



Geotechnical
Engineering

Environmental
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Hydrogeology

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Materials Testing

Building Science

Archaeological
Studies

Phase I - Environmental Site Assessment

Vacant Property
Part of 8700 Campeau Drive
Ottawa, Ontario

Prepared For

Taggart Realty Management

Paterson Group Inc.

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June 28, 2019

Report: PE4659-1

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EXECUTIVE SUMMARY

Assessment

Paterson Group was retained by Taggart Realty Management to conduct a Phase I – Environmental Site Assessment (Phase I ESA) of a portion of the property addressed 8700 Campeau Drive in the City of Ottawa, Ontario. The purpose of this environmental assessment was to research the past and current use of the subject site and adjacent properties as well as to identify any environmental concerns with the potential to impact the subject property.

Based on a review of historical sources, the subject site and the surrounding properties have never been formally developed and have historically been used for agricultural purposes. Sometime between 2015 and 2017, Campeau Drive and Palladium Drive were constructed along the south and east property boundaries respectively. In 2017, the subject property was stripped of original vegetation and topsoil in preparation for future development. No environmental concerns were identified with the historical use of the subject site or surrounding properties within the Phase I study area.

Following the historical review, a site inspection was conducted on June 20, 2019. The subject site is currently vacant and grassed, however the original vegetation and topsoil has been stripped in preparation for future development. The surrounding land use consists of vacant land and commercial retail buildings. No potentially contaminating activities or areas of potential environmental concern were identified on the subject site or surrounding properties within the Phase I study area.

Conclusion

Based on the results of this assessment, it is our opinion that **a Phase II - Environmental Site Assessment is not required for the property.**

1.0 INTRODUCTION

Paterson Group was retained by Taggart Realty Management to conduct a Phase I – Environmental Site Assessment (Phase I ESA) of a portion of the property addressed 8700 Campeau Drive in the City of Ottawa, Ontario. The purpose of this environmental assessment was to research the past and current use of the subject site and adjacent properties as well as to identify any environmental concerns with the potential to impact the subject property.

Paterson was engaged to conduct this Phase I ESA by Ms. Emily McGirr of Taggart Realty Management. Ms. McGirr can be reached by telephone at 613-234-7000.

This report has been prepared specifically and solely for the above noted project which is described herein. It contains all of our findings and results of the environmental conditions at this site.

This Phase I ESA report has been prepared in general accordance with the requirements of Ontario Regulation 153/04, as amended, under the Environmental Protection Act, and also complies with the requirements of CSA Z768-01. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I ESA are based on a review of readily available geological, historical, and regulatory information, as well as a cursory review made at the time of the field assessment. The historical research relies on information supplied by others, such as local, provincial, and federal agencies and was limited within the scope-of-work, time, and budget of the project herein.

2.0 PHASE I PROPERTY INFORMATION

Address:	Part of 8700 Campeau Drive, Ottawa, Ontario
Legal Description:	Block 2, Part of Lot 4, Concession 1; Part 1 of Registered Plan 4R-28637; Geographic Township of Huntley, in the City of Ottawa, Ontario.
Property Identification Number (PIN):	Part of 04508-0132
Location:	The subject site is located on the northwest corner of the intersection of Palladium Drive and Campeau Drive in the City of Ottawa, Ontario.
Latitude and Longitude:	45° 17' 50" N, 75° 56' 38" W

Site Description:

Configuration:	Irregular
Site Area:	3.60 hectares (approximate)
Zoning:	IP13 – Business Park Industrial Zone
Current Use:	The subject site is currently vacant and grassed, however the original vegetation and topsoil has been stripped in preparation for future development.
Services:	The subject site is located in a municipally serviced area.

3.0 SCOPE OF INVESTIGATION

The scope of work for this Phase I – Environmental Site Assessment was as follows:

- Determine the historical activities on the subject site and study area by conducting a review of readily available records, reports, photographs, plans, mapping, databases, and regulatory agencies;
- Investigate the existing conditions present at the subject site and study area by conducting site reconnaissance;
- Conduct interviews with persons knowledgeable of current and historic operations on the subject property and, if warranted, neighbouring properties;
- Present the results of our findings in a comprehensive report in general accordance with the requirements of Ontario Regulation 269/11 amending O.Reg. 153/04 made under the Environmental Protection Act and in compliance with the requirements of CSA Z768-01;
- Provide a preliminary environmental site evaluation based on our findings;
- Provide preliminary remediation recommendations and further investigative work if contamination is suspected or encountered.

4.0 RECORDS REVIEW

4.1 General

Phase I ESA Study Area Determination

A radius of approximately 250 m was determined to be appropriate as a Phase I ESA study area for this assignment. Properties outside the 250 m radius are not considered to have impacted the subject land, based on their significant distance from the site.

First Developed Use Determination

According to the historical aerial photographs and documents reviewed, the subject site has never been formally developed.

National Archives

Fire insurance plans and city directories are not available for the Phase I study area.

Plan of Subdivision

A plan of subdivision, prepared by Stantec Geomatics Ltd. in 2019, was reviewed as a part of this assessment. The plan depicts the subject property in its current configuration.

Chain of Title

As part of the 2014 Phase I ESA completed for the subject site and the immediately adjacent lands, Paterson verified the current land title for the subject property with Read Abstracts Limited. At the time, a title search was conducted for the PINs constituting the much larger property referred to as 405-425 Huntmar Drive. According to the chain of title, dated December 6, 2013, the current owner of the subject property is West Ottawa Land Holdings Inc. The subject property was previously owned by private individuals as early as 1828 up to the 1990s. The chain of title did not identify any potential environmental concerns with respect to the subject site. A copy of the title search is included in Appendix 1.

Previous Engineering Reports

Paterson has conducted several environmental and geotechnical projects in the vicinity of the subject property. A review of these reports did not indicate any environmental concerns for the subject site.

4.2 Environmental Source Information

Environment Canada

A search of the National Pollutant Release Inventory (NPRI) was conducted electronically on June 20, 2019. The subject site and the Phase I study area were not listed in the NPRI database.

PCB Inventory

A search of national PCB waste storage sites was conducted. No PCB waste storage sites are located within the Phase I study area.

Ontario Ministry of Environment (MECP) Instruments

A request was submitted to the MECP Freedom of Information office for information with respect to certificates of approval, permits to take water, certificates of property use, or any other similar MECP issued instruments for the subject site. At the time of issuing this report, a response from the MECP had not been received. Based on information contained within the 2014 Phase I ESA, a certificate of approval for 405 Huntmar Drive was issued for two (2) sedimentation ponds, located approximately 650 m east and 450 m south of the subject site, to provide normal water quality and to attenuate post-development peak flows. A copy of the response from the MECP is included in Appendix 2.

MECP Incident Reports

A request was submitted to the MECP Freedom of Information office for information with respect to records concerning environmental incidents, orders, offences, spills, discharges of contaminants or inspections maintained by the MECP for the subject site or adjacent properties. At the time of issuing this report, a response from the MECP had not been received. Based on the 2014 Phase I ESA, no incident reports were available for the subject site.

MECP Submissions

A request was submitted to the MECP Freedom of Information office for information with respect to reports related to environmental conditions for the subject site. At the time of issuing this report, a response from the MECP had not been received. Based on the 2014 Phase I ESA, no MECP submission records were available for the subject site.

MECP Waste Management Records

A request was submitted to the MECP Freedom of Information office for information with respect to waste management records for the subject site. At the time of issuing this report, a response from the MECP had not been received. Based on the 2014 Phase I ESA, the company 2049824 Ontario Inc. which owned 405 Huntmar Drive between 2004 and 2012 had an active waste generator number, D001, for light fuels. This generator number is related to activities that were situated approximately 500 m east of the subject site, and thus do not pose any risk to the subject property.

MECP Coal Gasification Plant Inventory

The Ontario Ministry of Environment, Conservation and Parks document titled "Municipal Coal Gasification Plant Site Inventory, 1991" was reviewed to reference the locations of former plants with respect to the site. No coal gasification plants were identified in the Phase I study area

MECP Brownfields Environmental Site Registry

A search of the MECP Brownfields Environmental Site Registry was conducted as part of this assessment for the subject site, neighbouring properties, and the Phase I study area. No Records of Site Condition (RSCs) were filed for the subject site or properties within the Phase I study area.

MECP Waste Disposal Site Inventory

The Ontario Ministry of Environment and Climate Change document titled "Waste Disposal Site Inventory in Ontario, 1991" was reviewed as part of the historical research. This document includes all recorded active and closed waste disposal sites, industrial manufactured gas plants and coal tar distillation plants in the Province of Ontario. No records were listed for the subject site or for properties within the Phase I study area.

Technical Standards and Safety Authority (TSSA)

The TSSA Fuels Safety Branch in Toronto was contacted electronically on June 20, 2019 to inquire about current and former underground storage tanks, spills, and incidents for the subject site and neighbouring properties. The response from the TSSA indicated that the subject site and neighbouring properties are not listed in the TSSA registry.

A copy of the correspondence with the TSSA, and the properties of interest, are included in Appendix 2.

Areas of Natural Significance

A search for areas of natural significance and features within the Phase I study area was conducted on the Ontario Ministry of Natural Resources and Forestry (MNR) website on June 20, 2019. No natural features or areas of natural significance were identified on the subject site or within the Phase I study area.

City of Ottawa Landfill Document

The document entitled “Old Landfill Management Strategy, Phase I – Identification of Sites, City of Ottawa”, was reviewed. No landfill sites were identified within the Phase I study area.

City of Ottawa Historical Land Use Inventory (HLUI)

As part of the initial 2014 Phase I ESA, a requisition form was sent to the City of Ottawa on November 4, 2013 to request information from the City’s Historical Land Use Inventory (HLUI) database for the subject property and immediately adjacent lands.

The information provided by the City indicated that no potentially contaminating activities or areas of potential environmental concern were identified on or within the vicinity of the subject site. A copy of the 2013 HLUI search results is included in Appendix 2.

With respect to this Phase I ESA, a new request for information was submitted to the City. At the time of issuing this report, a response from the City had not been received.

4.3 Physical Setting Sources

Aerial Photographs

Historical air photos from the National Air Photo Library were reviewed in approximate ten (10) year intervals, commencing with the earliest available photograph. Based on the review, the following observations have been made:

- | | |
|------|--|
| 1947 | The subject site and surrounding properties appear to be vacant and used for agricultural purposes. Huntmar Drive can be seen approximately 700 m east of the subject site at this time. |
| 1959 | No apparent changes have been made to the subject site or surrounding properties. |

- 1976 (City of Ottawa website) No apparent changes have been made to the subject site or surrounding properties. A stretch of land, approximately 600 m south of the subject site, appears to have been cleared in preparation for the construction of Highway 417.
- 1988 No apparent changes have been made to the subject site or surrounding properties. Highway 417 can be seen at this time.
- 2002 (City of Ottawa website) No apparent changes have been made to the subject site or immediately adjacent properties. Palladium Drive can be seen in its original configuration at this time. A series of on-ramps and off-ramps for Highway 417 can be seen, approximately 370 m southeast of the subject site.
- 2009 (City of Ottawa website) No apparent changes have been made to the subject site or immediately adjacent properties.
- 2017 (City of Ottawa website) The subject site, as well as the neighbouring properties, have been stripped of original vegetation and topsoil in preparation for future development. Two (2) commercial retail buildings can be seen approximately 200 m south of the subject site. A large retail outlet mall can be seen approximately 250 m east of the subject property. A carpenter's training centre can be seen approximately 250 m northeast of the subject property. Palladium Drive and Campeau Drive have been reconstructed into their current configuration.

Copies of selected aerial photographs reviewed are included in Appendix 1.

Topographic Maps

Topographic information was obtained from Natural Resources Canada – The Atlas of Canada website. The topographic maps indicate that the elevation of the subject site is approximately 105 m above sea level. The regional topography in the general area of the site slopes downward to the northeast, in the direction of the Carp River.

An illustration of the referenced topographic map is presented on Figure 2 – Topographic Map, appended to this report.

Physiographic Maps

A Physiographic Map was reviewed from the Natural Resources Canada – The Atlas of Canada website, as a part of this assessment. According to the publication and mapping, the site is situated within the St. Lawrence Lowlands. According to the description provided: “The lowlands are plain-like areas that were all affected by the Pleistocene glaciations and are therefore covered by surficial deposits and other features associated with the ice sheets.” The subject site is located in the Central St. Lawrence Lowland, which is rarely more than 150 m above sea level.

Geological Maps

The Geological Survey of Canada website on the Urban Geology of the National Capital Area was consulted as part of this assessment. Based on the information from NRCAN, the bedrock in the area of the subject site consists of interbedded shale and limestone of the Verulam Formation. Based on the maps, the surficial geology consists of offshore marine sediments (clay and silt) with a drift thickness ranging from 10 to 15 m.

Water Well Records

A search of the MECPs website for all drilled well records within 250 m of the subject site was conducted on June 28, 2019. Based on the online mapping search results, one (1) drinking water well record was identified as being within the Phase I study area. However, a review of this well record indicates that the well is not physically present within the Phase I study area.

Water Bodies

The nearest water body to the subject site is a tributary creek of the Carp River, located approximately 450 m south of the subject site, adjacent to Highway 417. There are no water bodies present on the subject property.

5.0 SITE RECONNAISSANCE

5.1 General Requirements

The site assessment was conducted on June 20, 2019, between 1:45 PM and 2:30 PM. Weather conditions were light rain, with a temperature of approximately 18°C. Nick Sullivan, from the Environmental Department of Paterson Group, conducted the site inspection. In addition to the subject site, the uses of neighbouring properties within the Phase I study area were also assessed at the time of the site inspection.

5.2 Specific Observations at Phase I Property

Buildings and Structures

The subject site is currently vacant and grassed, however the original vegetation and topsoil has been stripped in preparation for future development. A depiction of the subject site is presented on Drawing PE4659-1 – Site Plan, in the Figures section of this report.

Site Features

The subject site is not developed with any buildings and currently exists as a vacant lot of grassed land. Ponded water was observed on the southwest portion of the subject site, however this was likely the result of the rainfall at the time of the site inspection. No signs of staining or indications of potential sub-surface contamination was observed in the ponded water on-site. Site drainage consists primarily of infiltration within the property as well as sheet flow towards catch basins present on Palladium Drive and Campeau Drive.

Waste Materials

A small pile of crushed stone and gravel was observed on the northeast portion of the subject property at the time of the site inspection. No environmental concerns were noted regarding the material observed on-site.

PCBs and Transformer Oil

One (1) pad-mounted transformer was observed immediately south of the subject site, adjacent to Campeau Drive. The transformer was noted to be in good condition and no signs of leaks or staining was observed at the time of the site inspection.

Underground Utilities

Underground electrical lines are expected to be present in the vicinity of the pad-mounted transformer, located immediately south of subject property. The subject site has no underground utilities that we are aware of.

Storage Tanks

No fuel storage tanks were present on the subject site at the time of the site inspection.

Unidentified Substances

No unidentified substances were present on the subject site at the time of the site inspection. No surficial staining, stressed vegetation, or indications of potential sub-surface contamination were observed during site inspection.

Hazardous Building Materials

No hazardous building materials were present on the subject site at the time of the site inspection.

Phase I Study Area

An inspection of the neighbouring properties was conducted from publicly accessible roadways at the time of the site inspection. Land use adjacent to the subject site was as follows:

- North: Upper Canada Drive right-of-way, followed by vacant land;
- South: Campeau Drive, followed by vacant land and commercial retail buildings;
- East: Palladium Drive, followed by vacant land and a hotel building currently under construction;
- West: Vacant land, followed by Upper Canada Drive right-of-way and vacant land.

No Potentially Contaminating Activities were identified on the neighbouring properties in the Phase I study area. Property use within the Phase I study area is presented on Drawing PE4659-2 – Surrounding Land Use Plan.

6.0 REVIEW AND EVALUATION OF INFORMATION

6.1 Land Use History

According to historical aerial photographs and documents reviewed, the subject site has never been formally developed. Historically, the subject site had been used for agricultural purposes. The subject site is currently vacant and grassed, however the original vegetation and topsoil has been stripped in preparation for future development.

Potentially Contaminating Activities (PCAs)

No potentially contaminating activities were identified on the subject property or within the Phase I study area during the site inspection.

Areas of Potential Environmental Concern (APECs)

No areas of potential environmental concern were identified on the subject property during the site inspection.

Contaminants of Potential Concern (CPCs)

No contaminants of potential concern were identified on the subject property during the site inspection.

6.2 Conceptual Site Model

Existing Buildings and Structures

No buildings or structures are currently present on the subject site.

Geological and Hydrogeological Setting

Based on information from the Geological Survey of Canada, the subject site is located in an area of interbedded shale and limestone bedrock with an offshore marine sediment (clay and silt) overburden ranging from 10 m to 15 m in thickness. Groundwater is expected to flow to the east or northeast, towards the Carp River.

Areas of Natural Significance

No areas of natural significance were identified on the subject property or within the Phase I study area.

Water Bodies

The nearest water body to the subject site is a tributary creek of the Carp River, located approximately 450 m south of the subject site, adjacent to Highway 417. There are no water bodies present on the subject property.

Water Wells

A search of the MECPs website for all drilled well records within 250 m of the subject site was conducted on June 28, 2019. Based on the online mapping search results, one (1) drinking water well record was identified as being within the Phase I study area. However, a review of this well record indicates that the well is not physically present within the Phase I study area.

Neighbouring Land Use

Neighbouring land use in the Phase I study area is mainly vacant or used for commercial retail purposes. No environmental concerns were identified with regard to the current use of the neighbouring land.

Potentially Contaminating Activities (PCAs)

As per Section 6.1 of this report, there were no potentially contaminating activities identified on the subject property or within the Phase I study area.

Areas of Potential Environmental Concern (APECs)

There were no areas of potential environmental concern identified on the subject property or within the Phase I study area.

Contaminants of Potential Concern

No contaminants of potential concern were identified on the subject property.

Assessment of Uncertainty and/or Absence of Information

The information available for review as part of the preparation of this Phase I ESA is considered to be sufficient to conclude that there are no PCAs or APECs associated with the subject site. The absence of PCAs was confirmed by a variety of independent sources, and as such, the conclusions of this report are not affected by uncertainty which may be present with respect to the individual sources.

7.0 CONCLUSION

Assessment

Paterson Group was retained by Taggart Realty Management to conduct a Phase I – Environmental Site Assessment (Phase I ESA) of a portion of the property addressed 8700 Campeau Drive in the City of Ottawa, Ontario. The purpose of this environmental assessment was to research the past and current use of the subject site and adjacent properties as well as to identify any environmental concerns with the potential to impact the subject property.

Based on a review of historical sources, the subject site and the surrounding properties have never been formally developed and have historically been used for agricultural purposes. Sometime between 2015 and 2017, Campeau Drive and Palladium Drive were constructed along the south and east property boundaries respectively. In 2017, the subject property was stripped of original vegetation and topsoil in preparation for future development. No environmental concerns were identified with the historical use of the subject site or surrounding properties within the Phase I study area.

Following the historical review, a site inspection was conducted on June 20, 2019. The subject site is currently vacant and grassed, however the original vegetation and topsoil has been stripped in preparation for future development. The surrounding land use consists of vacant land and commercial retail buildings. No potentially contaminating activities or areas of potential environmental concern were identified on the subject site or surrounding properties within the Phase I study area.

Conclusion

Based on the results of this assessment, it is our opinion that **a Phase II - Environmental Site Assessment is not required for the property.**

8.0 STATEMENT OF LIMITATIONS

This Phase I – Environmental Site Assessment report has been prepared in general accordance with O.Reg. 153/04, as amended, and meets the requirements of CSA Z768-01. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I ESA are based on a review of readily available geological, historical, and regulatory information as well as a cursory review made at the time of the field assessment. The historical research relies on information supplied by others, such as local, provincial, and federal agencies and was limited within the scope-of-work, time, and budget of the project herein.

Should any conditions be encountered at the subject site and/or historical information that differ from our findings, we request that we be notified immediately in order to allow for a reassessment.

This report was prepared for the sole use of Taggart Realty Management. Permission and notification from Taggart Realty Management and Paterson Group will be required to release this report to any other party.

Paterson Group Inc.



Nick Sullivan, B.Sc.



Mark S. D'Arcy, P.Eng., QP_{ESA}



Report Distribution:

- Taggart Realty Management
- Paterson Group Inc.

9.0 REFERENCES

Federal Records

- Energy, Mines, and Resources Canada: Aerial Photograph Library.
- National Archives of Canada.
- Geological Survey of Canada: Surficial and Subsurface Maps.
- Natural Resources Canada: The Atlas of Canada.
- Environment Canada: National Pollutant Release Inventory.
- Environment Canada: National PCB Waste Storage Site Inventory.

Provincial Records

- MECP Freedom of Information and Privacy Office.
- MECP Municipal Coal Gasification Plant Site Inventory, 1991.
- MECP document titled, "Waste Disposal Site Inventory in Ontario".
- MECP Brownfields Environmental Site Registry.
- MECP Water Well Inventory.
- Office of Technical Standards and Safety Authority, Fuels Safety Branch.
- Ministry of Natural Resources and Forestry: Areas of Natural Significance.
- Chapman, L.J., and Putnam, D.F., 1984: 'The Physiography of Southern Ontario, Third Edition', Ontario Geological Survey Special Volume 2.

Municipal Records

- City of Ottawa document titled, "Old Landfill Management Strategy, Phase I - Identification of Sites", prepared by Golder Associates, 2004.
- Intera Technologies Ltd. report titled, "Mapping and Assessment of Former Industrial Sites, City of Ottawa", 1988.
- City of Ottawa Historical Land Use Inventory Database
- City of Ottawa online mapping website.

Local Information Sources

- Previous engineering reports completed by Paterson Group.
- Plan of Subdivision, prepared by Stantec Geomatics Ltd., 2019.

Public Information Sources

- Google Earth.
- Google Maps & Street View.

FIGURES

FIGURE 1 – KEY PLAN

FIGURE 2 – TOPOGRAPHIC MAP

DRAWING PE4659-1 – SITE PLAN

DRAWING PE4659-2 – SURROUNDING LAND USE PLAN

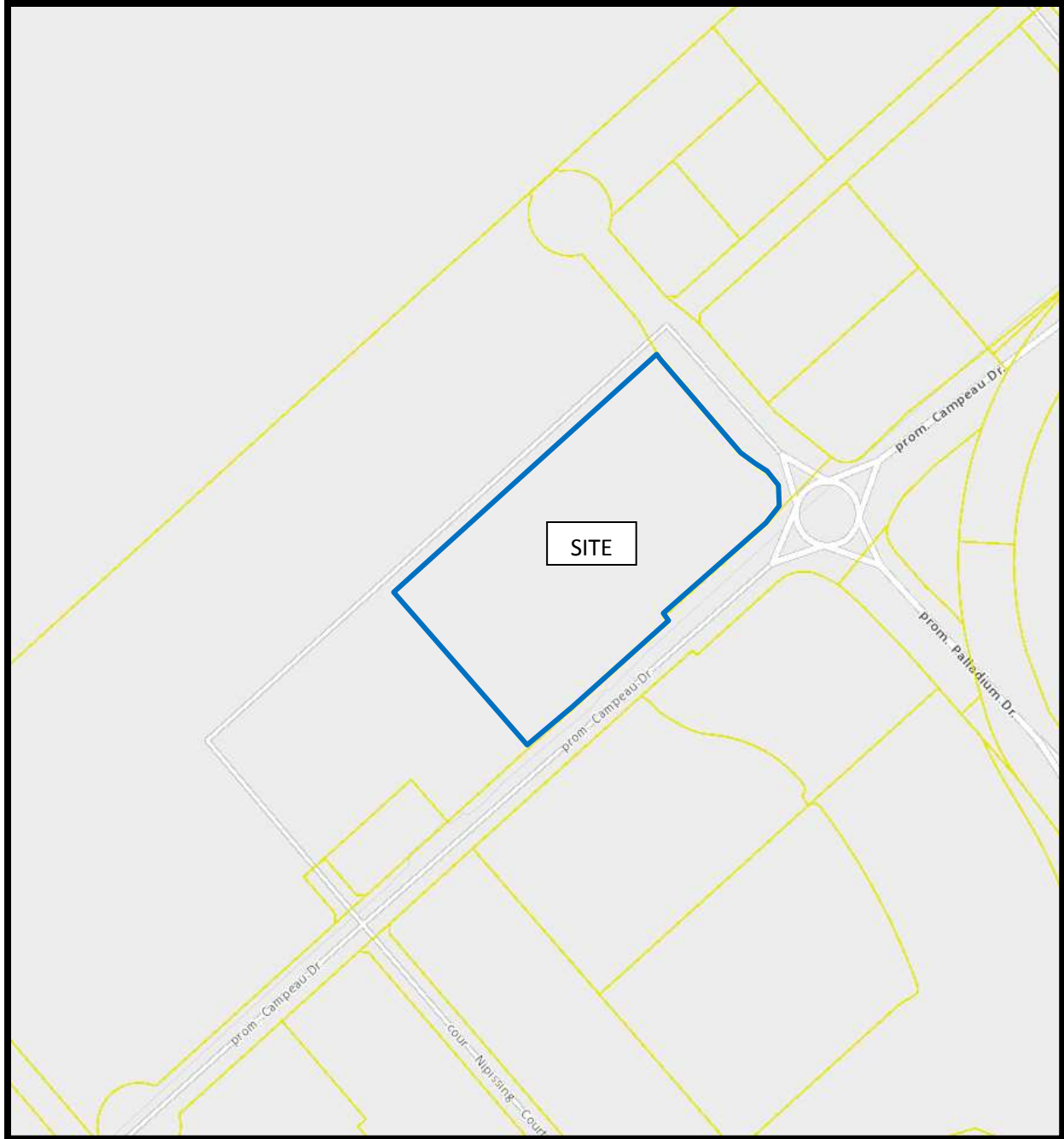


FIGURE 1
KEY PLAN

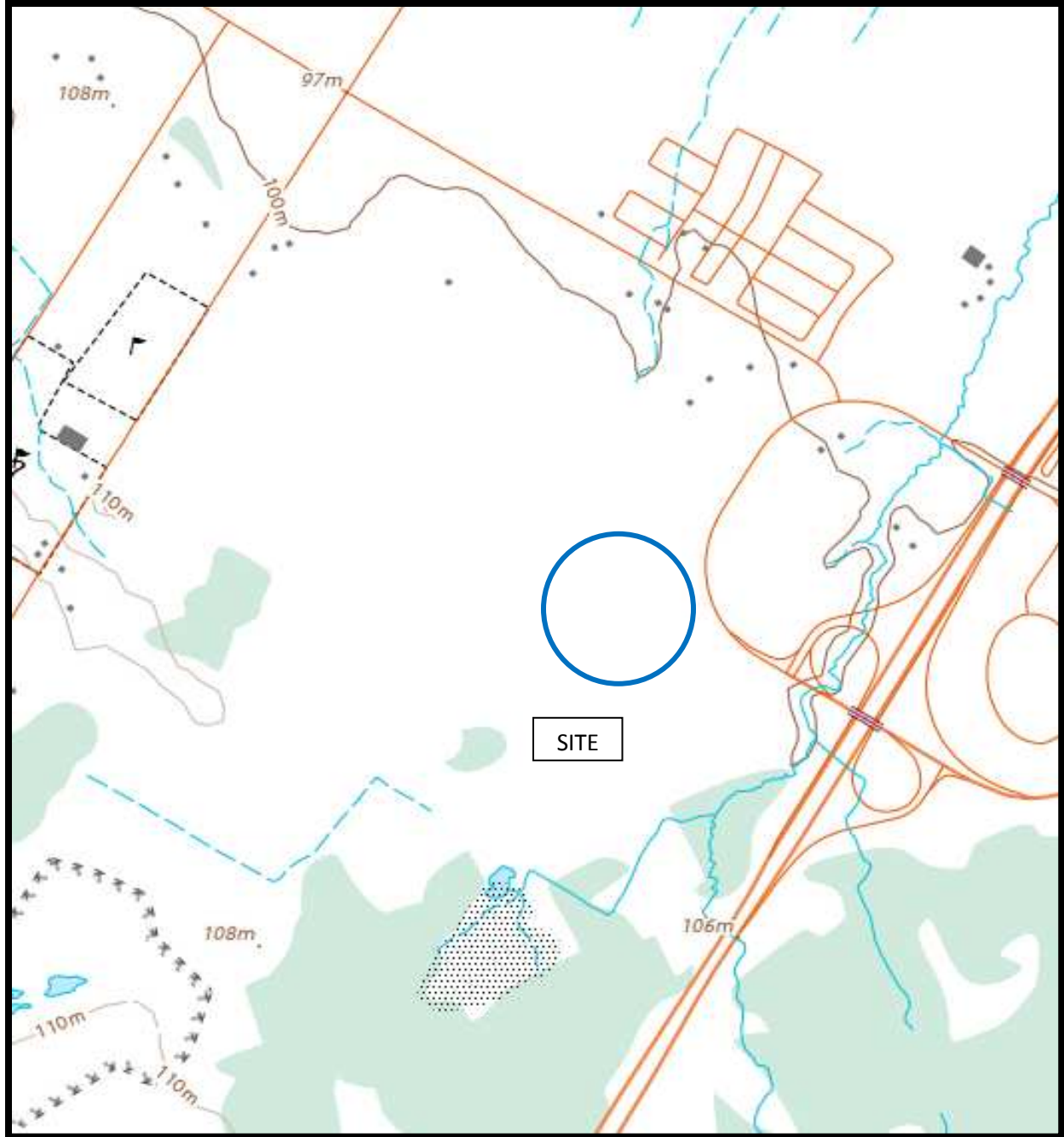
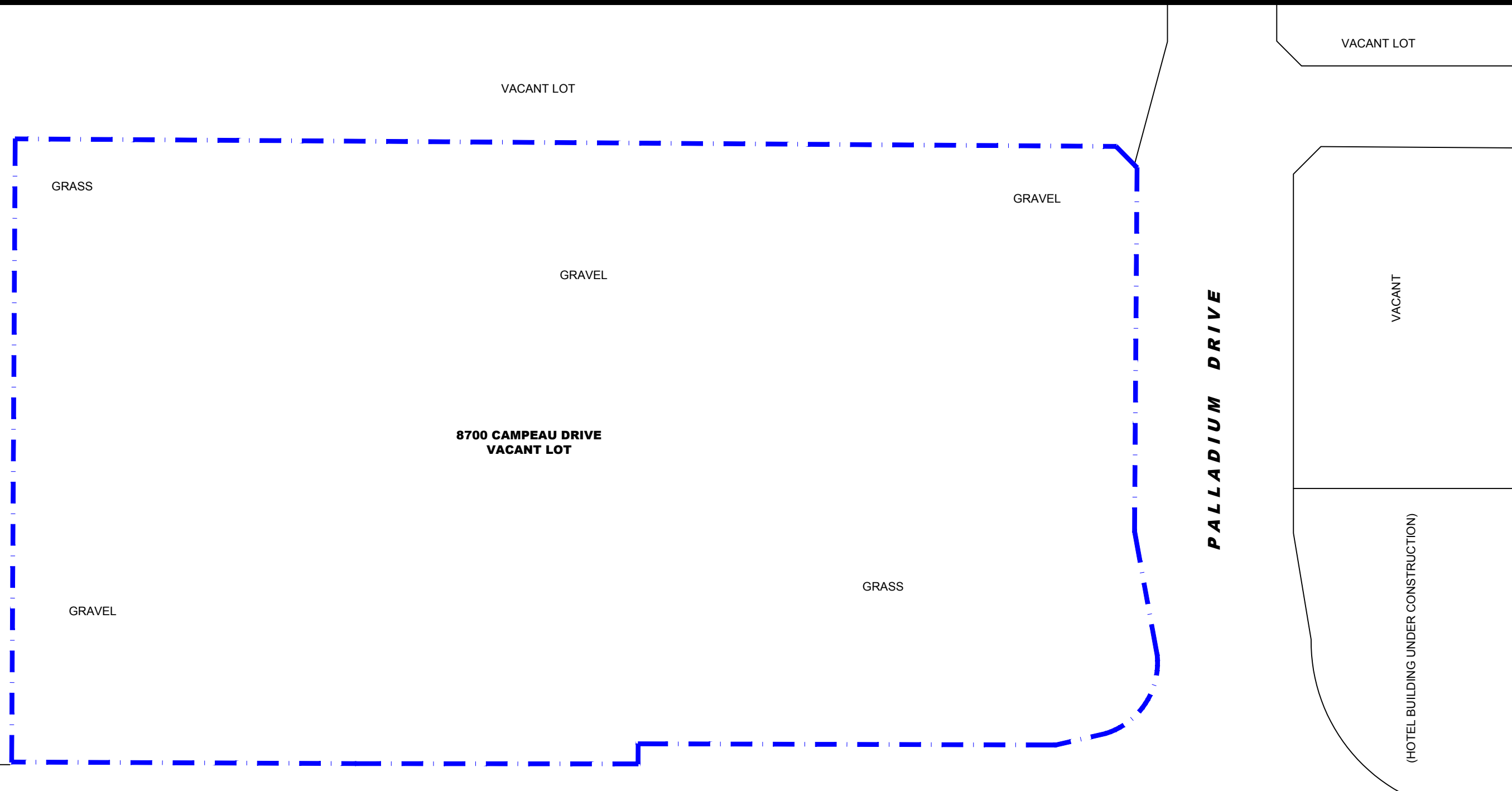
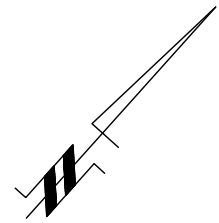


FIGURE 2
TOPOGRAPHIC MAP



**8700 CAMPEAU DRIVE
VACANT LOT**

PALLADIUM DRIVE

CAMPEAU DRIVE

(HOTEL BUILDING UNDER CONSTRUCTION)

patersongroup
consulting engineers

154 Colonnade Road South
Ottawa, Ontario K2E 7J5
Tel: (613) 226-7381 Fax: (613) 226-6344

NO.	REVISIONS	DATE	INITIAL
0			

TAGGART REALTY MANAGEMENT

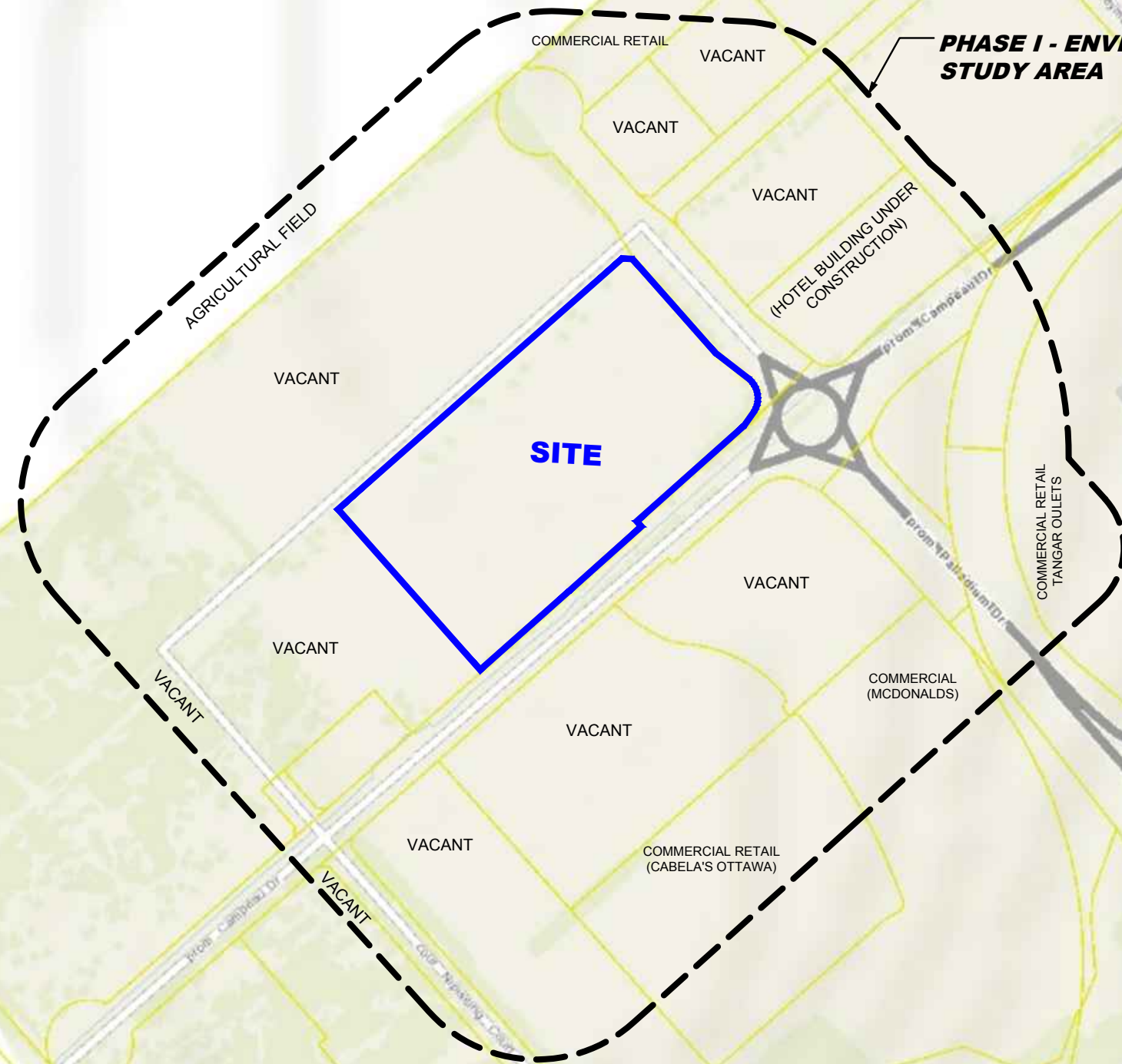
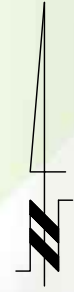
PHASE I - ENVIRONMENTAL SITE ASSESSMENT
8700 CAMPEAU DRIVE, AT PALLADIUM DRIVE

OTTAWA, ONTARIO

Title: **SITE PLAN**

Scale:	1:1000	Date:	06/2019
Drawn by:	YA	Report No.:	PE4659-1
Checked by:	NS	Dwg No.:	PE4659-1
Approved by:	MSD	Revision No.:	

p:\autocad\drawings\environmental\pe4659\pe4659-1-site plan.dwg



patersongroup
consulting engineers

154 Colonnade Road South
Ottawa, Ontario K2E 7J5
Tel: (613) 226-7381 Fax: (613) 226-6344

NO.	REVISIONS	DATE	INITIAL
0			

OTTAWA,
Title:

TAGGART REALTY MANAGMENT
PHASE I - ENVIRONMENTAL SITE ASSESSMENT
8700 CAMPEAU DRIVE, AT PALLADIUM DRIVE
SURROUNDING LAND USE PLAN

ONTARIO

Scale: 1:4000
Drawn by: YA
Checked by: NS
Approved by: MSD

Date: 06/2019
Report No.: PE4659-1
Dwg No.: **PE4659-2**
Revision No.:

APPENDIX 1

CHAIN OF TITLE

PLAN OF SUBDIVISION

AERIAL PHOTOGRAPHS

SITE PHOTOGRAPHS



READ Abstracts Limited

331 Cooper Street, Suite 300, Ottawa, Ontario K2P 0A4

Email: search@readsearch.com

Tel.: 613-236-0664

Fax: 613-236-3677

ENVIRONMENTAL SEARCH

December 6, 2013

Patersongroup
Attn: Xavier Redhead

BRIEF DESCRIPTION OF LAND:

3001 Palladium Drive
Part of Lot 3, Concession 1 Huntley
PIN: 04508-0095

LAST REGISTERED OWNER: WEST OTTAWA LAND HOLDINGS INC.

CHAIN OF TITLE:

South ½ Lot 3, Concession 1, Huntley

Patent dated June 6, 1828
To George Burroughs

Will HU1546 registered April 16, 1879
From To George Burroughs to Wife Ann, et al.

Deed HU5104 registered January 9, 1901
From Benjamin N. Burroughs to Armer Gracey

Deed HU6194 registered March 19, 1908
From Armer Gracey to James Boyd

Deed HU7131 registered June 11, 1915
From James Boyd to William J. D. Boyd

Deed HU8529 registered April 3, 1926
From William J. D. Boyd to James Bradley

Deed HU8946 registered September 8, 1930
From James Bradley to Silas C. Bradley

Deed HU10140 registered May 25, 1945
From Silas C. Bradley to John Sample

Deed HU12870 registered November 6, 1968
From Estate of John Sample to Lawrence H. Sample

Deed N659031 registered May 14, 1993
From Lawrence Howard Sample to Terrace Corporation

North ½ Lot 3, Concession 1, Huntley

Patent dated April 16, 1836
To Nathaniel Osborne

Deed HU2223 registered April 9, 1868
From James Korrow to William black

Deed HU4879 registered March 30, 1900
From Robert L. Black (Estate of William Black) to Frederick S. Richardson

Deed HU6025 registered March 16, 1907
From Frederick S. Richardson to Thomas J. Black

Deed HU7852 registered August 19, 1920
From Thomas J. Black to Leslie H. Black

Deed N540740 registered June 29, 1990
From Chritiana Hope Black and Eunice Joy Grant (Estate of Leslie H. Black) to 867723
Ontario Inc.

Deed N689214 registered April 6, 1994
From 867723 Ontario Inc. To Terrace Coporation

Common (PIN 04508-0095)

Mortgage N698192 registered July 7, 1994
From Terrace Corporation to I. F. Propco Holdings (Ontario) 19 Ltd.

Power of Sale OC701209 registered March 28, 2007, under Mortgage N698192
From I. F. Propco Holdings (Ontario) 19 Ltd. to West Ottawa Land Holdings Inc.

Lease OC933655 registered December 2, 2008
From West Ottawa Land Holdings Inc. To Maple Ridge Farms



READ Abstracts Limited

331 Cooper Street, Suite 300, Ottawa, Ontario K2P 0A4

Email: search@readsearch.com

Tel.: 613-236-0664

Fax: 613-236-3677

ENVIRONMENTAL SEARCH

December 4, 2013

Patersongroup
Attn: Sean Moggridge

BRIEF DESCRIPTION OF LAND:

370 Huntmar Drive
Part of Lots 3 and 4, Concession 1 March
PIN: 04510-0344

LAST REGISTERED OWNER: MINTO COMMUNITIES INC.

CHAIN OF TITLE:

Lot 3

Patent dated January 5, 1864
To William McCurdy

Deed MH877 registered August 8, 1888
From William McCurdy to Alex McCurdy

Deed MH2760 registered November 22, 1820
From Estate of Alex McCurdy to Henry O. McCurdy

Deed MH4519 registered February 25, 1960
From Henry O. McCurdy to Arthur Fentiman and Mary L. Fentiman

Deed CT115431 registered January 14, 1970
From Arthur Fentiman and Mary L. Fentiman to Rock Pile Investments Co. Limited

Deed N281992 registered April 2, 1985
From Rock Pile Investments Co. Limited to 595572 Ontario Ltd.

Deed N491885 registered June 22, 1989

From 595572 Ontario Ltd. To Leah Fentiman

Deed N518263 registered December 29, 1989
From Leah Fentiman to 867723 Ontario Inc.

Deed N689214 registered April 6, 1994
From 867723 Ontario Inc. To Terrace Corporation

Power of Sale OC342521 registered June 15, 2004
To West Kanata Development Corporation

Deed OC1059407 registered December 8, 2009
From West Kanata Development Corporation to Minto Communities Inc.

Lot 4

Patent dated October 12, 1841
To Canada Company

Deed MH904 registered February 26, 1889
From William Robertson to James Robertson

Deed MH1780 registered June 15, 1905
From James Robertson to Adam H. Acres

Deed MH2555 registered May 7, 1917
From Adam H. Acres to William A. S. McCurdy

Deed MH5656 registered November 5, 1965
From Estate of William A. S. McCurdy to Clarence McCurdy and Calvin C. R. McCurdy

Deed CT236258 registered September 8, 1976
From Clarence McCurdy and Calvin C. R. McCurdy to Doris M. McCurdy

Deed CT256342 registered October 3, 1977
From Doris M. McCurdy to Claudio Gnani and Dorothy Gnani

Deed NS228729 registered February 9, 1984
From Doris McCurdy to Clarence and Calvin McCurdy

Deed NS260642 registered October 5, 1984
From Claudio Gnani and Dorothy Gnani to Bruce O'Callaghan

Deed N353470 registered September 2, 1986

From Doris McCurdy to Wayne and Jane Patterson

Deed N418768 registered December 1, 1987
From Clarence and Calvin McCurdy to Khalil Swaita

Deed N516978 registered December 15, 1989
From Khalil Swaita to Terrace Investments Ltd.

Deed LT1320584 registered September 15, 2000
From Bruce O'Callaghan to Anton and Darlene Plangger

Deed OC3530 registered September 28, 2001
From Anton and Darlene Plangger To Thang Quach

Deed OC165652 registered January 31, 2003
From Thang Quach to Daniel Plourde

Deed OC342562 registered June 15, 2004
From Daniel Plourde to Jane Patterson

Deed OC342597 registered June 15, 2004
From Jane Patterson to George Nichols

Power of Sale OC342521 registered June 15, 2004
To West Kanata Development Corporation

Deed OC577558 registered March 31, 2006
From Estate of George Nichols to West Kanata Development Corporation

Deed OC1059407 registered December 8, 2009
From West Kanata Development Corporation to Minto Communities Inc.



READ Abstracts Limited

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Email: search@readsearch.com

Tel.: 613-236-0664

Fax: 613-236-3677

ENVIRONMENTAL SEARCH

December 9, 2013

Patersongroup
Attn: Xavier Redhead

BRIEF DESCRIPTION OF LAND:

405 Huntmar Drive
Part of Lot 4, Concession 1 Huntley
PIN: 04508-0026

LAST REGISTERED OWNER: WEST OTTAWA LAND HOLDINGS (2) INC.

CHAIN OF TITLE:

Patent dated October 26, 1846
To Canada Company

Deed HU455 registered March 4, 1873
From John Wilson to John Wilson

Deed HU9015 registered July 27, 1931
From Estate of John Wilson to Sheriff Wilson

Deed HU12314 registered April 4, 1966
From Sheriff Wilson to Weldon J. Wilson

Deed HU12498 registered May 8, 1967
From Sheriff Wilson to Weldon J. Wilson

Deed CT184066 registered November 23, 1973
From Weldon J. Wilson to Beverly J. Wilson

Deed N487790 registered May 25, 1989
From Beverly J. Wilson to Weldon John Wilson

Mortgage N544614 registered August 1, 1990
From Weldon John Wilson to Betty Polowin, Dave Polowin, Dave Polowin Real Estate Ltd., Gerry Polowin, Central Guaranty Trust Co., 115967 Canada Inc.

Power of Sale N648160 registered January 18, 1993
From Weldon John Wilson to Betty Polowin, Dave Polowin, Dave Polowin Real Estate Ltd., Gerry Polowin, Central Guaranty Trust Co., 115967 Canada Inc.

Deed N650695 registered February 12, 1993
From Betty Polowin, Dave Polowin, Dave Polowin Real Estate Ltd., Gerry Polowin, Central Guaranty Trust Co., 115967 Canada Inc. To Betty Polowin, Dave Polowin, Dave Polowin Real Estate Ltd., Gerry Polowin, Central Guaranty Trust Co., 115967 Canada Inc.

Deed N652556 registered March 4, 1993
From 115967 Canada Inc. To Advanced Technology & Innovations MS Inc., 115967 Canada Inc.

Deed N672387 registered September 22, 1993
From Central Guaranty Trust Co. To 115967 Canada Inc.

Deed LT1313199 registered August 24, 2000
From Dave Polowin, Betty Polowin, Dave Polowin Real Estate Inc. To Stephen Polowin

Deed OC338153 registered June 3, 2004
From Advanced Technology & Innovations MS Inc. To ATR Advanced Technical Resources Inc.

Deed OC353280 registered July 9, 2004
From 115967 Canada Inc., ATR Advanced Technical Resources Inc., Gerry Polowin, Stephen Polowin, to 2049824 Ontario Inc.

Deed OC1413630 registered September 27, 2012
From 2049824 Ontario Inc. To West Ottawa Land Holdings (2) Inc.



READ Abstracts Limited

331 Cooper Street, Suite 300, Ottawa, Ontario K2P 0A4

Email: search@readsearch.com

Tel.: 613-236-0664

Fax: 613-236-3677

ENVIRONMENTAL SEARCH

December 12, 2013

Patersongroup
Attn: Xavier Redhead

BRIEF DESCRIPTION OF LAND:

425 Huntmar Drive
Part of Lot 4, Concession 1 Huntley
PIN: 04508-0025

LAST REGISTERED OWNER: WEST OTTAWA LAND HOLDINGS (2) INC.

CHAIN OF TITLE:

Patent dated October 26, 1846
To Canada Company

Deed HU455 registered March 4, 1873
From John Wilson to John Wilson

Deed HU9015 registered July 27, 1931
From Estate of John Wilson to Sheriff Wilson

Deed N464661 registered November 10, 1988
From Sheriff Wilson to 795101 Ontario Limited

Mortgage N552953 registered October 12, 1990
From 795101 Ontario Limited to Maynard Denison

Power of Sale N681798 registered December 29, 1993
From 795101 Ontario Limited to Maynard Denison

Transmission Application OC1338290 registered March 1, 2012
From Maynard Denison to Margaret Beverley Denison

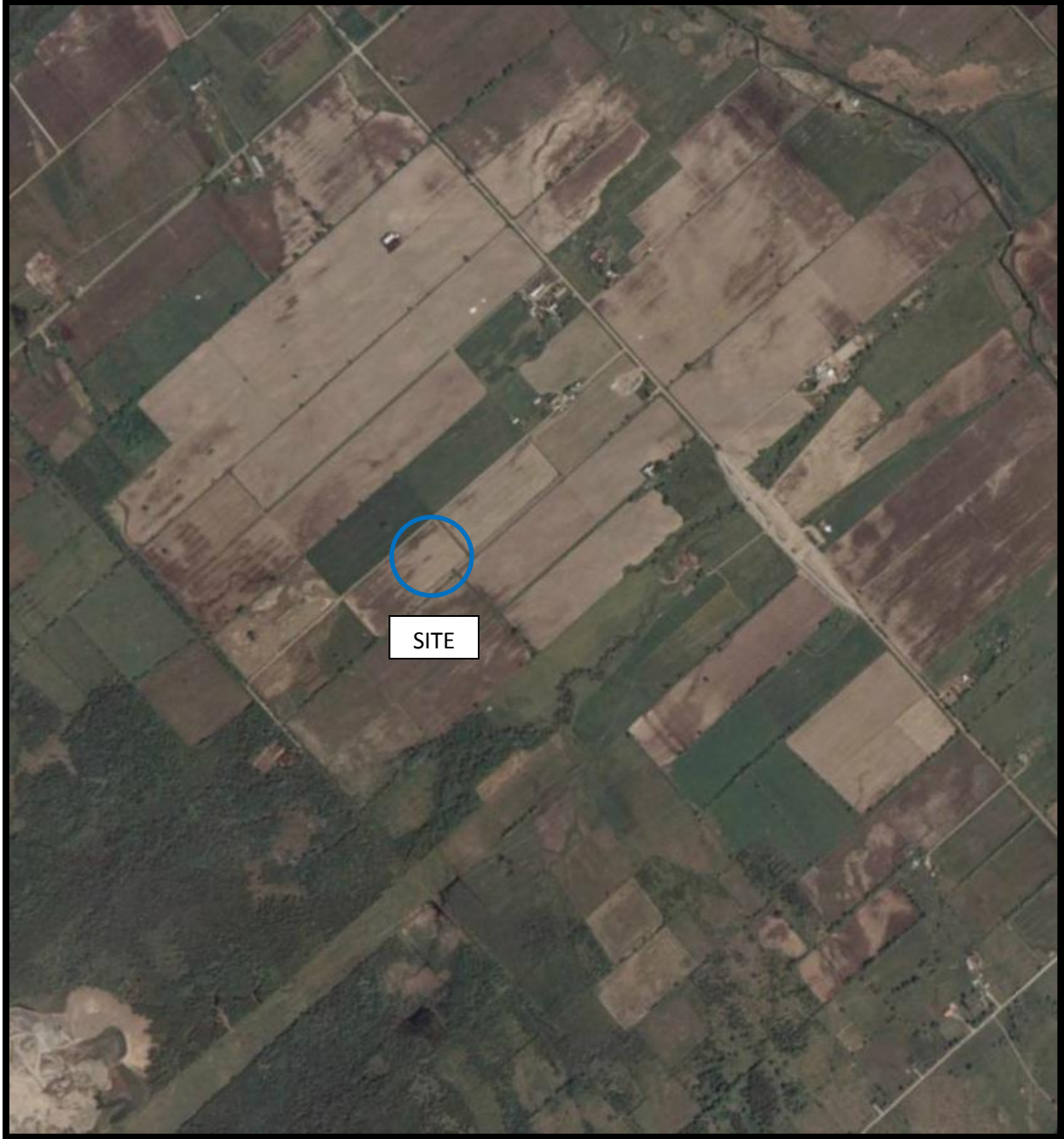
Transfer By Personal Rep. OC1338374 registered March 1, 2012
From Margaret Beverley Denison to West Ottawa Land Holdings Inc.



AERIAL PHOTOGRAPH
1947



AERIAL PHOTOGRAPH
1959



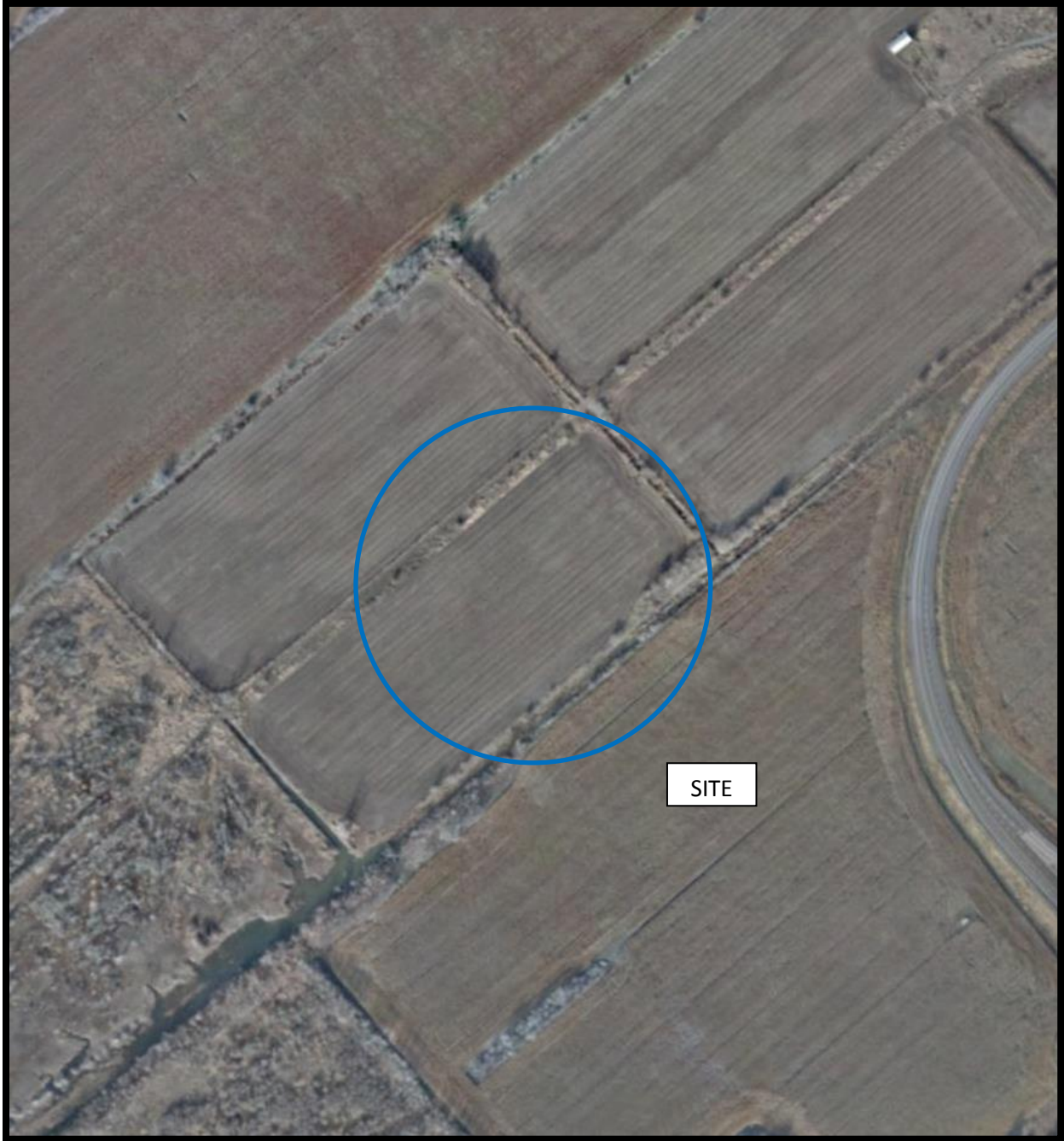
AERIAL PHOTOGRAPH
1976



AERIAL PHOTOGRAPH
1988



AERIAL PHOTOGRAPH
2002



AERIAL PHOTOGRAPH
2009



AERIAL PHOTOGRAPH
2017

Site Photographs

PE4659

8700 Campeau Drive, at Palladium Drive

June 20, 2019



Photograph 1: View of the south portion of the property, facing north from Campeau Drive.



Photograph 2: View of the west portion of the property, facing east.

Site Photographs

PE4659

8700 Campeau Drive, at Palladium Drive

June 20, 2019



Photograph 3: View of the north portion of the property, facing south.



Photograph 4: View of the east portion of the property, facing west from Palladium Drive.

Site Photographs

PE4659

8700 Campeau Drive, at Palladium Drive

June 20, 2019



Photograph 5: View of a pad-mounted transformer, located on the south portion of the subject property.

APPENDIX 2

MECP FREEDOM OF INFORMATION SEARCH RESULTS

MECP WATER WELL RECORDS

TSSA CORRESPONDENCE

CITY OF OTTAWA HLUI SEARCH RESULTS

Freedom of Information Request

This form is for requesting documents which are in the Ministry's files on environmental concerns related to properties. Please refer to the guide on completion and use of this form. Our fax no. is (416) 314-4285.

Requester Data			For Ministry Use Only	
Name, Company Name, Mailing Address and Email Address of Requester Nick Sullivan Paterson Group Inc. 154 Colonnade Road Ottawa, ON K2E 7J5 Email address: nsullivan@patersongroup.ca			FOI Request No.	Date Request Received
			Fee Paid <input type="checkbox"/> ACCT <input type="checkbox"/> CHQ <input type="checkbox"/> VISA/MC <input type="checkbox"/> CASH	
Telephone/Fax Nos. Tel. 613-226-7381 Fax 613-226-6344	Your Project/Reference No. PE4659-1	Signature/Print /Name of Requester Nick Sullivan	<input type="checkbox"/> CNR <input type="checkbox"/> ER <input type="checkbox"/> NOR <input type="checkbox"/> SWR <input type="checkbox"/> WCR <input type="checkbox"/> SAC <input type="checkbox"/> IEB <input type="checkbox"/> EAA <input type="checkbox"/> EMR <input type="checkbox"/> SWA	
Request Parameters				
Municipal Address / Lot, Concession, Geographic Township (Municipal address essential for cities, towns or regions) 8700 Campeau Drive, Ottawa, Ontario Part of Lot 4, Concession 1; Part 1 of Registered Plan 4R28637; Geographic Township of Huntley				
Present Property Owner(s) and Date(s) of Ownership Taggart Realty Management				
Previous Property Owner(s) and Date(s) of Ownership				
Present/Previous Tenant(s), (if applicable)				
Search Parameters			Specify Year(s) Requested	
<i>Files older than 2 years may require \$60.00 retrieval cost. There is no guarantee that records responsive to your request will be located.</i>				
Environmental concerns (General correspondence, occurrence reports, abatement)			all	
Orders			all	
Spills			all	
Investigations/prosecutions ➤ Owner AND tenant information must be provided			all	
Waste Generator number/classes			all	
Certificates of Approval ➤ Proponent information must be provided				
1985 and prior records are searched manually. Search fees in excess of \$300.00 could be incurred, depending on the types and years to be searched. Specify Certificates of Approval number(s) (if known). If supporting documents are also required, mark SD box and specify type e.g. maps, plans, reports, etc.				
			SD	Specify Year(s) Requested
air - emissions				1986-present
water - mains, treatment, ground level, standpipes & elevated storage, pumping stations (local & booster)				1986-present
sewage - sanitary, storm, treatment, stormwater, leachate & leachate treatment & sewage pump stations				1986-present
waste water - industrial discharges				1986-present
waste sites - disposal, landfill sites, transfer stations, processing sites, incinerator sites				1986-present
waste systems - PCB destruction, mobile waste processing units, haulers: sewage, non-hazardous & hazardous waste				1986-present
pesticides - licenses				1986-present

A \$5.00 non-refundable application fee, payable to the Minister of Finance, is mandatory. The cost of locating on-site and/or preparing any record is \$30.00/hour and 20 cents/page for photocopying and you will be contacted for approval for fees in excess of \$30.00.

Ministry of
the Environment

Freedom of Information and
Protection of Privacy Office

12th Floor
40 St. Clair Avenue West
Toronto ON M4V 1M2
Tel: (416) 314-4075
Fax: (416) 314-4285

Ministère de
l'Environnement

Bureau de l'accès à l'information
et de la protection de la vie privée

12^e étage
40, avenue St. Clair ouest
Toronto ON M4V 1M2
Tél. : (416) 314-4075
Télééc. : (416) 314-4285



December 4, 2013

Xavier Redhead
Paterson Group Inc.
154 Colonnade Road
Ottawa, ON K2E 7J5

Dear Xavier Redhead:

**RE: Freedom of Information and Protection of Privacy Act Request
Our File #: A-2013-06227, Your Reference #: PE3146**

This letter is in response to your request made pursuant to the *Freedom of Information and Protection of Privacy Act* relating to 3001 Palladium Drive, 405 & 425 Huntmar Drive, Ottawa.

After a thorough search of the Ministry's Ottawa District Office, Investigations and Enforcement Branch, Environmental Assessment and Approvals Branch, Environmental Monitoring and Reporting Branch, Sector Compliance Branch and Safe Drinking Water Branch, records were located in response to your request. It is my decision to provide full access to the attached information.

In accordance with Section 57 of the *Freedom of Information and Protection of Privacy Act*, detailed below are our charges:

• Search Time 1 hour @ \$30/hour	\$ 30.00
• Copying 8 pages @ \$0.20/page	\$ 1.60
• Delivery	3.00
• Total	\$ 34.60
• Deposit Received	- 30.00
• BALANCE WAIVED (NOT REQUIRED)	\$ 4.60

You may request a review of my decision by contacting the Information and Privacy Commissioner/Ontario, 2 Bloor Street East, Suite 1400, Toronto, ON M4W 1A8 (800-387-0073 or 416-326-3333). Please note that there is a \$25.00 fee and you only have 30 days from receipt of this letter to request a review.

If you have any questions regarding this matter, please contact Karen Dias at (416) 314-6129.

Yours truly,

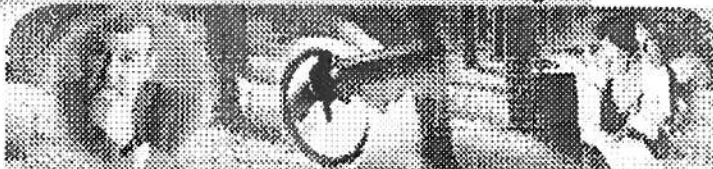

Heidi Ritscher
FOI Manager

Attachments



hwin

Administration



Search

Generator Details

Registration/Notification Number

ON9067188

Legal Company Name

Primary Name: 2049824 ONTARIO INC. Division Name: NA

Company Operating Name

Primary Name: 2049824 ONTARIO INC. Division Name: NA

Mailing Address

Division Building:	NA	Post Box Number:	NA
Address Line 1:	900 CLYDE AVENUE	Address Line 2:	NA
Town/City:	OTTAWA	Postal Code / Zip Code:	K1Z 5A5
County: (if inside Ontario)	OTTAWA CARLTON (RM)	Province/State (If inside Canada/US)	ONTARIO
County: (if outside Ontario)	NA	Province / State (If outside Canada / US)	NA
Country:	Canada		

Site Location

This should be the street address of the site that is being registered. You are required to register each site that generates hazardous waste separately.

Division Building:	NA	Post Box Number:	NA
Address Line 1:	405 HUNTMAR ROAD		
Address Line 2:	NA		
Town/City:	OTTAWA	Postal Code / Zip Code:	K2S 1B9
County: (if inside Ontario)	OTTAWA CARLTON (RM)	Province / State (If inside Canada / US)	ONTARIO
County: (if outside Ontario)	NA	Province / State (If outside Canada / US)	NA
Country:	Canada		



Search

Company Name: 2049824 ONTARIO INC.
Company Number: ON9067188 (Generator)

Active Waste Classes

Active Waste Class Listing

[Add New Waste Class](#) | [Inactive waste classes](#)

Active On-site Waste Classes

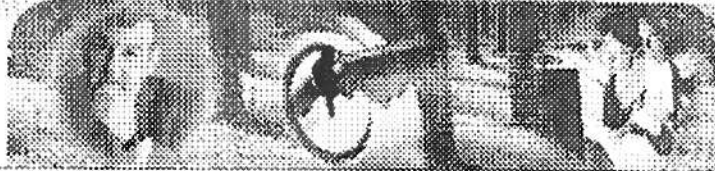
Waste Class	View Details	Hazardous Waste Number (per waste stream)	Reg. 347 Schedules	Disposal Method	Part 2B required	Part 2B complete	Physical State	Off-Site	Status
221 - I	View Details	D001	5, 13	Land Disposal	Y	Y	Liquid	Off-Site	Active
251 - L	View Details	N/A					Liquid	Off-Site	Active
252 - L	View Details	N/A					Liquid	Off-Site	Active





hwin

Administration



Search

Company Name: 2049824 ONTARIO INC.
 Company Number: ON9067188 (Generator)

Inactive Waste Classes

Inactive Waste Class Listing

[Add New Waste Class](#) | [Active waste classes](#)

Inactive Off-site Waste Classes

Waste Class	Physical State	Off-Site	Status	Activate
221 - L	Liquid	Off-Site	Inactive	View Details



This site maintained by the Government of Ontario

Technical inquires to [Webmaster](#).
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Ontario

Ministry of the Environment
Ministère de l'Environnement

CERTIFICATE OF APPROVAL
INDUSTRIAL SEWAGE WORKS
NUMBER 6750-6DLH9U

2049824 Ontario Inc.
240-55 Metcalfe Street
Ottawa, Ontario
K1A 1M5

Site Location: 405 Huntmar Drive
Ottawa City

You have applied in accordance with Section 53 of the Ontario Water Resources Act for approval of:

the establishment of stormwater management Works for the collection, transmission, treatment and disposal of stormwater run-off from a catchment area of approximately 4.36 hectares, to provide normal water quality protection and to attenuate post-development peak flows to pre-development levels, discharging to Feedmill Creek, for all storm events up to and including the 100-year return storm, consisting of the following:

Stormwater Management System

- two (2) sedimentation ponds, one being approximately 100 metres by 10 metres and the second being approximately 50 metres by 10 metres with the volumetric volumes being approximately 111 cubic metres and 84 cubic metres respectively; the outlets of the ponds being controlled with a rock channel with 1:1 side slopes (vertical to horizontal) discharging into Feedmill Creek;

including erosion/sedimentation control measures during construction and all other controls and appurtenances essential for the proper operation of the aforementioned *Works* :

all in accordance with the Application for Approval of Industrial Sewage Works submitted by Frank Donato, President of 2049824 Ontario Inc, received April 19, 2005 and all supporting information.

For the purpose of this Certificate of Approval and the terms and conditions specified below, the following definitions apply:

"*Certificate* " means this entire certificate of approval document, issued in accordance with Section 53 of the Ontario Water Resources Act, and includes any schedules;

"*Director* " means any *Ministry* employee appointed by the Minister pursuant to section 5 of the Ontario Water Resources Act;

"*District Manager* " means the District Manager of the Ottawa District Office of the *Ministry* ;

"*Ministry* " means the Ontario Ministry of the Environment;

"*Owner* " means 2049824 Ontario Inc. and includes its successors and assignees;

"*Works* " means the sewage works described in the *Owner* 's application, this *Certificate* and in the supporting documentation referred to herein, to the extent approved by this *Certificate* .

You are hereby notified that this approval is issued to you subject to the terms and conditions outlined below:

TERMS AND CONDITIONS

1. GENERAL PROVISIONS

(1) Except as otherwise provided by these Conditions, the *Owner* shall design, build, install, operate and maintain the *Works* in accordance with the description given in this *Certificate* , the application for approval of the works and the submitted supporting documents and plans and specifications as listed in this *Certificate* .

(2) Where there is a conflict between a provision of any submitted document referred to in this *Certificate* and the Conditions of this *Certificate* , the Conditions in this *Certificate* shall take precedence, and where there is a conflict between the listed submitted documents, the document bearing the most recent date shall prevail.

(3) Where there is a conflict between the listed submitted documents, and the application, the application shall take precedence unless it is clear that the purpose of the document was to amend the application.

2. EXPIRY OF APPROVAL

The approval issued by this *Certificate* will cease to apply to those parts of the *Works* which have not been constructed within five (5) years of the date of this *Certificate* .

3. CHANGE OF OWNER

The *Owner* shall notify the *District Manager* and the *Director* , in writing, of any of the following changes within thirty (30) days of the change occurring:

(a) change of *Owner* ;

(b) change of address of the *Owner* ;

(c) change of partners where the *Owner* is or at any time becomes a partnership, and a copy of the most recent declaration filed under the Business Names Act, R.S.O. 1990, c.B17 shall be included in the notification to the *District Manager* ; and

(d) change of name of the corporation where the *Owner* is or at any time becomes a corporation, and a copy of the most current information filed under the Corporations Information Act, R.S.O. 1990, c. C39 shall be included in the notification to the *District Manager* .

4. OPERATION AND MAINTENANCE

(1) The *Owner* shall ensure that the design minimum liquid retention volumes for the two ponds are maintained at all times.

(2) The *Owner* shall inspect the *Works* at least once a year and, if necessary, clean and maintain the *Works* to prevent the excessive buildup of sediments and/or vegetation.

(3) The *Owner* shall maintain a log-book to record the results of these inspections and any cleaning and maintenance operations undertaken, and shall keep the log-book at the corporate office for inspection by the *Ministry* . The log-book shall include the following:

(a) the name of the *Works* ;

(b) the date and results of each inspection, maintenance and cleaning, including an estimate of the quantity of any materials removed; and

(c) the date of each spill within the catchment area, including follow-up actions / remedial measures undertaken.

5. RECORD KEEPING

The *Owner* shall retain for a minimum of five (5) years from the date of their creation, all records and information related to or resulting from the operation and maintenance activities required by this *Certificate* .

The reasons for the imposition of these terms and conditions are as follows:

1. Condition 1 is imposed to ensure that the *Works* are built and operated in the manner in which they were described for review and upon which approval was granted. This condition is also included to emphasize the precedence of Conditions in the *Certificate* and the practice that the Approval is based on the most current document, if several conflicting documents are submitted for review.

2. Condition 2 is included to ensure that, when the *Works* are constructed, the *Works* will meet the standards that apply at the time of construction to ensure the ongoing protection of the environment.
3. Condition 3 is included to ensure that the Ministry records are kept accurate and current with respect to approved *Works* and to ensure that subsequent Owners of the *Works* are made aware of the certificate and continue to operate the *Works* in compliance with it.
4. Condition 4 is included to require that the *Works* be properly operated and maintained such that the environment is protected.
5. Condition 5 is included to require that all records are retained for a sufficient time period to adequately evaluate the long-term operation and maintenance of the *Works*.

In accordance with Section 100 of the Ontario Water Resources Act, R.S.O. 1990, Chapter O.40, as amended, you may by written notice served upon me and the Environmental Review Tribunal within 15 days after receipt of this Notice, require a hearing by the Tribunal. Section 101 of the Ontario Water Resources Act, R.S.O. 1990, Chapter O.40, provides that the Notice requiring the hearing shall state:

1. The portions of the approval or each term or condition in the approval in respect of which the hearing is required, and;
2. The grounds on which you intend to rely at the hearing in relation to each portion appealed.

The Notice should also include:

3. The name of the appellant;
4. The address of the appellant;
5. The Certificate of Approval number;
6. The date of the Certificate of Approval;
7. The name of the Director;
8. The municipality within which the works are located;

And the Notice should be signed and dated by the appellant.

This Notice must be served upon:

The Secretary *
Environmental Review Tribunal
2300 Yonge St., 12th Floor
P.O. Box 2382
Toronto, Ontario
M4P 1E4

AND

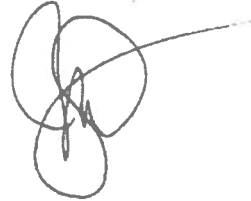
The Director
Section 53, *Ontario Water Resources Act*
Ministry of the Environment
2 St. Clair Avenue West, Floor 12A
Toronto, Ontario
M4V 1L5

* Further information on the Environmental Review Tribunal's requirements for an appeal can be obtained directly from the

Tribunal at: Tel: (416) 314-4600, Fax: (416) 314-4506 or www.ert.gov.on.ca

The above noted sewage works are approved under Section 53 of the Ontario Water Resources Act.

DATED AT TORONTO this 7th day of July, 2005



Mohamed Dhalla, P.Eng.
Director
Section 53, *Ontario Water Resources Act*

KD/

c: District Manager, MOE Ottawa.
Todd Perry, McIntosh Perry Consulting Engineers Ltd.

Nick Sullivan

From: Public Information Services <publicinformationsservices@tssa.org>
Sent: June-20-19 10:10 AM
To: Nick Sullivan
Subject: RE: Records Search Request (PE4659)

Hello Nick,

Thank you for your request for confirmation of public information.

We confirm that there are no records in our database of any fuel storage tanks at the subject addresses.

For a further search in our archives please complete our release of public information form found at https://www.tssa.org/en/about-tssa/release-of-public-information.aspx?_mid_=392 and email the completed form to publicinformationsservices@tssa.org or through mail along with a fee of \$56.50 (including HST) per location. The fee is payable with credit card (Visa or MasterCard) or with a Cheque made payable to TSSA.

Although TSSA believes the information provided pursuant to your request is accurate, please note that TSSA does not warrant this information in any way whatsoever.

Kind regards,

Yalini



Public Information Agent

Facilities and Business Services
345 Carlingview Drive
Toronto, Ontario M9W 6N9

Tel: +1-416-734-6222 | Fax: +1-416-734-3568 | E-Mail: publicinformationsservices@tssa.org

www.tssa.org



From: Nick Sullivan <nsullivan@Patersongroup.ca>
Sent: June 20, 2019 9:04 AM
To: Public Information Services <publicinformationsservices@tssa.org>
Subject: Records Search Request (PE4659)

Good morning,

Could you please complete a search of your records for **underground/aboveground storage tanks, historical spills, or other incidents/infractions** for the following addresses in Ottawa, Ontario:

Campeau Drive: 8700, 8560, 8555;
Palladium Drive: 3095, 3075, 3065, 3015;
Huntmar Drive: 421, 451;
Carp Road: 2488.

Thank you very much!

Nick Sullivan, B.Sc.

patersongroup
solution oriented engineering
over 60 years servicing our clients

154 Colonnade Road South
Ottawa, Ontario, K2E 7J5
Tel: (613) 226-7381 Ext. 208
Cell: (613) 913-3608

This electronic message and any attached documents are intended only for the named recipients. This communication from the Technical Standards and Safety Authority may contain information that is privileged, confidential or otherwise protected from disclosure and it must not be disclosed, copied, forwarded or distributed without authorization. If you have received this message in error, please notify the sender immediately and delete the original message.



File Number: C10-01-13-0301

December 11, 2013

Xavier Redhead
Paterson Group
154 Colonnade Road
Ottawa, ON
K2E 7J5

Sent via email [XRedhead@patersongroup.ca]

Dear Mr. Redhead,

**Re: Information Request
3001 Palladium Drive, 405 & 425 Huntmar Drive, Ottawa, Ontario (“Subject Property”)**

Internal Department Circulation

The Planning and Growth Management Department has the following information in response to your request for information regarding the Subject Property:

- The Solid Waste Services Branch notes that the Subject Property is with 5km of two waste management facilities: Tomlinson Transfer Station – 106 Westhunt Road and West Carleton Environmental Centre – 2301 Carp Road.

Search of Historical Land Use Inventory

This acknowledges receipt of the signed Disclaimer regarding your request for information from the City’s Historical Land Use Inventory (HLUI 2005) database for the Subject Property.

A search of the HLUI database revealed the following information:

- There is one activity associated with the Subject Property: Activity Number 13065.

The HLUI database was also searched for activity associated with properties located within 50m of the Subject Property. The search revealed the following:

*Shaping our future together
Ensemble, formons notre avenir*

City of Ottawa
Infrastructure Services and Community
Sustainability Department
Planning and Growth Management Branch

110 Laurier Avenue West, 4th Floor
Ottawa, ON K1P 1J1
Tel: (613) 580-2424 ext. 14743
Fax: (613) 560-6006
www.ottawa.ca

Ville d’Ottawa
Services d’infrastructure et Viabilité des
collectivités
Direction de l’approbation des demandes
d’aménagement et d’infrastructure

110, avenue Laurier Ouest, 4e étage
Ottawa (Ontario) K1P 1J1
Tél.: (613) 580-2424 ext. 14743
Téléç: (613) 560-6006
www.ottawa.ca

- There are seven activities associated with properties located within 50m of the Subject Property: Activity Number 13063, 13065, 14503, 14993, 2007, 13065, and 2421.

Please note that Activity Number 14993 has a PIN Certainty of "2". This identifier acknowledges that there is some uncertainty about the exact location of the land use activity and that the activity may or may not have been located on the Subject Property or on certain properties within 50m of the Subject Property. All database entries with a PIN Certainty of "2" require independent verification as to their precise location.

A site map has been included to show the location of the Subject Property as well as the location of all the activities noted above, including the HLUI database's location of the Activity Numbers with a PIN Certainty of "2".

Please note, as per the HLUI Disclaimer, that the information contained in the HLUI database has been compiled from publicly available records and other sources of information. The HLUI may contain erroneous information given that the records used as sources of information may be flawed. For instance, changes in municipal addresses over time may introduce error. Accordingly, all information from the HLUI database is provided on an "as is" basis with no representation or warranty by the City with respect to the information's accuracy or exhaustiveness in responding to the request.

Furthermore, the HLUI database and the results of this search in no way confirm the presence or absence of contamination or pollution of any kind. This information is provided on the assumption that it will not be relied upon by any person for any purpose whatsoever. The City of Ottawa denies all liability to any persons attempting to rely on any information provided from the HLUI database.

Please note that in responding to your request, the City of Ottawa does not guarantee or comment on the environmental condition of the Subject Property. You may wish to contact the Ontario Ministry of Environment for additional information.

If you have any further questions or comments, please contact John Bernier at 613-580-2424 ext. 14743 or HLUI@ottawa.ca

Sincerely,



David Wise, MUP, MCIP, RPP
Program Manager
Development Review (Suburban Services) - West
Planning and Growth Management Department

Attach: 09

cc: File no. C10-01-13-0301



CITY OF OTTAWA
HLUI ID: __6799CB

Report: RPTC_OT_DEV0122
Run On: 26 Nov 2013 at: 11:32:01

AREA (Square Metres): 8091.910

Study Year
2005

PIN
045100003

Multi-NAIC
N

Multiple Activities
N

Activity ID: 2421 Multiple PINS: N

PIN Certainty: 1 Previous Activity ID(s) :

Related PINS: 045100003

Name: CAVANAUGH CONSTRUCTION LIMITED

Address: 410 HUNTMAR ROAD, OTTAWA

Facility Type: Structural and Related Work

Comments 1:

Comments 2:

Generator Number: ON7832841

Storage Tanks:

HL References 1:

HL References 2:

HL References 3: 2003 PID

NAICS	SIC
238190	0

Company Name

CAVANAUGH CONSTRUCTION LIMITED

Year of Operation

c. 2003



CITY OF OTTAWA

HLUI ID: __670IXH

AREA (Square Metres): 1075828.344

Report: RPTC_OT_DEV0122

Run On: 26 Nov 2013 at: 11:36:05

Study Year
1998

PIN
045080032

Multi-NAIC
N

Multiple Activities
N

Activity ID: 13065

Multiple PINS: Y

PIN Certainty: 1

Previous Activity ID(s) : 5941

Related PINS: 045080008

Name: SPRATT SAND & GRAVEL

Address: CARP ROAD, KANATA

Facility Type: Sand and Gravel Pits

Comments 1: UTM = 424850E, 5014700N (1967). Area is 500m x 500m. Products; aggregates for concrete, asphalt road work, masons, precast plants & block plants.

Comments 2:

Generator Number:

Storage Tanks:

HL References 1: 1922-DMD-TM-Ottawa-Sheet#14, 1948-DND-ASE-NTS-31G/5, 1967-EMR-SMB-NTS-31G/5-7th ed., 1985-EMR-SMB-NTS-31G/5-11th ed., M.1970, M.1971, S.1970/71

HL References 2:

HL References 3:

NAICS	SIC
212323	82

Company Name

Spratt Sand & Gravel

Year of Operation

c. 1967-1999



CITY OF OTTAWA
 HLUI ID: __679AEC

Report: RPTC_OT_DEV0122
 Run On: 26 Nov 2013 at: 11:36:35

AREA (Square Metres): 1421147.079

Study Year	PIN	Multi-NAIC	Multiple Activities
1998	045080008	Y	Y
2005	045080087	Y	Y

Activity ID: 13063 Multiple PINS: N
 PIN Certainty: 1 Previous Activity ID(s) :
 Related PINS: 045080087
 Name: SPRATT AGGREGATES
 Address: 2300 CARP ROAD, CARP
 Facility Type: Stone Quarries
 Comments 1:
 Comments 2:
 Generator Number: ON0378101
 Storage Tanks:
 HL References 1:
 HL References 2:
 HL References 3: 2003 PID

NAICS SIC
 212315 0

Company Name	Year of Operation
SPRATT AGGREGATES	c. 2003
SPRATT SAND & GRAVEL	c. 2001



CITY OF OTTAWA
 HLUI ID: __679AEC

Report: RPTC_OT_DEV0122
 Run On: 26 Nov 2013 at: 11:36:35

AREA (Square Metres): 1421147.079

Study Year	PIN	Multi-NAIC	Multiple Activities
1998	045080008	Y	Y
2005	045080087	Y	Y

Activity ID: 13065 Multiple PINS: Y
 PIN Certainty: 1 Previous Activity ID(s) : 5941
 Related PINS: 045080008
 Name: SPRATT SAND & GRAVEL
 Address: CARP ROAD, KANATA
 Facility Type: Sand and Gravel Pits
 Comments 1: UTM = 424850E, 5014700N (1967). Area is 500m x 500m. Products; aggregates for concrete, asphalt road work, masons, precast plants & block plants.
 Comments 2:
 Generator Number:
 Storage Tanks:
 HL References 1: 1922-DMD-TM-Ottawa-Sheet#14, 1948-DND-ASE-NTS-31G/5, 1967-EMR-SMB-NTS-31G/5-7th ed., 1985-EMR-SMB-NTS-31G/5-11th ed., M.1970, M.1971, S.1970/71
 HL References 2:
 HL References 3:

NAICS	SIC
212323	82

Company Name	Year of Operation
Spratt Sand & Gravel	c. 1967-1999



CITY OF OTTAWA
 HLUI ID: __679AEC

Report: RPTC_OT_DEV0122
 Run On: 26 Nov 2013 at: 11:36:35

AREA (Square Metres): 1421147.079

Study Year	PIN	Multi-NAIC	Multiple Activities
1998	045080008	Y	Y
2005	045080087	Y	Y

Activity ID: 14503 Multiple PINS: N

PIN Certainty: 1 Previous Activity ID(s) : 5934, 5782, 5803, 5817, 5826, 5835, 5865, 5919, 5940, 5979, 5991, 6085, 6089, 6100, 6120, 6321, 6338, 6340, 6403, 6429, 6437

Related PINS: 045360337

Name: UNNAMED QUARRY

Address: , WEST CARLETON

Facility Type: Stone Quarries

Comments 1: UTM = 424125E, 5012550N (1985). Area is 450m x 500m

Comments 2:

Generator Number:

Storage Tanks:

HL References 1: 1922-DMD-TM-Ottawa Sheet #14; 1948-DND-ASE-NTS-31G/5; 1967-EMR-SMB-NTS-31/5-7th ed.; 1985-EMR-SMB-NTS-31/5-11th ed.; M.1955, M.1963; FIP1901,vol2; FIP1912,vol2; FIP1922,vol2; FIP1948-267-Proposed; FIP1956-267-26700,vol2

HL References 2: 1951-DND-ASE-NTS-31F/8E-3rd ed., 1964-EMR-SMB-NTS-31F/8-5th ed., 1976-EMR-SMB-NTS-31F/8-7th ed., 1989-EMR-CCM-NTS-31F/8-8th ed.

HL References 3: 1949-51-DND-ASE-NTS-31G/6W-2nd ed., 1965-EMR-SMB-NTS-31G/6W-3rd ed., 1975-EMR-SMB-NTS-31G/6-5th ed., 1983-EMR-SMB-NTS-31G/6-6th ed., Rideau Township Archivist

NAICS	SIC
212317	81
212314	81
212315	81
212316	81
212323	82



CITY OF OTTAWA
HLUI ID: __679AEC

Report: RPTC_OT_DEV0122
Run On: 26 Nov 2013 at: 11:36:35

AREA (Square Metres): 1421147.079

Study Year	PIN	Multi-NAIC	Multiple Activities
1998	045080008	Y	Y
2005	045080087	Y	Y

Company Name	Year of Operation
Unnamed Quarry	c. 1989
Unnamed Quarry	c. 1985
Unnamed Quarry	c. 1948
Unnamed Quarry	c. 1975
Unnamed Quarry	c. 1951
Unnamed Quarry	c. 1930
Unnamed Quarry	c. 1979
Unnamed Quarry	c. 1948-1967
Unnamed Quarry	c. 1975-1983
Unnamed Plant	c. 1985
Unnamed Quarry	c. 1967
Unnamed Quarry	c. 1967-1985
Unnamed Quarry	c. 1979
Unnamed Quarry	c. 1922-1985
Unnamed Sand/Gravel Pit	c. 1964



CITY OF OTTAWA
 HLUI ID: __679AEC

Report: RPTC_OT_DEV0122
 Run On: 26 Nov 2013 at: 11:36:35

AREA (Square Metres): 1421147.079

Study Year	PIN	Multi-NAIC	Multiple Activities
1998	045080008	Y	Y
2005	045080087	Y	Y

Activity ID: 14993 Multiple PINS: Y
 PIN Certainty: 2 Previous Activity ID(s) : 5259
 Related PINS: 044870284
 Name: YOUNG'S PAVING INC.
 Address: 2300 CARP ROAD, WEST CARLETON
 Facility Type: Other Petroleum and Coal Products Industries
 Comments 1:
 Comments 2:
 Generator Number:
 Storage Tanks:
 HL References 1: SC98
 HL References 2:
 HL References 3:

NAICS	SIC
324121	369

Company Name	Year of Operation
Young's Paving Inc.	c. 1998



CITY OF OTTAWA

HLUI ID: __679AEC

AREA (Square Metres): 1421147.079

Report: RPTC_OT_DEV0122

Run On: 26 Nov 2013 at: 11:36:35

Study Year	PIN	Multi-NAIC	Multiple Activities
1998	045080008	Y	Y
2005	045080087	Y	Y

Activity ID: 2007 Multiple PINS: N

PIN Certainty: 1 Previous Activity ID(s) :

Related PINS: 045080087

Name: CANADA BUILDING MATERIALS - READY MIX CONCRETE

Address: 2300 CARP ROAD, CARP

Facility Type: Ready Mix Concrete Industry

Comments 1: KANATA READY MIX

Comments 2:

Generator Number: ON5889243

Storage Tanks:

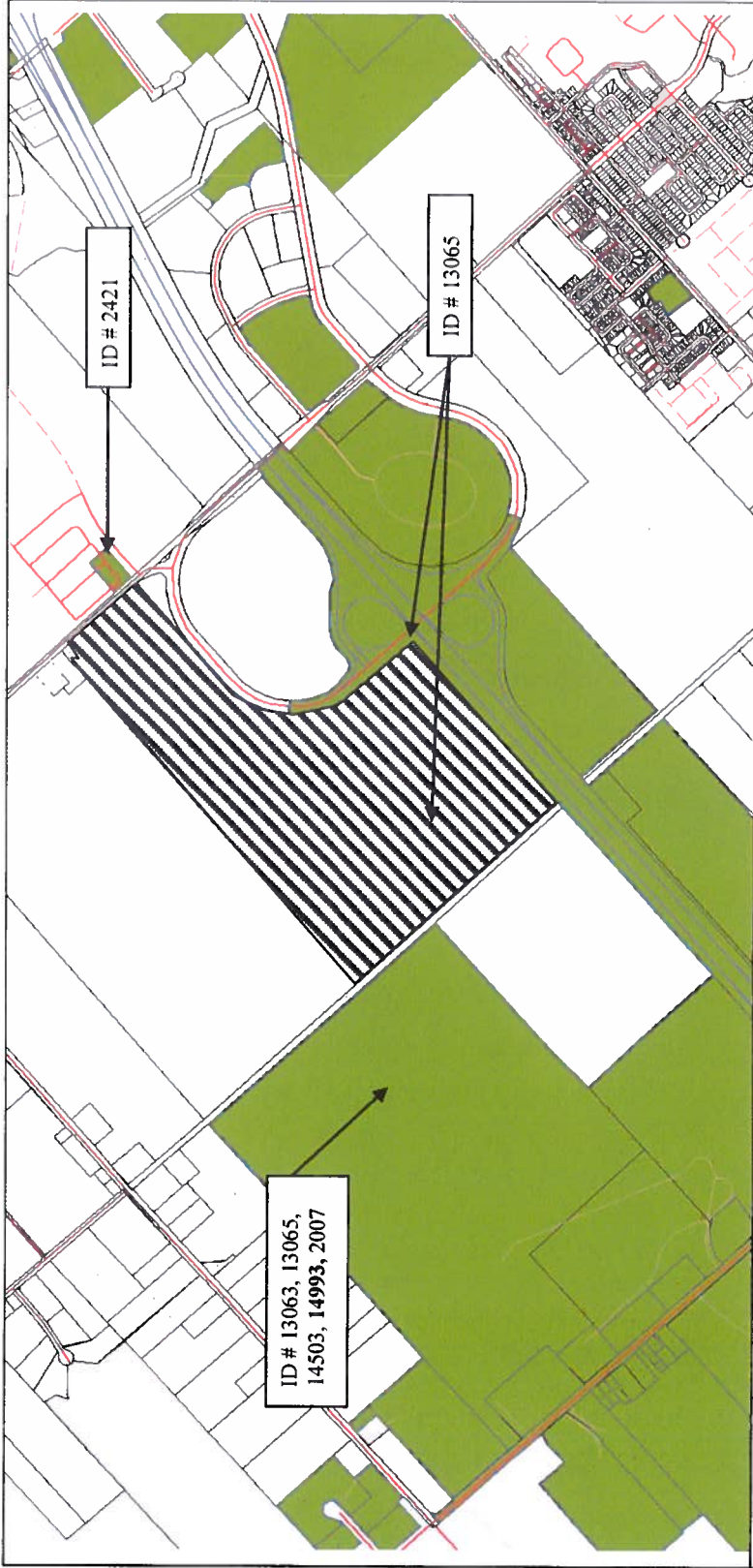
HL References 1:

HL References 2:

HL References 3: 2003 PID

NAICS	SIC
327320	0
444110	0

Company Name	Year of Operation
CANADA BUILDING MATERIALS - READY MIX CONCRETE	c. 2003
CANADA BUILDING MATERIALS - READY MIX CONCRETE	c. 2005



ID# = Activity Identification Number

 = Subject Site

[Overview](#)

3001 Palladium Drive, 405 and 425 Huntmar Drive
 Ottawa, ON
 File # C10-01-13-0270
 John Bernier



Scale 1: n/a

APPENDIX 3

QUALIFICATIONS OF ASSESSORS

Nick Sullivan, B.Sc.



Geotechnical
Engineering

Environmental
Engineering

Hydrogeology

Geological
Engineering

Materials Testing

Building Science

Archaeological
Services

POSITION

Junior Environmental Scientist

EDUCATION

McMaster University, B.Sc. 2016
Earth & Environmental Science

Niagara College, Cert. 2017
Environmental Management & Assessment

EXPERIENCE

2018 – Present

Paterson Group Inc.

Consulting Engineers
Geotechnical and Environmental Division
Junior Environmental Scientist

SELECT LIST OF PROJECTS

Phase I & II Environmental Site Assessments - Ottawa & Brockville
Contaminated Soil and Groundwater Sampling - Ottawa & Kingston
Geotechnical Investigations of Soil and Rock Stratigraphy - Ottawa
Supervising of Environmental Remediation Programs - Ottawa
Designated Substance Surveys - Ottawa
Outdoor Education Interpreter - Canadian Parks & Wilderness Society
Invasive Species Management - Credit Valley Conservation Authority
Public Trail Assessments - Niagara Peninsula Conservation Authority

Geotechnical
Engineering

Environmental
Engineering

Hydrogeology

Geological
Engineering

Materials Testing

Building Science

Archaeological
Services

POSITION

Associate and Supervisor of the Environmental Division
Senior Environmental/Geotechnical Engineer

EDUCATION

Queen's University, B.A.Sc.Eng, 1991
Geotechnical / Geological Engineering

MEMBERSHIPS

Ottawa Geotechnical Group
Professional Engineers of Ontario

EXPERIENCE

1991 to Present

Paterson Group Inc.

Associate and Senior Environmental/Geotechnical Engineer
Environmental and Geotechnical Division
Supervisor of the Environmental Division

SELECT LIST OF PROJECTS

Mary River Exploration Mine Site - Northern Baffin Island
Agricultural Supply Facilities - Eastern Ontario
Laboratory Facility - Edmonton (Alberta)
Ottawa International Airport - Contaminant Migration Study - Ottawa
Richmond Road Reconstruction - Ottawa
Billings Hurdman Interconnect - Ottawa
Bank Street Reconstruction - Ottawa
Environmental Review - Various Laboratories across Canada - CFIA
Dwyer Hill Training Centre - Ottawa
Nortel Networks Environmental Monitoring - Carling Campus - Ottawa
Remediation Program - Block D Lands - Kingston
Investigation of former landfill sites - City of Ottawa
Record of Site Condition for Railway Lands - North Bay
Commercial Properties - Guelph and Brampton
Brownfields Remediation - Alcan Site - Kingston
Montreal Road Reconstruction - Ottawa
Appleford Street Residential Development - Ottawa
Remediation Program - Ottawa Train Yards
Remediation Program - Bayshore and Heron Gate
Gladstone Avenue Reconstruction - Ottawa
Somerset Avenue West Reconstruction - Ottawa