

OWNER
TAGGART REALTY MANAGEMENT
SUITE 708 - 225 METCALFE STREET, OTTAWA, ON K2P 1P9

ARCHITECT
DAVID S MCRORBIE ARCHITECTS INC
66 QUEEN STREET, OTTAWA ON K1P 5C6

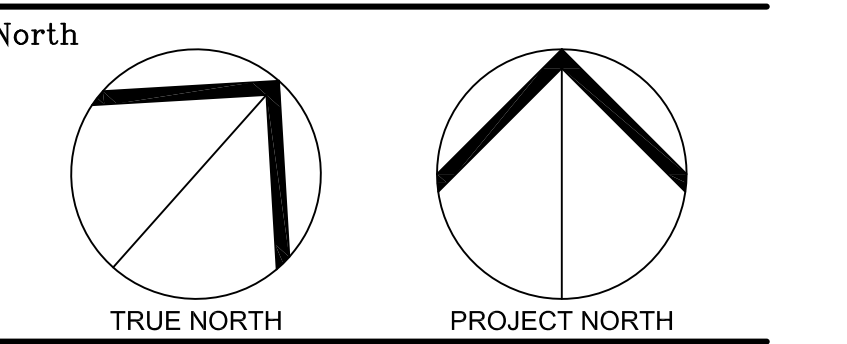
CONSULTANTS
SITE ELECTRICAL
MCKEE ENGINEERING
1785 WOODWARD DRIVE, OTTAWA ON K2C 0P9

CIVIL
IBI GROUP
SUITE 403 - 333 PRESTON STREET, OTTAWA ON K1S 5M4

LANDSCAPE ARCHITECT
LEVSTEK CONSULTANTS INC
5871 HUGH CRESCENT, OTTAWA ON K0A 2W0

LEGEND

| | |
|----------------------|--------------------------------|
| ▲ PRINCIPLE ENTRY | ○ MAINTENANCE HOLE |
| ○ LAMP POST | DC DEPRESSED CURB |
| ○ BOLLARD | DEPRESSED CURB TACTILE WARNING |
| ○ SKIN | PROPERTY LINE |
| ○ FIRE HYDRANT | AREA TO BE DEVELOPED |
| ○ LIGHT & LIGHT POST | ZONING SETBACK |



Revisions

| No. | By | Description | Date |
|-----|----|------------------------------|-------------|
| 1 | EA | ISSUED FOR SITE PLAN CONTROL | 05 JUL 2019 |
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Project
KINAXIS OFFICE BUILDING

8700 CAMPEAU DRIVE, KANATA, ON

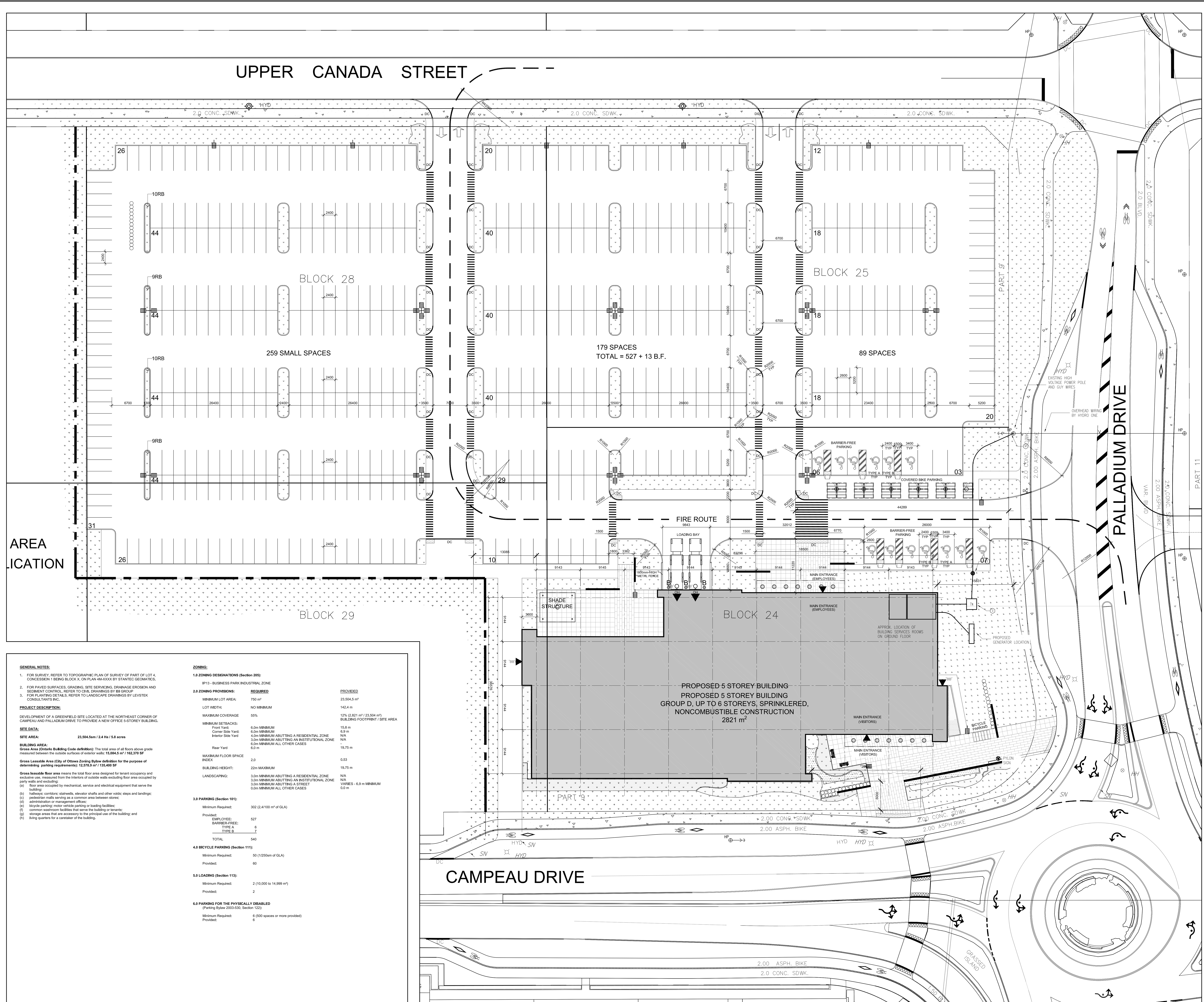
Drawing
SITE PLAN

Scale 1:250 Stamp

Drawn RVS

Checked

Project No. Drawing No.
Date JULY 2019 **SP-A01**



GENERAL NOTES

- FOR SURVEY, REFER TO TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 4, CONCESSION 1 BEING BLOCK X, ON PLAN 44-XXXX BY STANTEC GEOMATICS.
- FOR PAVED SURFACES, GRADING, SITE SERVICING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS BY IBI GROUP.
- FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS BY LEVSTEK CONSULTANTS INC.

PROJECT DESCRIPTION:
DEVELOPMENT OF A GREENFIELD SITE LOCATED AT THE NORTHEAST CORNER OF CAMPEAU AND PALLADIUM DRIVES TO PROVIDE A NEW OFFICE 5 STOREY BUILDING.

SITE DATA:
23,564.56m / 2.4 Ha / 5.8 acres

BUILDING AREA:
Gross Area (Ontario Building Code definition): The total area of all floors above grade measured between the outside surfaces of exterior walls: 15,084.5 m² / 152,379 SF
Gross Leasable Area (City of Ottawa Zoning Bylaw definition for the purpose of determining parking requirements): 12,376.3 m² / 133,400 SF
Gross Inhabitable Floor Area means the total floor area designed for tenant occupancy and exclusive use, measured from the interior of outside walls excluding floor area occupied by party walls and including:
(a) floor area occupied by mechanical, service and electrical equipment that serve the building;
(b) hallway, corridors, stairwells, elevator shafts and other voids; steps and landings;
(c) pedestrian traffic serving as a common area between rooms;
(d) administration or management offices;
(e) bicycle parking; indoor vehicle parking or loading facilities;
(f) common washroom facilities that serve the building or tenants;
(g) storage areas that are accessory to the principal use of the building; and
(h) living quarters for a caretaker of the building.

ZONING:
M13 - BUSINESS PARK INDUSTRIAL ZONE

2.0 ZONING PROVISIONS:

| REQUIRED | PROVIDED |
|--------------------------------------|---|
| MINIMUM LOT AREA: 750 m ² | 23,564.5 m ² |
| LOT WIDTH: NO MINIMUM | 102.4 m |
| MAXIMUM COVERAGE: 55% | 12% (2,821 m ² / 23,564 m ²) BUILDING FOOTPRINT / SITE AREA |
| MINIMUM SETBACKS: | |
| Front Yard: 6.0m MINIMUM | 15.8 m |
| Corner Side Yard: 4.0m MINIMUM | 6.0 m |
| Interior Side Yard: 3.0m MINIMUM | N/A |
| 6.0m MINIMUM ALL OTHER CASES | 19.75 m |
| Rear Yard: 6.0 m | 19.75 m |
| MAXIMUM FLOOR SPACE INDEX: 2.0 | 0.53 |
| BUILDING HEIGHT: 22m MAXIMUM | 19.75 m |
| LANDSCAPING: 3.0m MINIMUM | N/A |
| 3.0m MINIMUM ALL OTHER CASES | N/A |
| LANDSCAPING: 3.0m MINIMUM | VARIES - 6.9 m MINIMUM |
| 0.0m MINIMUM ALL OTHER CASES | 0.0 m |

3.0 PARKING (Section 101):
Minimum Required: 302 (24/100 m² of GLA)
Provided: 527
EMPLOYEE: 527
BARRIER-FREE: 6
TYPE A: 7
TYPE B: 7
TOTAL: 540

4.0 BICYCLE PARKING (Section 111):
Minimum Required: 55 (1/250m² of GLA)
Provided: 60

5.0 LOADING (Section 113):
Minimum Required: 2 (10,000 to 14,999 m²)
Provided: 2

6.0 PARKING FOR THE PHYSICALLY DISABLED (Parking Bylaw 2003-030, Section 122):
Minimum Required: 6 (500 spaces or more provided)
Provided: 6

01 ZONING INFORMATION
SCALE: NTS

02 SITE PLAN
SCALE: 1:250