



**SITE PLAN CONTROL APPLICATION
DELEGATED AUTHORITY REPORT
MANAGER, DEVELOPMENT REVIEW, WEST**

Site Location: Part of 8700 Campeau Drive

File No.: D07-12-19-0122

Date of Application: July 11, 2019

This SITE PLAN CONTROL application submitted by Fotenn Consultants Inc., on behalf of PC Kanata Developments, is APPROVED as shown on the following plan(s):

1. **Site Plan**, 8700 Campeau Drive, Drawing No.: SP-A01, prepared David S McRobie Architects Inc., July 2019, Revision 5 dated October 28, 2019.
2. **Landscape Plan**, 8700 Campeau Drive, Drawing No.: L1.01, prepared by Levstek Consultants Inc., Project No.: 1161, July 2019, Revision 4 dated September 13, 2019.
3. **Servicing Plan**, 8700 Campeau Drive, Drawing No.: C-001, prepared by IBI Group, Project No.: 121693, July 2019, Revision 7 dated December 2, 2019.
4. **General Notes, Legend and CB Data Table**, 8700 Campeau Drive, Drawing No.: C-010, prepared by IBI Group, Project No.: 121693, July 2019, Revision 7 dated December 2, 2019.
5. **Grading Plan**, 8700 Campeau Drive, Drawing No.: C-200, prepared by IBI Group, Project No.: 121693, July 2019, Revision 5 dated November 27, 2019.
6. **Block 31, 32 and 29 Site Grading and Existing Drainage Area**, 8700 Campeau Drive, Drawing No.: C-201, prepared by IBI Group, Project No.: 121693, July 2019, Revision 4 dated November 27, 2019.
7. **Sanitary Drainage Area Plan**, 8700 Campeau Drive, Drawing No.: C-400, prepared by IBI Group, Project No.: 121693, July 2019, Revision 4 dated November 27, 2019.
8. **Storm Drainage Area Plan**, 8700 Campeau Drive, Drawing No.: C-500, prepared by IBI Group, Project No.: 121693, July 2019, Revision 4 dated November 27, 2019.
9. **Ponding Plan**, 8700 Campeau Drive, Drawing No.: C-600, prepared by IBI Group, Project No.: 121693, July 2019, Revision 4 dated November 27, 2019.
10. **Erosion and Sediment Plan**, 8700 Campeau Drive, Drawing No.: C-900, prepared by IBI Group, Project No.: 121693, July 2019, Revision 4 dated November 27, 2019.

11. **Electrical: Legend, Drawing List and Site Plan**, 8700 Campeau Drive, Drawing No.: SP-E01, prepared by McKee Engineering, Project No.: 19147, June 2019, Revision 2 dated September 13, 2019.
12. **Electrical: Schedules and Details**, 8700 Campeau Drive, Drawing No.: SP-E02, prepared by McKee Engineering, Project No.: 19147, June 2019, Revision 2 dated September 13, 2019.

And as detailed in the following report(s):

1. **TIA Report**, Kinaxis Office Development, 8700 Campeau Drive, Report No.:477190-02000, prepared by Parsons, dated July 2019, Revised October 28, 2019.
2. **Environmental Noise Assessment**, Kinaxis Office Building, Report No.: GWE19-123-Environmental Noise, prepared by GradientWind, dated July 9, 2019.
3. **Design Brief**, Kinaxis Office, 8700 Campeau Drive, prepared by IBI Group, File No.: 121693-7.3, dated July 2019, Revised November 2019.
4. **Geotechnical Investigation**, Kanata West Business Park, Campeau Drive at Palladium Drive, Ottawa ON, Report No. PG3115-6, prepared by Paterson Group Inc., dated July 4, 2019.
5. **Phase 1 Environmental Site Assessment**, Vacant Property, 8700 Campeau Drive, Report No.: PE4659-1, prepared by Paterson Group Inc., dated June 28, 2019.

And subject to the following Requirements, General and Special Conditions:

Requirements

General Conditions

1. Permits

The Owner shall obtain such permits as may be required from Municipal or Provincial authorities and shall file copies thereof with the General Manager, Planning, Infrastructure and Economic Development Department.

2. Extend Internal Walkways

The Owner shall extend internal walkways beyond the limits of the subject lands to connect to existing or proposed public sidewalks, at the sole expense of the Owner, to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.

3. Barrier Curbs

The Owner acknowledges and agrees that the parking areas and entrances shall have barrier curbs and shall be constructed in accordance with the approved drawings of a design professional, such drawings to be approved by the General Manager, Planning, Infrastructure and Economic Development Department.

4. Water Supply for Fire Fighting

The Owner shall provide adequate water supply for fire fighting for every building. Water supplies may be provided from a public water works system, automatic fire pumps, pressure tanks or gravity tanks.

5. Reinstatement of City Property

The Owner shall reinstate, at its expense and to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department, any property of the City, including, but not limited to, sidewalks, curbs and boulevards, which is damaged as a result of the subject development.

6. Completion of Works

The Owner acknowledges and agrees that no building shall be occupied on the lands, nor will the Owner convey title to any building until all requirements with respect to completion of the Works as identified in this Agreement have been carried out and received Approval by the General Manager, Planning, Infrastructure and Economic Development Department, including the installation of municipal numbering provided in a permanent location visible during both day and night and the installation of any street name sign on relevant streets. Notwithstanding the non-completion of the foregoing Works, conveyance and/or occupancy of a lot or structure may otherwise be permitted, if in the sole opinion of the General Manager, Planning, Infrastructure and Economic Development Department, the aforesaid Works are proceeding satisfactorily toward completion. The Owner shall obtain the prior consent of the General Manager, Planning, Infrastructure and Economic Development Department for such conveyance and/or occupancy in writing.

Special Conditions

Engineering

7. Permanent Features

The Owner acknowledges and agrees that no permanent features shall be permitted above and below grade within the City's widened right-of-way or corner sight triangle, including commercial signage, except as otherwise shown on the approved Site Plan referenced in "Schedule E" herein.

8. Access Easement to City

The Owner acknowledges and agrees it shall grant to the City, at the Owner's expense, a Blanket Easement over the lands, with the right and licence of free, uninterrupted, unimpeded and unobstructed access to the City to enter on and to pass at any and all times, on, over, along and upon the lands with or without vehicles, supplies, machinery and equipment for all purposes necessary or convenient to construct, maintain, repair and replace the Private Watermains, Private Service Posts and fire hydrants at the Owner's expense. The Owner acknowledges and agrees that notwithstanding the rights granted to the City under the grant of easement, the Owner remains responsible at all times for the maintenance, inspection, alteration, repair,

replacement and reconstruction of the utility in the said lands during their term of use. The Owner acknowledges and agrees to provide an electronic copy of the Transfer of Easement prior to the execution of this Agreement by the City, to the satisfaction of the City Clerk and Solicitor. All costs shall be borne by the Owner.

9. Geotechnical Investigation

The Owner acknowledges and agrees that it shall retain the services of a geotechnical engineer, licensed in the Province of Ontario, to ensure that the recommendations of the Geotechnical Investigation, referenced in Schedule "E" herein, are fully implemented. The Owner further acknowledges and agrees that it shall provide the General Manager, Planning, Infrastructure and Economic Development Department with confirmation issued by the geotechnical engineer that the Owner has complied with all recommendations and provisions of the Report, prior to construction of the foundation and at the completion of the Works, which confirmation shall be to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.

10. Protection of City Sewers

- a. Prior to construction on the lands, the Owner shall, at its expense:
 - i. obtain a video inspection of the City Sewer System within Palladium Drive prior to any construction to determine the condition of the existing City Sewer System prior to construction on the lands and to provide said video inspection to the General Manager, Planning, Infrastructure and Economic Development Department.
- b. Upon completion of construction on the lands, the Owner shall, at its expense and to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department:
 - ii. obtain a video inspection of the existing City Sewer System within Palladium Drive to determine if the City Sewer System sustained any damages as a result of construction on the lands; and
 - iii. assume all liability for any damages caused to the City Sewer System within Palladium Drive and compensate the City for the full amount of any required repairs to the City Sewer System.

11. Site Lighting Certificate

In addition to the requirements contained in clause 19 of Schedule "C" hereto:

- a. The Owner acknowledges and agrees that, upon completion of the lighting Works and prior to the City releasing any associated securities, the Owner shall provide certification satisfactory to the General Manager, Planning, Infrastructure and Economic Development Department, from a Professional Engineer, licensed in the Province of Ontario, that the site lighting has been constructed in accordance with the Owner's approved design plan.

12. Maintenance and Liability Agreement (between Developer and the City)

The Owner acknowledges and agrees it shall be required to enter into a Maintenance and Liability Agreement for all plant and landscaping material (except municipal trees), decorative paving and street furnishings placed in the City's right-of-way along Campeau Drive and Palladium Drive in accordance with City Specifications, and the Maintenance and Liability Agreement shall be registered on title, at the Owner's expense, immediately after the registration of this Agreement. The Owner shall assume all maintenance and replacement responsibilities in perpetuity.

13. Inlet Control Devices (ICDs)

The Owner acknowledges and agrees to install and maintain in good working order the required roof-top and in-ground stormwater inlet control devices, as recommended in the approved Design Brief, referenced in Schedule "E" herein. The Owner further acknowledges and agrees it shall assume all maintenance and replacement responsibilities in perpetuity. The Owner shall keep all records of inspection and maintenance in perpetuity, and shall provide said records to the City upon its request.

14. Private Storm Sewer Connection to City Sewer System

The Owner acknowledges and agrees that any new storm sewers to be installed as part of this development shall not be connected to the City's existing storm sewer system until such time as either:

- a. a certificate of conformance and As-Built drawing(s) have been received from a Professional Engineer, licensed in the Province of Ontario, certifying that all required inlet control devices have been properly installed to City Standards or Specifications, and that the storm sewer system has been installed in accordance with the approved engineering drawings for site development and City Sewer Design Guidelines. The inlet control devices shall be free of any debris; or
- b. a flow limiting orifice plate, designed by a Professional Engineer licensed in the Province of Ontario and to the satisfaction of the City, has been installed at the storm water outlet prior to connecting any upstream storm sewers. Such orifice plate shall not be removed until subsection (a) above has been satisfied and approved by the General Manager, Planning, Infrastructure and Economic Development Department.

15. Professional Engineering Inspection

The Owner shall have competent Professional Engineering inspection personnel on-site during the period of construction, to supervise the Works, and the General Manager, Planning, Infrastructure and Economic Development Department, shall have the right at all times to inspect the installation of the Works. The Owner acknowledges and agrees that should it be found in the sole opinion of the General Manager, Planning, Infrastructure and Economic Development Department, that such personnel are not on-site or are incompetent in the performance of their duties, or that the said Works are not being carried out in accordance with the approved

plans or specifications and in accordance with good engineering practice, then the General Manager, Planning, Infrastructure and Economic Development Department, may order all Work in the project to be stopped, altered, retested or changed to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.

16. Stormwater Works Certification

Upon completion of all stormwater management Works, the Owner acknowledges and agrees to retain the services of a Professional Engineer, licensed in the Province of Ontario, to ensure that all measures have been implemented in conformity with the approved Plans and Reports, referenced in Schedule "E" herein. The Owner further acknowledges and agrees to provide the General Manager, Planning, Infrastructure and Economic Development Department with certificates of compliance issued by a Professional Engineer, licensed in the Province of Ontario, confirming that all recommendations and provisions have been implemented in accordance with the approved Plans and Reports referenced in Schedule "E" herein.

17. Site Dewatering

The Owner acknowledges and agrees that while the site is under construction, any water discharged to the sanitary sewer due to dewatering shall meet the requirements of the City's Sewer Use By-law No. 2003-514, as amended.

18. Water Plant

The Owner acknowledges and agrees that the water plant within the lands is a private watermain. The Owner further acknowledges and agrees that the private watermain and appurtenances thereto are to be maintained by the Owner at its own expense, in perpetuity. The Owner performing maintenance on critical infrastructure, such as private watermains and private fire hydrants, shall maintain adequate records as proof of having done so in accordance with applicable regulations, and that the records shall be retained for review by the City and or the Fire Department when requested.

Roads Right-of-Way and Traffic

19. Transportation Study/Brief

The Owner has undertaken a Transportation Impact Assessment for this site, which is referenced in Schedule "E" herein, to determine the infrastructure and programs needed to mitigate the impact of the proposed development on the local transportation network and to establish the site design features needed to support system-wide transportation objectives. The Owner shall ensure that the recommendations of the Transportation Impact Assessment, are fully implemented, to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development.

Noise

20. Noise Study

The Owner agrees to implement the approved noise study in compliance with the City

of Ottawa Environmental Noise Control Guidelines to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department. The Owner shall implement the noise control attenuation measures recommended in the approved noise study.

21. Certification Letter for Noise Control Measures

- a. The Owner acknowledges and agrees that upon completion of the development and prior to occupancy and/or final building inspection, it shall retain a Professional Engineer, licensed in the Province of Ontario with expertise in the subject of acoustics related to land use planning, to visit the lands, inspect the installed noise control measures and satisfy himself that the installed recommended interior noise control measures comply with the measures in the Environmental Noise Assessment Study referenced in Schedule "E" hereto, as approved by the City and/or the approval agencies and authorities (The Ministry of the Environment, Conservation and Parks) or noise thresholds identified in the City's Environmental Noise Control Guidelines. The Professional Engineer shall prepare a letter to the General Manager, Planning, Infrastructure and Economic Development (the "Certification Letter") stating that he certifies acoustical compliance with all requirements of the applicable conditions in this Agreement, to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development.
- b. The Certification Letter shall be unconditional and shall address all requirements as well as all relevant information relating to the development, including project name, lot numbers, building identification, drawing numbers, noise study report number, dates of relevant documents and in particular reference to the documents used for the building permits and site grading applications. The Certification Letter(s) shall bear the certification stamp of a Professional Engineer, licensed in the Province of Ontario, and shall be signed by said Professional Engineer, and shall be based on the following matters:
 - i. Actual site visits, inspection, testing and actual sound level readings at the receptors;
 - ii. Previously approved Detailed Noise Control Studies, Site Plan and relevant approved Certification Letters (C of A) or Noise thresholds of the City's Environmental Noise Control Guidelines; and
 - iii. Non-conditional final approval for release for occupancy.
- c. All of the information required in subsections (a) and (b) above shall be submitted to the General Manager, Planning, Infrastructure and Economic Development, and shall be to his satisfaction.

22. Noise Control Attenuation Measures

The Owner acknowledges and agrees to implement the noise control attenuation measures recommended in the approved Environmental Noise Assessment, referenced in Schedule "E" of this Agreement, as follows:

- a. the building is to be equipped with central air conditioning;
- b. the building is to be fitted with a forced air heating system and ducting, and shall be sized to accommodate central air conditioning;
- c. further to subsection (b) above, the location and installation of any outdoor air conditioning device(s) shall comply with the noise criteria of the Ministry of the Environment, Conservation and Parks' Publication NPC-216 entitled Environmental Noise Guidelines for Installation of Residential Air Conditioning Devices, dated September 1994, as amended, in order to minimize the noise impacts both on and off the immediate vicinity of the subject lands.
- d. prior to the issuance of a building permit, a review of building components (windows, walls, doors) is required and must be designed to achieve indoor sound levels within the City's and the Ministry of the Environment, Conservation and Parks' noise criteria; and
- e. Notice respecting noise shall be included in the Site Plan Agreement to be registered against the lands and a warning clause shall be included in all agreements of purchase and sale or lease agreements, as detailed in paragraph 23 below.

23. Notice on Title – Noise Control Attenuation Measures

The Owner, or any subsequent owner of the whole or any part of the subject lands, acknowledges and agrees that all agreements of purchase and sale or lease agreements shall contain the following clauses, which shall be included in the Site Plan Agreement and thus be covenants running with the subject lands:

Type B

"The Purchaser/Lessee for himself, his heirs, executors, administrators, successors and assigns acknowledges being advised that sound levels due to increasing road traffic will interfere with indoor activities as the sound levels exceed the sound level limits of the City and the Ministry of the Environment, Conservation and Parks. To help address the need for sound attenuation this development includes multi-pane commercial curtain wall system. To ensure that provincial sound level limits are not exceeded it is important to maintain these sound attenuation features.

Type D

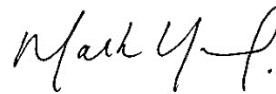
"The Purchaser/Lessee for himself, his heirs, executors, administrators, successors and assigns acknowledges being advised that this office building has been supplied with a central air conditioning system which will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are

within the City of Ottawa's and the Ministry of the Environment, Conservation and Parks' noise criteria."

"The Purchaser/Lessee covenants with the Vendor/Lessor that the above clauses, verbatim, shall be included in all subsequent agreements of purchase and sale, and lease agreements for the lands described herein, which covenant shall run with the said lands."

January 13, 2020

Date



Mark Young
Acting Manager, Development Review, West
Planning, Infrastructure and Economic
Development Department

Enclosure: Site Plan Control Application approval – Supporting Information



SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

File Number: D07-12-19-0122

SITE LOCATION

Part of 8700 Campeau Drive as shown on Document 1.

SYNOPSIS OF APPLICATION

The subject property is located in the Kanata West Business Park in the northwest corner of Palladium Drive and Campeau Drive. The subject lands are currently vacant.

The surrounding area is primarily comprised of commercial uses and vacant land to be developed in the future as part of the Kanata West Business Park.

The subject site is zoned Business Park Industrial Zone, Subzone 13 (IP 13). The IP zone permits a variety of commercial and light industrial uses, including an office. A previous Official Plan Amendment application (D01-01-14-0001) and Zoning By-law Amendment application (D02-02-14-0018) allowed retail and commercial uses on the lands.

The site plan control application proposes a 15,085 square metre, five-storey office building and an associated parking lot. The office building is located on the southeast corner of the site fronting onto Campeau Drive and Palladium Drive, with a parking lot located to the rear (north) of the proposed building). Accesses to the site will be provided at the rear of the site via two accesses off of the Upper Canada Street extension, to be completed as part of the existing Plan of Subdivision. A total of 540 vehicle parking and 60 bicycle parking spaces will also be provided. Loading and service areas will be accommodated along the rear of the building. A landscape buffer will be maintained along Campeau Drive.

A concurrent Plan of Subdivision application (D07-16-14-0003) to create development blocks and new public streets in the business park is expected was registered in December 2019. Addresses for the blocks will be finalized shortly.

DECISION AND RATIONALE

This application is approved for the following reasons:

- The proposal conforms to the provisions of the General Urban Area designation of the Official Plan;

- The proposal conforms to all relevant provisions of the Zoning By-law, including those specific to the IP13 zone and in accordance with the City Council decision; and
- The application as proposed represents good and desirable planning.

ROAD MODIFICATIONS

There are no road modifications associated with this site plan control application.

CONSULTATION DETAILS

Councillor's Concurrence

Councillor Jenna Sudds has concurred with the conditions of approval.

Public Comments

This application was subject to public circulation under the Public Notification and Consultation Policy. There was no public comment received online.

Technical Agency/Public Body Comments

Technical agency comments that were received through the circulation process were forwarded to the applicant to deal directly with the commenting agency.

Advisory Committee Comments

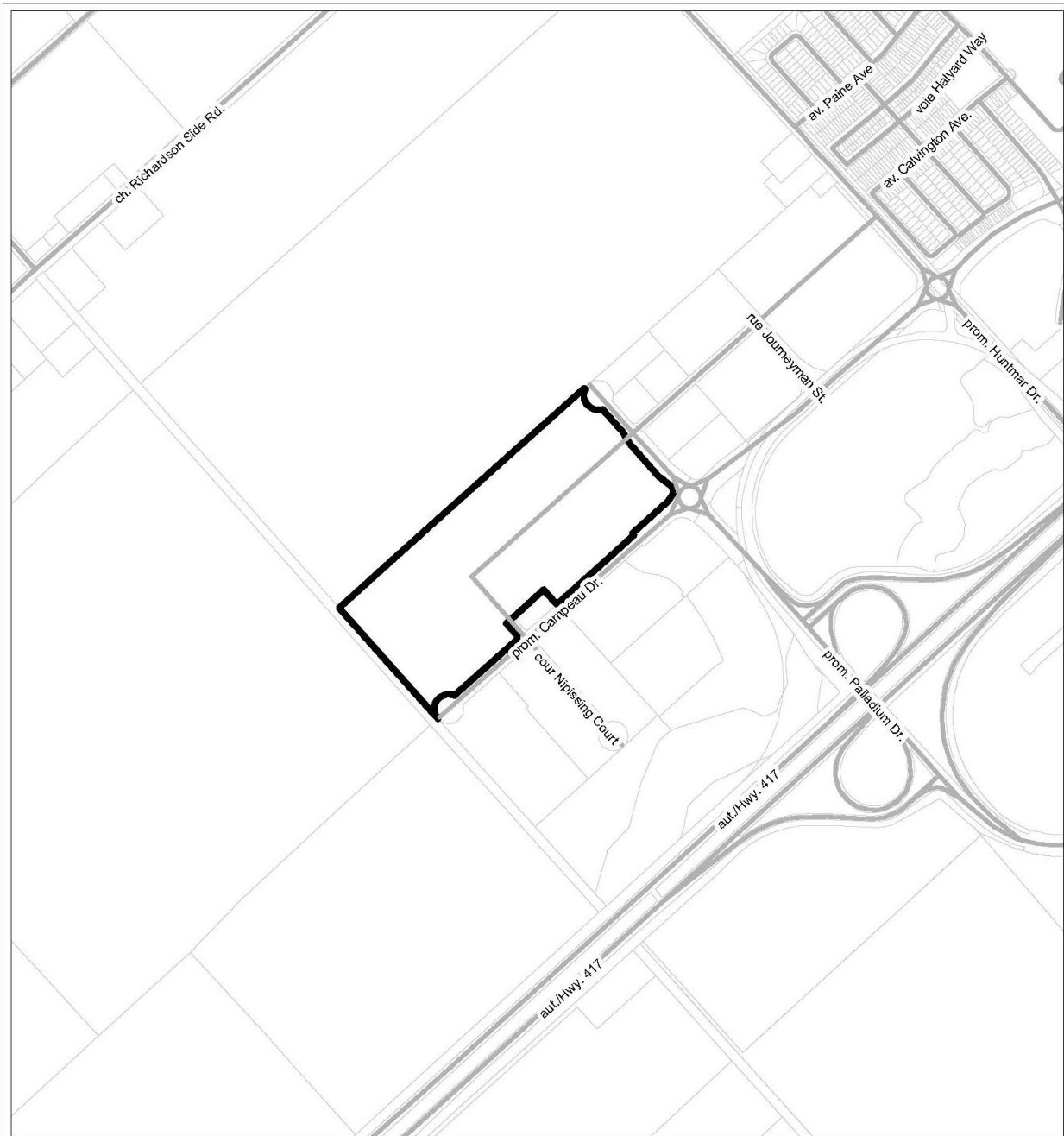
N/A

APPLICATION PROCESS TIMELINE STATUS

This Site Plan application was not processed by the On Time Decision Date established for the processing of an application that has Manager Delegated Authority because the Applicant was required to revise their plans and to address technical comments.

Contact: Laurel McCreight Tel: 613-580-2424, ext. 16587, fax 613-580-2576 or e-mail: Laurel.McCreight@ottawa.ca

Document 1 – Location Map



		<p>LOCATION MAP / PLAN DE LOCALISATION SITE PLAN / PLAN D'EMPLACEMENT</p> <div style="display: flex; align-items: center; justify-content: center; margin: 10px 0;"> <div style="border: 2px solid black; width: 40px; height: 20px; margin-right: 5px;"></div> <p>8700 prom. Campeau Dr.</p> </div>
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REVISION / RÉVISION - 2019 / 07 / 22		 <small>NOT TO SCALE</small>