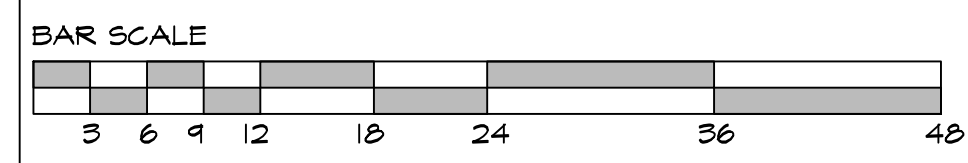
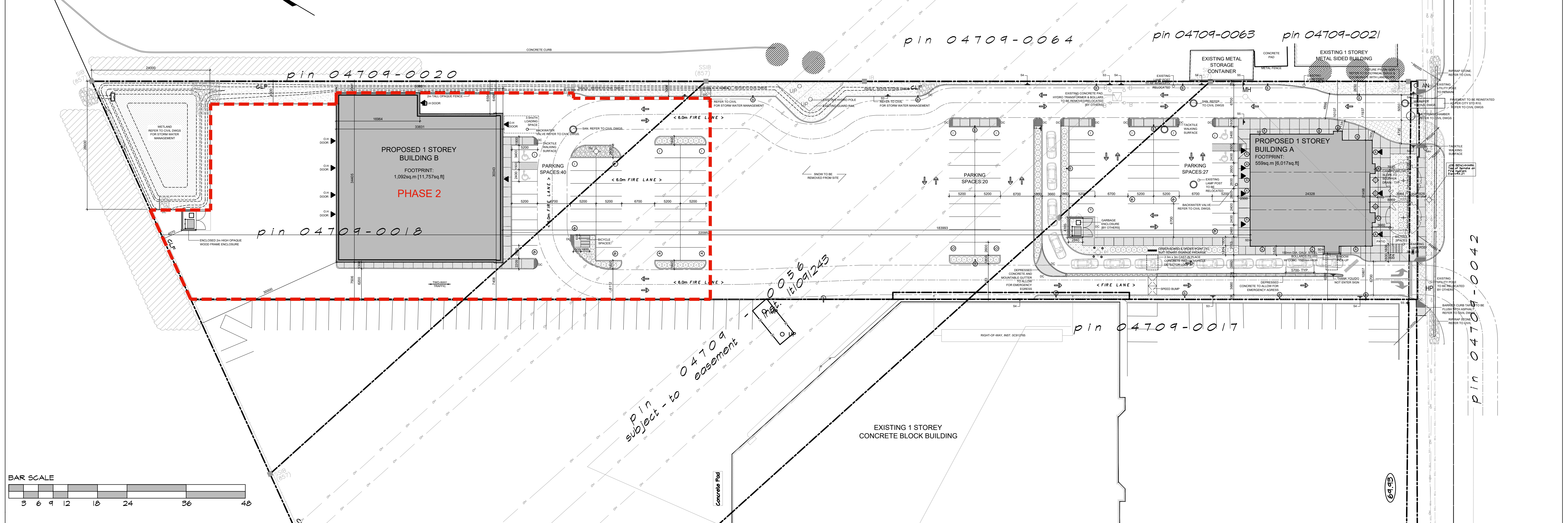
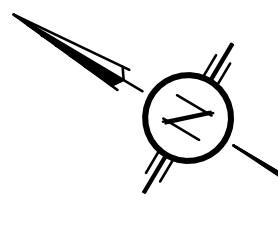


PLAN OF SURVEY OF
PART OF LOT 9
CONCESSION 2 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA
PREPARED BY ANNE O'SULLIVAN, VOLLEBERK
LTD.
COMPLETED ON AUGUST 13, 2008.



01 SITE PLAN
SCALE: 1:400



KEY PLAN

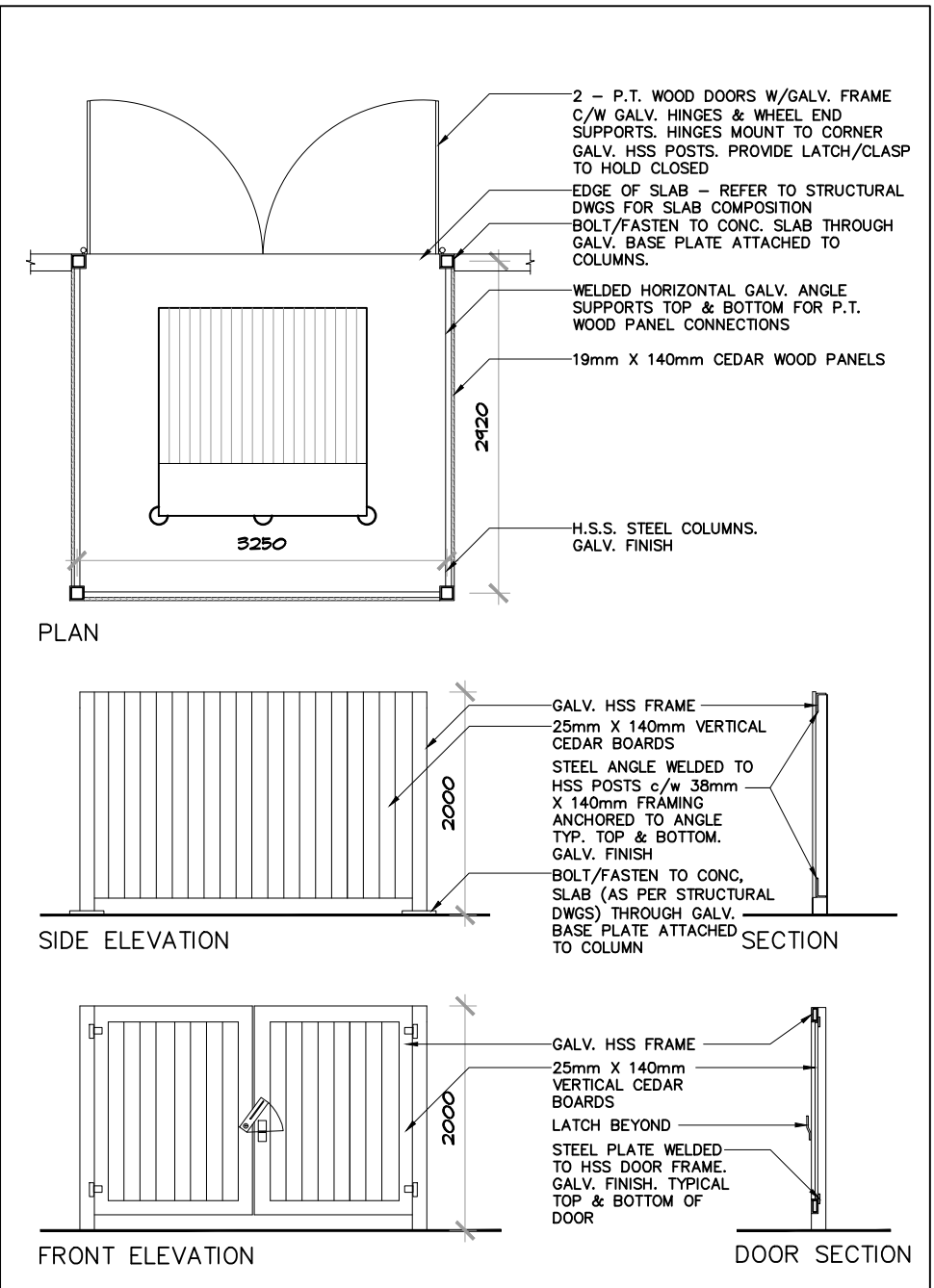
SYMBOL	DESCRIPTION
S1	STOP SIGN - REFER TO IMAGE BELOW FOR DETAILS
S2	DESIGNATED ACCESSIBLE PARKING SPACE. REFER TO CITY STANDARD FOR PAINTED SYMBOL
S3	FIRE ROUTE SIGN (AS PER DETAIL) - MIN. 1 SIGN EVERY 45m ALONG FIRE ROUTE
S4	ONE WAY
S5	WRONG WAY SIGN

2. STOP Sign		GUIDELINES FOR FIRE ROUTE SIGNAGE	
Ra-1	60 cm x 60 cm	BLACK "P"	
Ra-101	75 cm x 75 cm	2 CM RED INTERDICTIONARY STROKE	
Ra-1101	120 cm x 120 cm	2.5 CM RED ANNULAR BAND	
Font	Highway Gothic C	WHITE BACKGROUND	
Colour	Legend & Border - White Reflective Background - Red Reflective	BLACK LETTERS MINIMUM SIZE 4CM MUST BE BILINGUAL	
		BLACK DOUBLE ARROWS AND BORDER*	
		AT LEAST (30 X 45) CM	

LIGHTING LEGEND	
(A)	EXTERIOR WALL MOUNTED LIGHT FIXTURE
(B)	EXTERIOR POLE MOUNTED LIGHT FIXTURE
(C)	EXTERIOR WALL MOUNTED LIGHT PACK
(D)	EXTERIOR SOFFIT LIGHT
*REFER TO ELECTRICAL DRAWINGS	

OCCUPANCY & BUILDING AREAS	
BUILDING A	
E, D & A OCCUPANCY (RESTAURANT/OFFICE/RETAIL)	559sq.m
BUILDING B	
E OCCUPANCY (WHOLESALE SHOWROOM/OFFICE)	158.7sq.m
F3 OCCUPANCY (EQUIPMENT STORAGE)	933.3sq.m

LEGEND	
(Symbol)	NEW OVERHEAD DOOR
(Symbol)	NEW DOOR/ENTRANCE
(Symbol)	PROPOSED RIVERSTONE M/LCH
(Symbol)	EXISTING VEGETATION REFER TO LANDSCAPE DWGS
(Symbol)	BICYCLE PARKING SPACE (1.8m x 0.6m)
(Symbol)	NO PARKING LINES
(Symbol)	PROPOSED PRECAST CONCRETE PAVERS
(Symbol)	PROPOSED SDO - REFER TO LANDSCAPE DWGS
(Symbol)	NEW SHALLOT CONCRETE SIDEWALK
(Symbol)	PARKING STALL COUNT PER ROW
(Symbol)	NEW SIGN REFER TO SIGN LEGEND
(Symbol)	STREET LIGHT
(Symbol)	HYDRO POST
(Symbol)	DESIGNATED ACCESSIBLE PARKING SPACE AS PER ADA STANDARDS
(Symbol)	TWO WAY TRAFFIC
(Symbol)	ONE WAY TRAFFIC
(Symbol)	DEPRESSED CURB (DC)
(Symbol)	PROPERTY LINE
(Symbol)	EXISTING FENCE
(Symbol)	MINIMUM SETBACKS (ZONING)
(Symbol)	EXISTING BUILDINGS
(Symbol)	NEW CONSTRUCTION
(Symbol)	EXISTING CONCRETE DRIVEWAYS
*REFER TO LANDSCAPE DWGS	



02 GARBAGE ENCLOSURE
SCALE: 1:64

ZONING			
EXISTING ZONING			
AM [287] ARTERIAL MAINSTREET ZONE			
	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
LOT AREA (MIN)	NO MINIMUM	11,392sq.m	11,392sq.m
LOT WIDTH (MIN)	NO MINIMUM	44.24m	44.24m
FRONT YARD SETBACK (MIN)	NO MINIMUM	7.02m	183.5m
INTERIOR YARD SETBACK (MIN)	NO MINIMUM	10.1m/9.2m	3.73m/6.0m
REAR YARD SETBACK (MIN)	NO MINIMUM	227.3m	30.0m
BUILDING HEIGHT (MAX)	30m, OR 9 STOREYS	±6.4m	±8.4m
WIDTH OF LANDSCAPE AREA AROUND PARKING LOT (MIN)	ABUTTING A STREET: 3m NOT ABUTTING A STREET: 1.5m	1.5m min.	1.8m min.
LANDSCAPE AREA (MIN)	15% OF THE AREA OF ANY PARKING LOT (1,833sq.m PARKING AREA)	6.2m (FRONT)	275sq.m REQUIRED 1,420.2sq.m PROVIDED
PARKING (AREA C)	RESTAURANT USE: 10/100sq.m WITH DRIVE-THROUGH CAN BE REDUCED BY 20% RETAIL USE: 3.4/100sq.m OF GFA	10x10 REDUCED BY 20% = 15 SPACES 10x3.2 = 13 REQUIRED = 28 47 PROVIDED	10.9 x 3.4 = 37 SPACES PROVIDED
BICYCLE PARKING	1/250sq.m OF GFA	2 BICYCLE SPACE REQUIRED.	4 BICYCLE SPACES PROVIDED.
DRIVE-THROUGH	FOR RESTAURANT: 7 QUEUING SPACES BEFORE/AT ORDER BOARD AND A MIN. TOTAL OF 11 SPACES	12 QUEUING SPACES PROVIDED	N/A
DRIVE-THROUGH QUEUING SPACES	3m WIDE 5.7m LONG	PROVIDED	N/A
LOADING SPACE (TABLE 113A)	BUILDING A RESTAURANT/OFFICE/RETAIL OCCUPANCY OF 1,000sq.m GFA: NONE REQUIRED BUILDING B - LIGHT INDUSTRIAL USE OF 1,000-9,999sq.m GFA: 1 SPACE REQUIRED	N/A	1 SPACE PROVIDED
LOADING SPACE ACCESS	DRIVEWAY: -3.5m (SINGLE TRAFFIC LANE) -6m (DOUBLE TRAFFIC LANE)	5.23m (SINGLE TRAFFIC LANE)	6m PROVIDED
LOADING SPACE LOCATION	AWLSE: -11m (LESS THAN 45 DEGREE ANGLE) -14m (45-60 DEGREE ANGLE) -17m (60-90 DEGREE ANGLE)	N/A	SCREEN PROVIDED
LOADING SPACE DIMENSIONS	-NOT IN REQUIRED FRONT YARD SPACES BEFORE/AT ORDER BOARD AND A MIN. TOTAL OF 2m SQUARE SCREEN	N/A	PROVIDED

02 LANDSCAPE CALCULATIONS
SCALE: 1:600

Huntington PROPERTIES

NOTES:
1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THESE CONTRACT DOCUMENTS.
3) DO NOT SCALE DRAWINGS.
4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

PHASING LEGEND
PHASE 1
PHASE 2

CLIENT:
HUNTINGTON PROPERTIES
1506 KELLINGTON STREET WEST SUITE 200
OTTAWA, ON K1V 5B2
T: 613.512.1919

PLANNER:
OTTEN PLANNING + DESIGN
228 McLEOD STREET
OTTAWA, ON K2P 0Z6
T: 613.150.5104

LANDSCAPE ARCHITECT:
JAMES B. LENOX & ASSOCIATES INC.
3922 CARLING AVE
OTTAWA, ON K2H 5A8

CIVIL ENGINEER:
DSEL - DAVID SCHAEFFER
ENGINEERS LTD.
120 ISER ROAD UNIT 105
STITTSVILLE, ON K2S 1E4
T: 613.856.0266

M/E ENGINEERING:
SPOONKEY NEEDMARK & ASSOCIATES
LIMITED.
CONSULTING ENGINEERS
1608 MCCOWAN DRIVE
OTTAWA, ON K2C 3R2
T: 613.727.5111

SURVEYOR:
J.P. BARNES LIMITED
2450 DON REID DRIVE, SUITE 204.
OTTAWA, ON K1H 1E1
T: 613.751.1244

SEA'NORTH ASSOCIATION OF ARCHITECTS
SUMMIT LIAISON OFFICE
4442
NORTH ARROW

07 2021.05.25 ISSUED FOR MUNICIPAL REVIEW
08 2021.05.24 ISSUED FOR SITE PLAN CONTROL
09 2021.02.18 ISSUED FOR COORDINATION
04 2021.01.26 ISSUED FOR REVIEW
05 2021.01.26 ISSUED FOR REVIEW
02 2021.01.05 ISSUED FOR REVIEW
01 2020.12.02 ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
10 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 6B7
T: (613) 794.7710 F: (613) 794.7705 sjl@sjlarchitect.com

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PROJECT:
ROBERTSON RD. DEVELOPMENT
2105 ROBERTSON ROAD, OTTAWA, ON.

SHEET TITLE:
SITE PLAN

DRAWN BY: A.L. CHECKED BY: S.J.L.
PLOT DATE: 2021.05.25 PROJECT DATE: 2020.01.01
JOB NUMBER: SL-865-17 SCALE: AS SHOWN
SHEET NUMBER: 17/18

PLAN # 17664