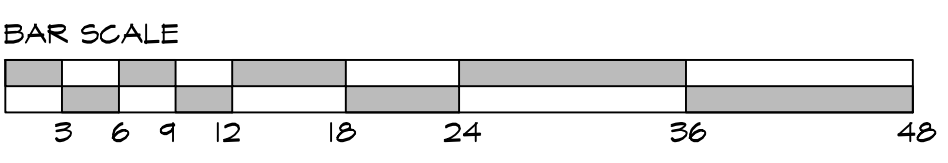
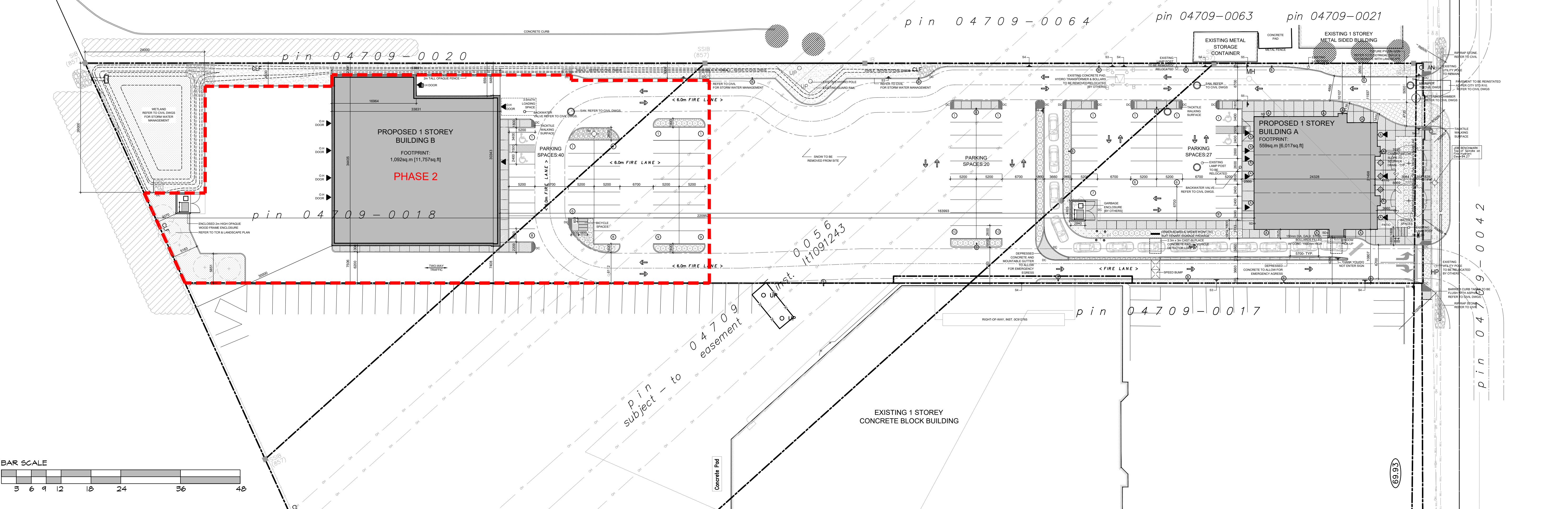
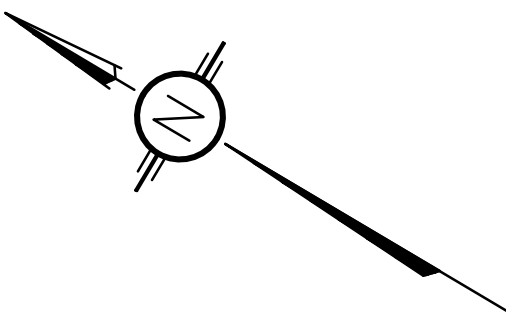
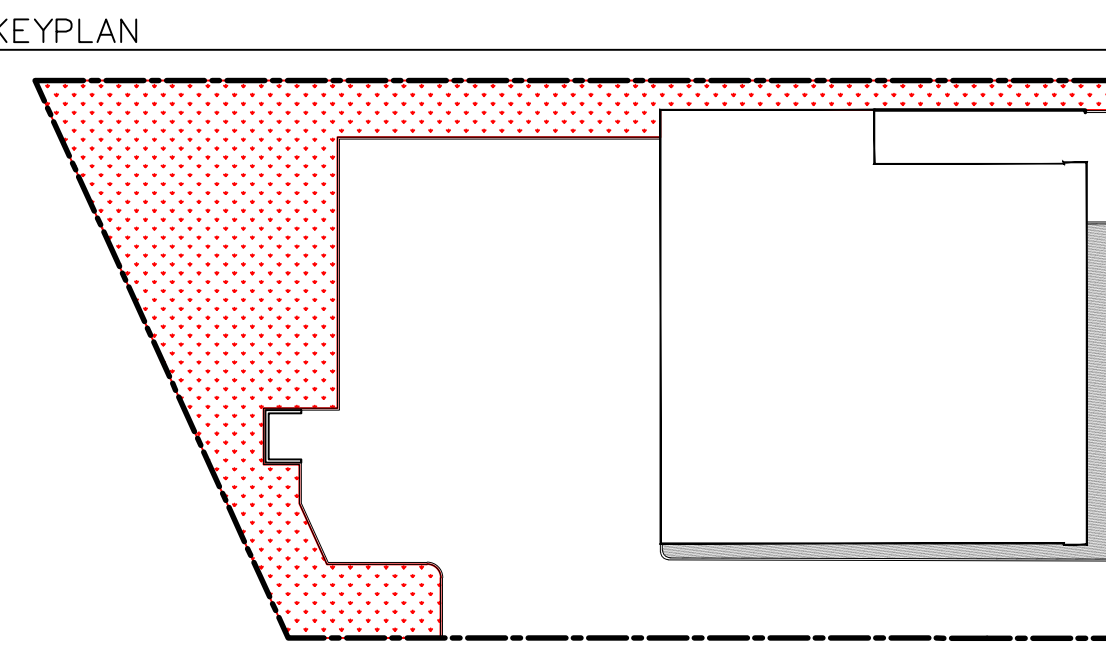
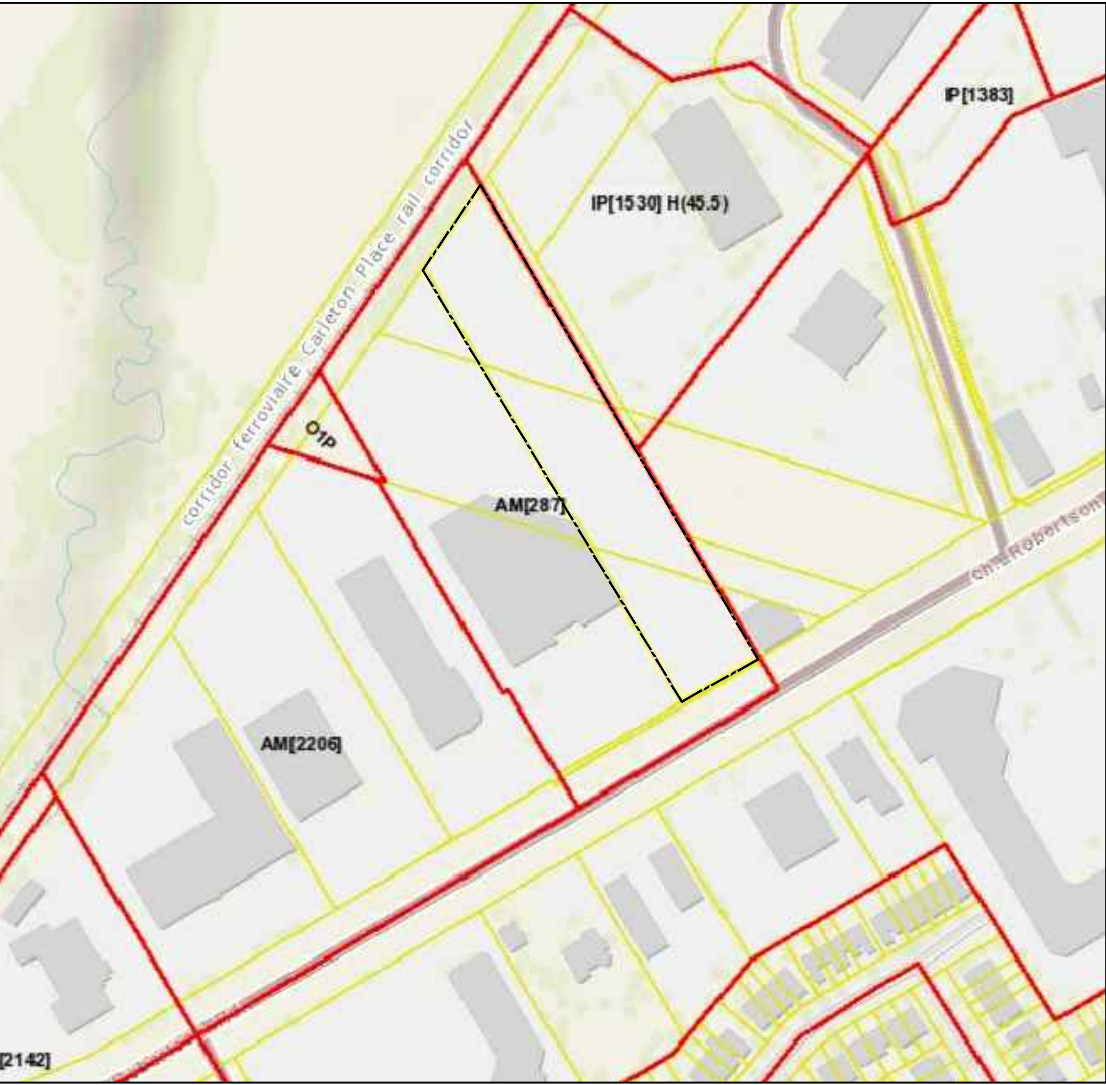


PLAN OF SURVEY OF
PART OF LOT 9
CONCESSION 2 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA
PREPARED BY AMMS, O'SULLIVAN, VOLLEBERG
LTD.
COMPLETED ON AUGUST 13, 2008.



01 SITE PLAN
A1.0 SCALE: 1:400



02 LANDSCAPE CALCULATIONS
A1.0 SCALE: 1:600

SIGN LEGEND

SYMBOL	DESCRIPTION
S1	STOP SIGN - REFER TO IMAGE BELOW FOR DETAILS
S2	DESIGNATED ACCESSIBLE PARKING SPACE. REFER TO CITY STANDARD FOR PAINTED SYMBOL
S3	FIRE ROUTE SIGN (AS PER DETAIL) - MIN. 1 SIGN EVERY 45m ALONG FIRE ROUTE
S4	ONE WAY
S5	WRONG WAY SIGN

2. STOP Sign

Font: Highway Gothic C
Colour: Legend & Border - White Reflective Background - Red Reflective

GUIDELINES FOR FIRE ROUTE SIGNAGE

- BLACK "P"
- 2 CM RED INTERDICTIONARY STROKE
- 2.5 CM RED ANNULAR BAND
- WHITE BACKGROUND
- BLACK LETTERS MINIMUM SIZE 4CM MUST BE BILINGUAL
- BLACK DOUBLE ARROWS AND BORDER*

LIGHTING LEGEND

A	EXTERIOR WALL MOUNTED LIGHT FIXTURE
B	EXTERIOR POLE MOUNTED LIGHT FIXTURE
C	EXTERIOR WALL MOUNTED LIGHT PACK
D	EXTERIOR SOFFIT LIGHT

*REFER TO ELECTRICAL DRAWINGS

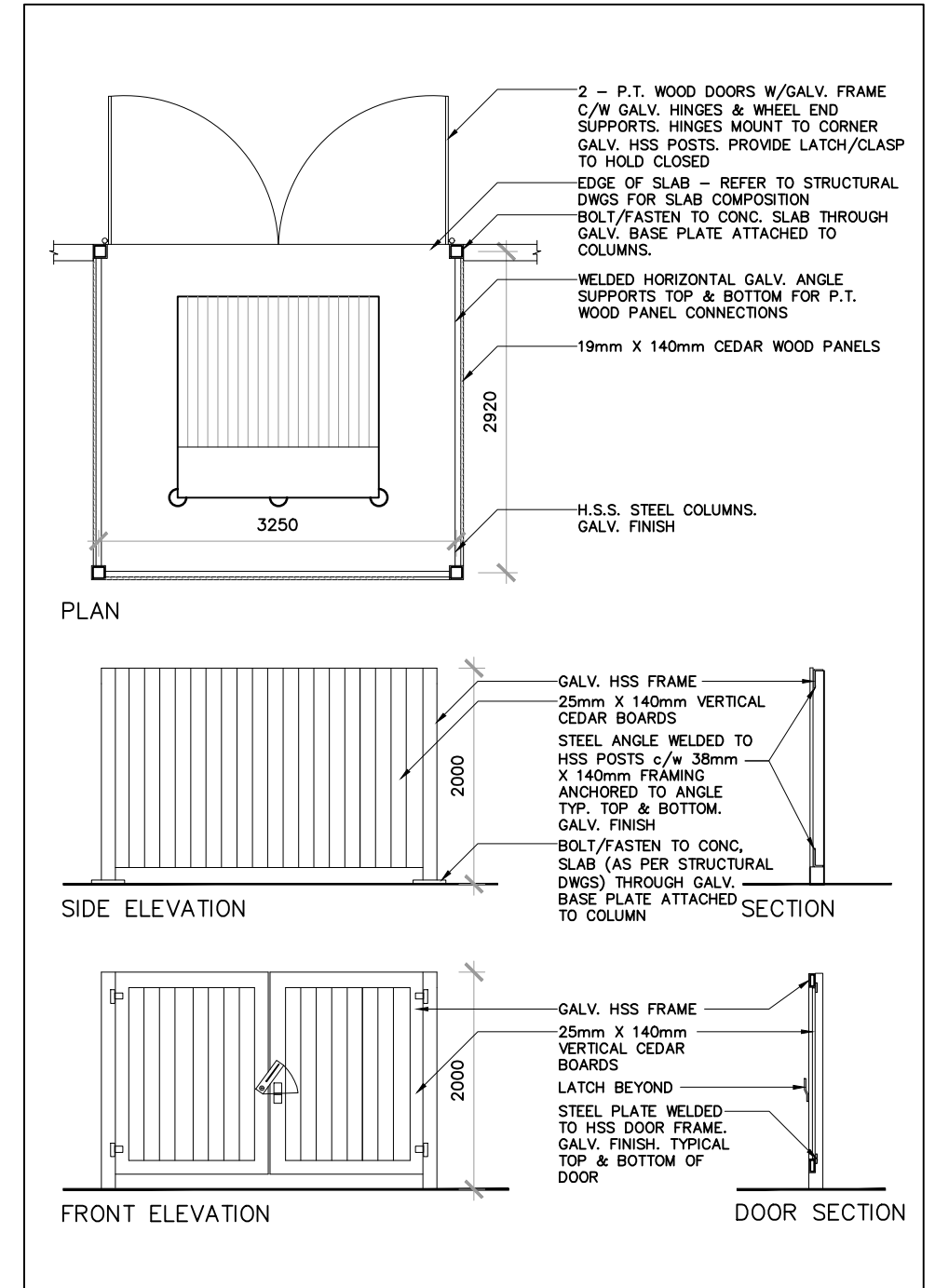
OCCUPANCY & BUILDING AREAS

BUILDING	AREA
BUILDING A E, D & A OCCUPANCY (RESTAURANT/OFFICE/RETAIL)	559sq.m
BUILDING B E OCCUPANCY (WHOLESALE SHOWROOM/OFFICE)	158.7sq.m
F3 OCCUPANCY (EQUIPMENT STORAGE)	933.3sq.m

LEGEND

- NEW OVERHEAD DOOR
- NEW DOOR/ENTRANCE
- PROPOSED PIERSTONE M.L.D.P.
- EXISTING VEGETATION REFER TO LANDSCAPE DWGS
- BICYCLE PARKING SPACE (1.5m x 0.6m)
- NO PARKING LINES
- PROPOSED PRECAST CONCRETE PARKERS
- PROPOSED SOD - REFER TO LANDSCAPE DWGS
- NEW SANGUITE CONCRETE SIDEWALK
- PARKING STALL COUNT PER ROW
- NEW SIGN REFER TO SIGN LEGEND
- STREET LIGHT
- HYDRO POST
- DESIGNATED ACCESSIBLE PARKING SPACE AS PER ADA STANDARDS
- TWO WAY TRAFFIC
- ONE WAY TRAFFIC
- DEPRESSED CURB (DC)
- PROPERTY LINE
- EXISTING FENCE
- MINIMUM SETBACKS (ZONING)
- EXISTING BUILDINGS
- NEW CONSTRUCTION

*REFER TO LANDSCAPE DWGS



02 GARBAGE ENCLOSURE
A100 SCALE: 1:64

ZONING

EXISTING ZONING	AM [287] ARTERIAL MAINSTREET ZONE		
	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
LOT AREA (MIN)	NO MINIMUM	11,392sq.m	11,392sq.m
LOT WIDTH (MIN)	NO MINIMUM	44.24m	44.24m
FRONT YARD SETBACK (MIN)	NO MINIMUM	7.02m	183.5m
INTERIOR YARD SETBACK (MIN)	NO MINIMUM	10.1m/9.2m	3.73m/6.0m
REAR YARD SETBACK (MIN)	NO MINIMUM	227.3m	30.0m
BUILDING HEIGHT (MAX)	30m, OR 9 STOREYS	±6.4m	±8.4m
WIDTH OF LANDSCAPE AREA AROUND PARKING LOT (MIN)	ABUTTING A STREET: 3m NOT ABUTTING A STREET: 1.5m	1.5m min.	1.8m min.
LANDSCAPE AREA (MIN)	15% OF THE AREA OF ANY PARKING LOT (1,833sq.m PARKING AREA)	6.2m (FRONT)	275sq.m REQUIRED 1,577sq.m PROVIDED
PARKING (AREA C)	RESTAURANT USE: 10/100sq.m WITH DRIVE-THROUGH CAN BE REDUCED BY 20% RETAIL USE: 3.4/100sq.m OF GFA	10x10 REDUCED BY 20% = 15 SPACES 10x3.2 = 13 REQUIRED = 28 47 PROVIDED	10.9 x 3.4 = 37 SPACES REQUIRED 40 PROVIDED
BICYCLE PARKING	1/250sq.m OF GFA	2 BICYCLE SPACE REQUIRED	4 BICYCLE SPACES REQUIRED
DRIVE-THROUGH	FOR RESTAURANT: 7 QUEUING SPACES BEFORE/AT ORDER BOARD AND A MIN. TOTAL OF 11 SPACES	12 QUEUING SPACES PROVIDED	N/A
DRIVE-THROUGH QUEUING SPACES	3m WIDE 5.7m LONG	PROVIDED	N/A
LOADING SPACE (TABLE 113A)	BUILDING A RESTAURANT/OFFICE/RETAIL OCCUPANCY OF 1,000sq.m GFA: NONE REQUIRED BUILDING B - LIGHT INDUSTRIAL USE OF 1,000-9,999sq.m GFA: 1 SPACE REQUIRED	N/A	1 SPACE PROVIDED
LOADING SPACE ACCESS	DRIVEWAY: -3.5m (SINGLE TRAFFIC LANE) -6m (DOUBLE TRAFFIC LANE)	5.23m (SINGLE TRAFFIC LANE)	6m PROVIDED
LOADING SPACE LOCATION	ISLE: -11m (LESS THAN 45 DEGREE ANGLE) -14m (45-60 DEGREE ANGLE) -17m (60-90 DEGREE ANGLE)	N/A	SCREEN PROVIDED
LOADING SPACE DIMENSIONS	-NOT IN REQUIRED FRONT YARD SPACES BEFORE/AT ORDER BOARD AND A MIN. TOTAL OF 11 SPACES 2m OPAQUE SCREEN	N/A	PROVIDED

Huntington PROPERTIES

NOTES:

- ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
- NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

PHASING LEGEND:

- PHASE 1
- PHASE 2

CLIENT:
HUNTINGTON PROPERTIES
1306 WELLINGTON STREET WEST SUITE 200
OTTAWA, ON K1Y 3B2
T: 613.52.1818

PLANNER:
FOTEM PLANNING + DESIGN
223 McLEOD STREET,
OTTAWA, ON K2P 0Z8
T: 613.730.5709

LANDSCAPE ARCHITECT:
JAMES B. LENNOX & ASSOCIATES INC.
3332 CARLING AVE.
OTTAWA, ON K2H 5A8

CIVIL ENGINEER:
DSEL - DAVID SCHAEFFER
ENGINEERING LTD.
120 IBER ROAD, UNIT 103
STITTSVILLE, ON K2S 1E9
T: 613.836.0856

M&E ENGINEERING:
GOODLEY WEEDMARK & ASSOCIATES LIMITED.

CONSULTING ENGINEERS:
1688 WOODWARD DRIVE,
OTTAWA, ON K2C 3R8
T: 613.727.5111

SURVEYOR:
J.D. BARNES LIMITED
2430 DON REID DRIVE, SUITE 204,
OTTAWA, ON K1H 1E1
T: 613.731.7244

SEA **NORTH ARROW:**

S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAN STREET
SUITE 205
OTTAWA, ONTARIO
K2E 8B7
T: (613) 738-7770
F: (613) 738-7763
sjl@sjlawrence.com

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PROJECT:
ROBERTSON RD. DEVELOPMENT
2185 ROBERTSON ROAD, OTTAWA ON.

SHEET TITLE:
SITE PLAN

DRAWN BY: A.L. **CHECKED BY:** S.J.L.

PLOT DATE: 2021.08.09 **PROJECT DATE:** 2020.07.07

JOB NUMBER: SL-865-17 **SCALE:** AS SHOWN

SHEET NUMBER: A1.0

APPLICATION No. 007-12-18-0205
PLAN # 17864