

OWNER
PC Kanada Developments Inc.
SUITE 708 - 225 METCALFE STREET, OTTAWA, ON K2P 1P9

ARCHITECT
DAVID S MCROBIE ARCHITECTS INC.
66 QUEEN STREET, OTTAWA ON K1P 5C6

CONSULTANTS
SITE ELECTRICAL
LEVISTEK CONSULTANTS INC.
1785 WOODWARD DRIVE, OTTAWA ON K2C 0P9

CIVIL
ISI GROUP
SUITE 400 - 333 PRESTON STREET, OTTAWA ON K1S 5M4

LANDSCAPE ARCHITECT
LEVISTEK CONSULTANTS INC.
5871 HUGH CRESCENT, OTTAWA ON K0A 2W0

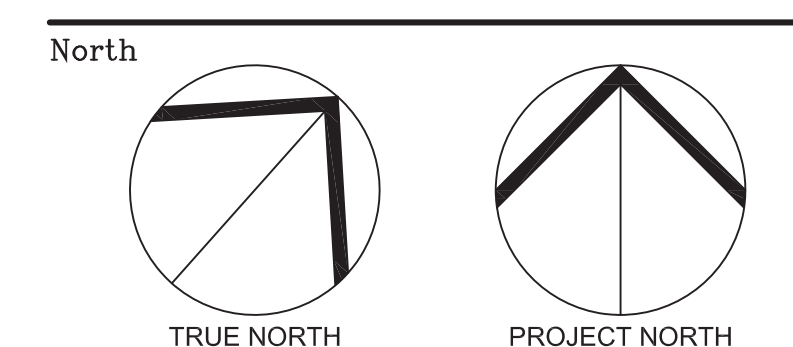
LEGEND

▲	PRINCIPLE ENTRY	○	MAINTENANCE HOLE
⊙	LAMP POST	DC	DEPRESSED CURB
⊖	BOLLARD	▨	DEPRESSED CURB TACTILE WARNING
△	SKN	---	PROPERTY LINE
⊕	FIRE HYDRANT	---	ZONING SETBACK
⊞	LIGHT & LIGHT POST		
S	STOP SKN (3 TOTAL)		

Mark Y.P.

MARK YOUNG, MCIP, RPP
(A) MANAGER, DEVELOPMENT REVIEW - WEST
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Laurel McCreight at 8:09 am, Jan 13, 2020



Revisions

No.	By	Description	Date
1	EA	ISSUED FOR SITE PLAN CONTROL	05 JUL 2019
2	RVS	INTERIM SUBMISSION - KINAXIS INTERIORS	12 AUG 2019
3	RVS	60% REVIEW	23 AUG 2019
4	RVS	SITE PLAN CONTROL RESUBMISSION	13 SEP 2019
5	RVS	SITE PLAN CONTROL RESUBMISSION #2	28 OCT 2019

Project
KINAXIS OFFICE BUILDING

8700 CAMPEAU DRIVE, KANATA, ON

Drawing
SITE PLAN

Scale 1:250 Stamp

Drawn RVS

Checked SITE PLAN CONTROL

Project No. Drawing No.

Date AUGUST 2019 **SP-A01**



D07-12-19-0122

#17988

Upper Canada Street

UPPER CANADA STREET

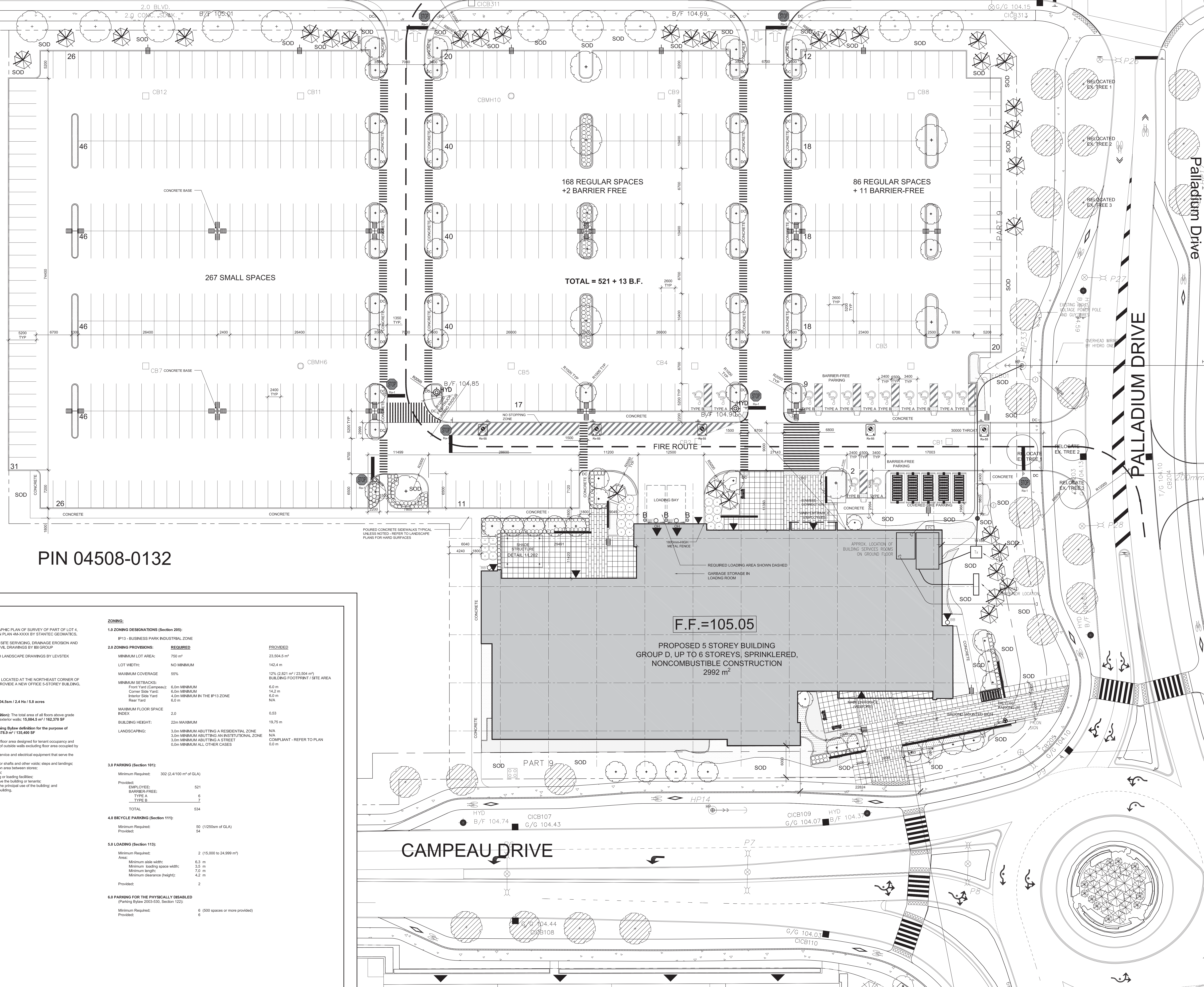
Palladium Drive

PALLADIUM DRIVE

CAMPEAU DRIVE

F.F.=105.05

PROPOSED 5 STOREY BUILDING
GROUP D, UP TO 6 STOREYS, SPRINKLERED,
NONCOMBUSTIBLE CONSTRUCTION
2992 m²



PIN 04508-0132

GENERAL NOTES:

- FOR SURVEY: REFER TO TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 4, CONCESSION 1 BEING BLOCK 4, ON PLAN 48XXXX BY STANTEC GEOMATICS.
- FOR PAVED SURFACES, GRADING, SITE SERVICING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS BY ISI GROUP.
- FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS BY LEVISTEK CONSULTANTS INC.

PROJECT DESCRIPTION:
DEVELOPMENT OF A GREENFIELD SITE LOCATED AT THE NORTHEAST CORNER OF CAMPEAU AND PALLADIUM DRIVE TO PROVIDE A NEW OFFICE 5-STOREY BUILDING.

SITE DATA:
23,504.5m² / 2.4 Ha / 5.8 acres

BUILDING AREA:
Gross Area (Ontario Building Code definition): The total area of all floors above grade measured between the outside surfaces of exterior walls: 15,084.5 m² / 162,379 SP

Gross Usable Area (GUA) (City of Ottawa Zoning By-law definition for the purpose of determining parking requirements): 12,576.9 m² / 135,400 SF

Gross Usable Floor Area: means the total floor area designed for tenant occupancy and exclusive use, measured from the interior of outside walls enclosing floor area occupied by party walls and enclosing:
(a) floor area occupied by mechanical, service and electrical equipment that serve the building;
(b) hallway, corridor, stairwells, elevator shafts and other vertical steps and landings;
(c) pedestrian malls serving as a common area between stories;
(d) parking, motor vehicle parking or loading facilities;
(e) common washroom facilities that serve the building or tenants;
(f) storage areas that are accessory to the principal use of the building; and
(g) living quarters for a caretaker of the building.

ZONING:

1.2 ZONING DESIGNATIONS (Section 209):
IP13 - BUSINESS PARK INDUSTRIAL ZONE

2.0 ZONING PROVISIONS:

MINIMUM LOT AREA:	REQUIRED	PROVIDED
750 m ²	23,504.5 m ²	23,504.5 m ²
LOT WIDTH: <td>NO MINIMUM</td> <td>142.2 m</td>	NO MINIMUM	142.2 m
MAXIMUM COVERAGE: <td>55%</td> <td>12% (2,821 m² / 23,504 m²)</td>	55%	12% (2,821 m ² / 23,504 m ²)
MINIMUM SETBACKS: <td></td> <td>BUILDING FOOTPRINT / SITE AREA</td>		BUILDING FOOTPRINT / SITE AREA
Front Yard (Compulsory):	6.0m MINIMUM	6.0 m
Corner Side Yard:	6.0m MINIMUM	14.2 m
Interior Side Yard:	4.0m MINIMUM IN THE IP13 ZONE	6.0 m
Rear Yard:	6.0 m	N/A
MAXIMUM FLOOR SPACE INDEX: <td>2.0</td> <td>0.53</td>	2.0	0.53
BUILDING HEIGHT: <td>22m MAXIMUM</td> <td>19.75 m</td>	22m MAXIMUM	19.75 m
LANDSCAPING: <td>3.0m MINIMUM ABUTTING A RESIDENTIAL ZONE 3.0m MINIMUM ABUTTING AN INSTITUTIONAL ZONE 3.0m MINIMUM ABUTTING A STREET 6.0m MINIMUM ALL OTHER CASES</td> <td>N/A N/A N/A COMPLIANT - REFER TO PLAN 6.0 m</td>	3.0m MINIMUM ABUTTING A RESIDENTIAL ZONE 3.0m MINIMUM ABUTTING AN INSTITUTIONAL ZONE 3.0m MINIMUM ABUTTING A STREET 6.0m MINIMUM ALL OTHER CASES	N/A N/A N/A COMPLIANT - REFER TO PLAN 6.0 m

3.0 PARKING (Section 101):
Minimum Required: 302 (2.4100 m² of GLA)
Provided: 521
EMPLOYEE: 6
BARRIER-FREE: 7
TYPE A: 7
TYPE B: 7
TOTAL: 534

4.0 BICYCLE PARKING (Section 111):
Minimum Required: 50 (1/250m² of GLA)
Provided: 54

5.0 LOADING (Section 113):
Minimum Required: 2 (15,000 to 24,999 m²)
Area: 6.3 m
Minimum aisle width: 3.0 m
Minimum loading space width: 3.0 m
Minimum length: 4.2 m
Minimum clearance (height): 4.2 m
Provided: 2

6.0 PARKING FOR THE PHYSICALLY DISABLED (Parking Bylaw 2003-530, Section 122):
Minimum Required: 6 (600 spaces or more provided)
Provided: 6

01 ZONING INFORMATION
SCALE: NTS

02 SITE PLAN
SCALE: 1:250