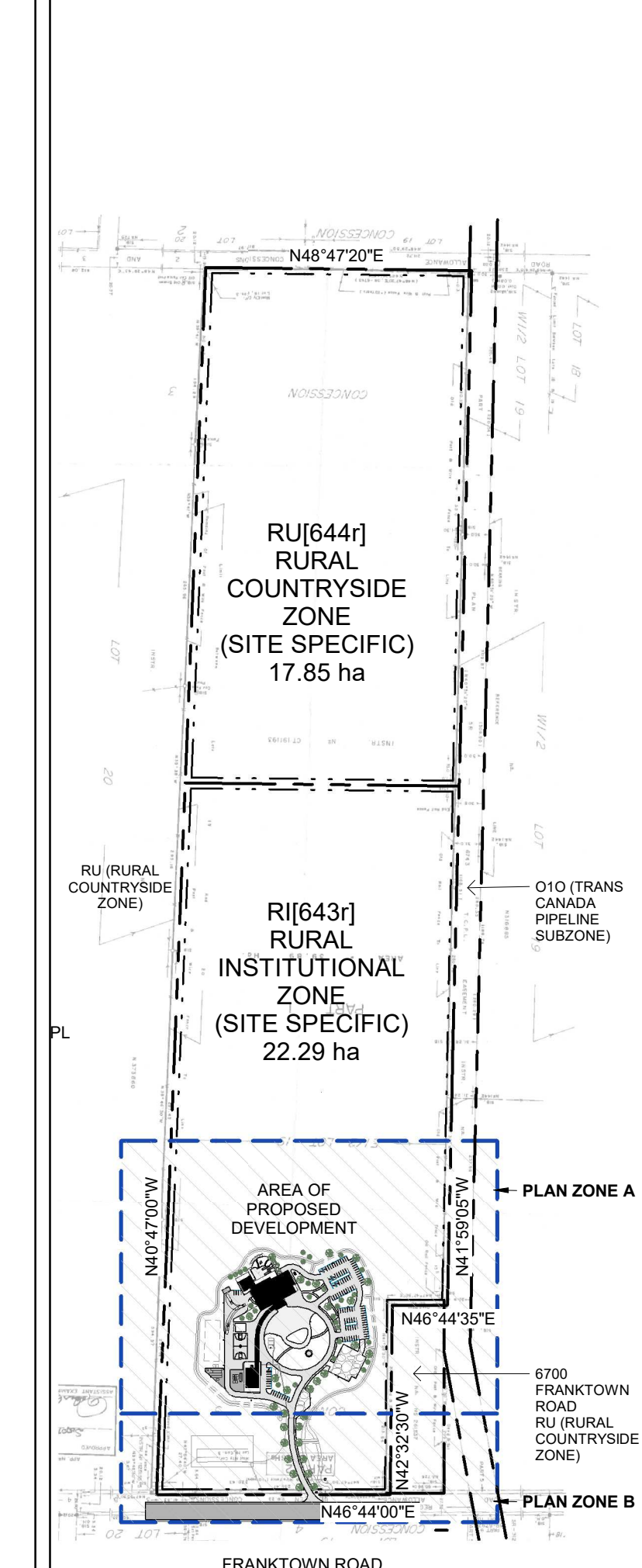
EXISTING OIL TANK TO REMAIN

EXISTING SEPTIC TANKS TO REMAIN

3 SITE PLAN AREA OF DEVELOPMENT - PLAN AREA A
A002 1 : 400

SITE PLAN LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- NEW CHAIN LINK FENCE
- MAIN ENTRANCE
- SECONDARY ENTRANCE
- BARRIER FREE PARKING STALL
- VEHICULAR DIRECTION
- CONCRETE PAVERS, REFER TO LANDSCAPE DRAWINGS
- EXISTING ASPHALT, SEE CIVIL
- ASPHALT, SEE CIVIL
- GRAVEL, SEE CIVIL
- FIRE ROUTE, SEE CIVIL
- FIRE HYDRANT, SEE CIVIL
- 4 CUBIC YARD GARBAGE CONTAINER
- RECYCLE AREA
- NEW GALVANIZED STEEL BOLLARDS, PAINTED
- NEW LIGHT POST C/W CONCRETE BASE, REFER TO ELECTRICAL
- EXTERIOR SIGNAGE, REFER TO ELECTRICAL
- EXISTING CONCRETE, SEE CIVIL
- CONCRETE, SEE CIVIL
- EXISTING TREE CANOPY OUTLINE AS PER MCINTOSH PERRY SURVEY DATED AUGUST 29, 2023
- PROPOSED TREE, SEE LANDSCAPE



2	06/06/2025	ISSUED FOR SITE PLAN CONTROL	AL
1	18/12/2024	ISSUED FOR SITE PLAN CONTROL	AL
no.	date	revision/issue	by

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project title

IBPS TEMPLE

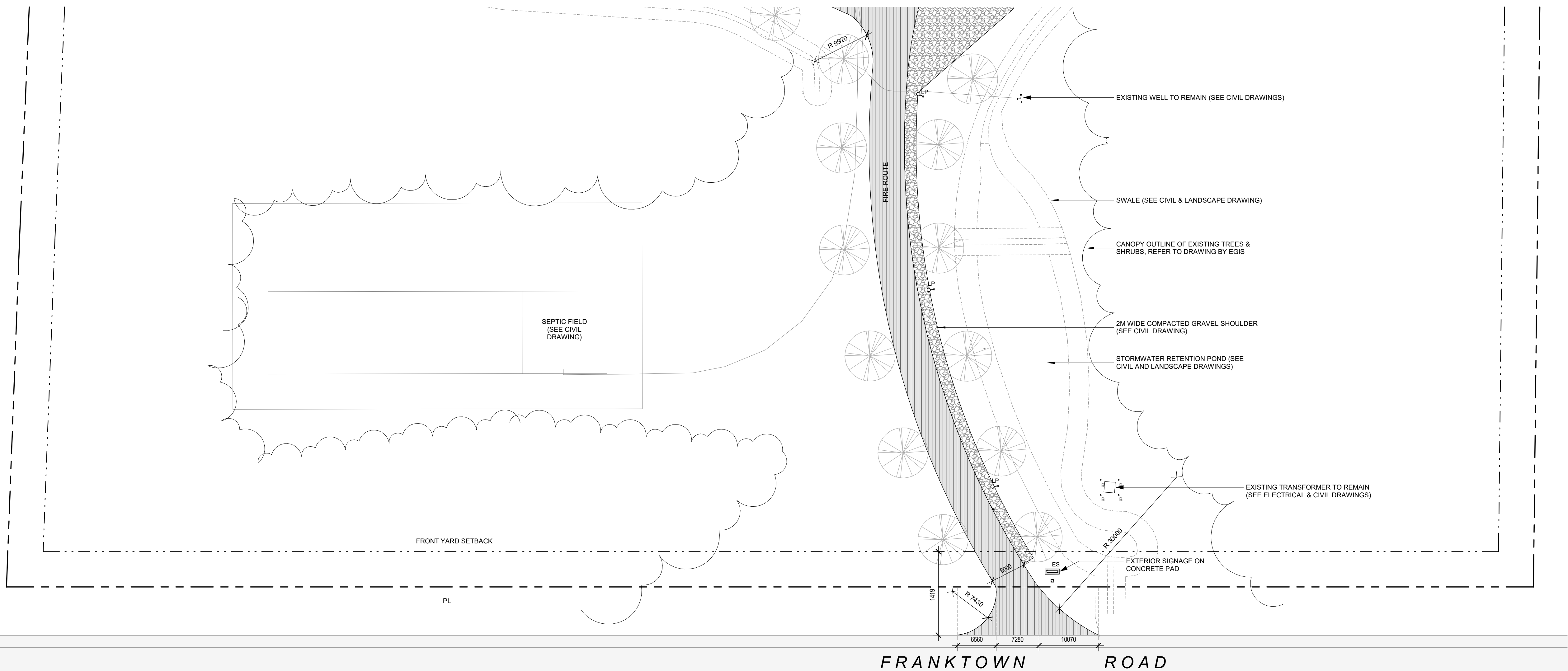
RICHMOND, ON.

drawing title

SITE PLAN - AREA A

date	JANUARY 21, 2025	job. no.	0623
scale	As indicated	drawing no.	A002
drawn	CM		
approved	CJ / AL		
plot date/time	6/6/2025 2:16:41 PM		

1. DO NOT SCALE FROM THIS DRAWING
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS: STRUCTURAL, MECHANICAL, ELECTRICAL



3 SITE PLAN AREA OF DEVELOPMENT - PLAN AREA B

PROJECT NAME:	IBPS TEMPLE
OWNER:	INTERNATIONAL BUDDHIST PROGRESS SOCIETY OF OTTAWA-CARLETON 6688 FRANKTOWN ROAD, RICHMOND, ON K0A 2Z0 T: 613 759 8111 F: 613 759 8110
ARCHITECT:	GRC ARCHITECTS 401-47 CLARENCE STREET, OTTAWA, ON K1N 9K1 T: 613 241 8203 F: 613 241 4180
LANDSCAPE ARCHITECT:	JAMES B. LENNOX & ASSOCIATES INC. 3332 CARLING AVENUE, OTTAWA, ON K2H 5A8 T: 613 722-5168
STRUCTURAL:	CUNLIFFE & ASSOCIATES INC. 102 - 1737 WOODWARD DRIVE, OTTAWA, ON K2C 0P9 T: 613 729-7242 F: 613 728-1461
CIVIL:	EXP 2650 QUEENSVIEW DR SUITE 100, OTTAWA, ON K2B 8H6 T: (613) 688-1899
ELECTRICAL & MECHANICAL:	SMITH + ANDERSEN 1600 CARLING AVE #530 OTTAWA, ON K1Z 1G3 T: (613) 230-1186
SURVEYOR: (CONTRACTED BY OWNER)	EGIS 3240 DRUMMOND CON. 5A, R.R. #7 PERTH, ON K7H 3C9 T: 613-267-6524 F 613-267-7992
ADDRESS	6688 FRANKTOWN RD, RICHMOND, ON K0A 2Z0

ZONING PROVISION	REQUIRED	PROVIDED
LEGAL DESCRIPTION ZONE PROVISIONS <small>(TABLE 223.16 ZONE PROVISIONS)</small> (a) Minimum lot width (b) Minimum lot area (c) Minimum front yard setback (d) Minimum rear yard setback (e) Minimum interior side yard setback (f) Minimum corner side yard setback (g) Maximum principal building height COVERAGE <small>(TABLE 223.16 ZONE PROVISIONS)</small> (h) Maximum lot coverage (%)	PART OF LOT 19 CONCESSION 3 R1[643R] RURAL INSTITUTIONAL ZONE 30m min lot width 2000m ² min lot area 6m front yard setback 7.5m rear yard setback 6m interior side yard setback 6m interior corner side yard setback 10m maximum building height 50%	> 30m min lot width > 2000m ² min lot area > 6m setback > 7.5m setback > 7.5m setback > 6m setback > 6m setback 10m maximum building height Site Area: 224031m ² (plot R1[643R]) Building Area: Existing Building footprint: 348m ² New Building footprint: 1398m ² 1746m ² = 0.8% (1746/224031) Asphalt Area: 9707m ² = 4% (9707/224031) Landscaped Area: 212857m ² = 95% (212857/224031) 348m ² 955m ²
LANDSCAPE <small>(TABLE 223.16 ZONE PROVISIONS)</small> (i) Minimum landscaped area (%) GROSS FLOOR AREA <small>(CALCULATIONS PROVIDED BY L&P 2024-05-20) (DEFINITIONS DEC. 14/7)</small> Existing Building New Building PARKING PROVISIONS <small>(AREA "D" SCHEDULE 1A - 1986 APPLIES TO ASSEMBLY AREA ONLY) NEW 80% REQUIRED (NET) ACCESSIBLE PARKING AS PER CITY OF OTTAWA (TABLE 3)</small> PARKING RATES	20% N66 Assembly Area: = 10 per 100 m ² of Gross floor area of assembly area. = 73 parking spaces required (Shrine hall 342m ² + Dining room 192m ² = existing building workshop area 192m ²) R22 Rooming Units: 6 rooming units = 0.5 per rooming unit = 3 parking spaces required ADS Table 3: = 5 accessible spaces required 111A (a) 0.25 per rooming unit = 2 required	98 Standard Spaces (Assembly) 3 Standards Spaces (Rooming) 7 "Type A" Accessible Spaces = 108 Total Spaces
BICYCLE PARKING RATES <small>(CALCULATIONS PROVIDED BY L&P 2024-05-20) (DEFINITIONS DEC. 11/13)</small>		2 spaces 0.6m x 1.8m

GENERAL NOTES

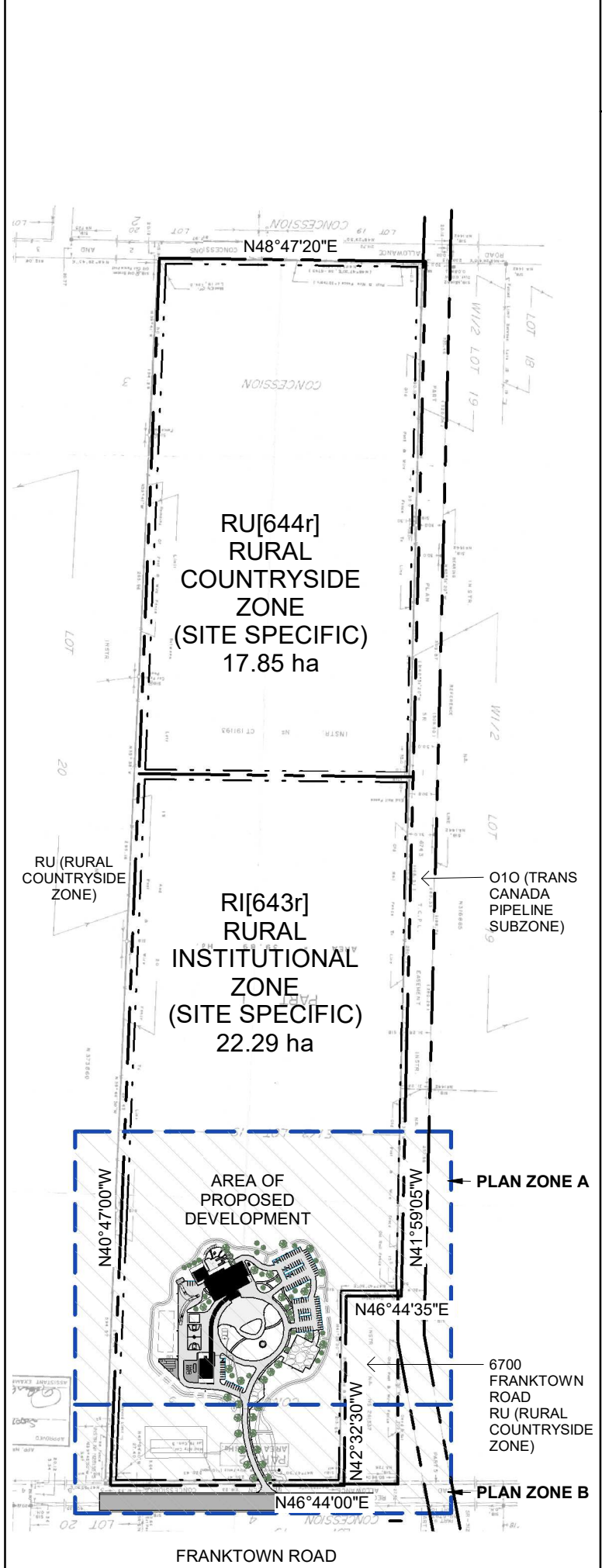
- ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT GRADE, FLOOR ELEVATIONS AND PROPERTY LINE DIMENSIONS (SHOWN IN METERS).
- ALL LEGAL SURVEY INFORMATION OBTAINED FROM SURVEY PLANS PREPARED BY: MCINTOSH PERRY SURVEYING INC., DATED AUGUST 29, 2023.
- REFER TO LANDSCAPE DRAWINGS FOR SOFT/HARD LANDSCAPING, AND PAVEMENT MATERIAL PATTERN LAYOUT.
- REFER TO CIVIL DRAWING FOR SITE SERVICES, SITE GRADING, SURFACE DRAINAGE, ROAD WORK, PAVEMENT, SIDEWALK AND CONCRETE CURBS.
- REFER TO ELECTRICAL DRAWING FOR LIGHT FIXTURES & ELECTRICAL SCOPE OF WORK.
- ELEVATIONS SHOWN ARE REFERRED TO GEODETIC DATUM.
- ALL PARKING SPACES TO HAVE 100mm WIDE PAINTED LINES ON ASPHALT, INCLUDING ACCESSIBLE PARKING SPACE PICTOGRAM.

FULL COURT BASKETBALL

- ALL GAME LINES FOR FULL COURT BASKETBALL TO BE PAINTED WHITE, UNLESS NOTED OTHERWISE
- LANE SPACE MARKS & NEUTRAL ZONE MARKS TO BE PAINTED A CONTRASTING COLOR TO THE BOUNDING LINES
- ALL GAME LINES FOR BASKETBALL TO BE 50mm WIDE, UNLESS NOTED OTHERWISE.

SITE PLAN LEGEND

---	PROPERTY LINE	⊕ FH	FIRE HYDRANT, SEE CIVIL
- - - - -	BUILDING SETBACK	G	4 CUBIC YARD GARBAGE CONTAINER
---	NEW CHAIN LINK FENCE	R	RECYCLE AREA
▲	MAIN ENTRANCE	• B	NEW GALVANIZED STEEL BOLLARDS, PAINTED.
▲	SECONDARY ENTRANCE	⊕ LP	NEW LIGHT POST C/W CONCRETE BASE, REFER TO ELECTRICAL.
⊕	BARRIER FREE PARKING STALL	ES	EXTERIOR SIGNAGE, REFER TO ELECTRICAL.
→	VEHICULAR DIRECTION	⊕	EXISTING CONCRETE, SEE CIVIL
⊕	CONCRETE PAVERS, REFER TO LANDSCAPE DRAWINGS	⊕	CONCRETE, SEE CIVIL
⊕	EXISTING ASPHALT, SEE CIVIL	---	EXISTING TREE CANOPY OUTLINE AS PER MCINTOSH PERRY SURVEY DATED AUGUST 29, 2023
⊕	ASPHALT, SEE CIVIL	⊕	PROPOSED TREE, SEE LANDSCAPE
⊕	GRAVEL, SEE CIVIL		
⊕	FIRE ROUTE, SEE CIVIL		



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LICENCE 6870

project title
IBPS TEMPLE
RICHMOND, ON.

drawing title	
SITE PLAN - AREA B	
date	JANUARY 21, 2025
scale	As indicated
drawn	CM
approved	CJ / AL
plot date/time	6/6/2025 2:16:45 PM
job. no.	0623
drawing no.	A002-A

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