

OWNER  
PC Kanada Developments Inc.  
SUITE 708 - 225 METCALFE STREET, OTTAWA, ON K2P 1P9

ARCHITECT  
DAVID S MCROBIE ARCHITECTS INC.  
66 QUEEN STREET, OTTAWA ON K1P 5C6

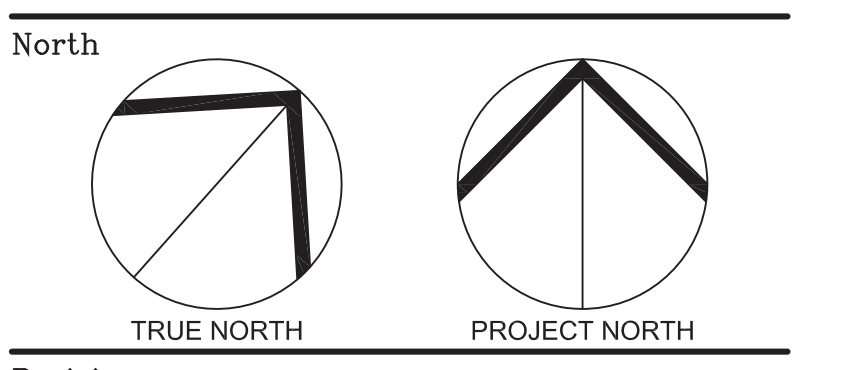
CONSULTANTS  
SITE ELECTRICAL  
LEVISTEK CONSULTANTS INC.  
1785 WOODWARD DRIVE, OTTAWA ON K2C 0P9

CIVIL  
IBI GROUP  
SUITE 400 - 333 PRESTON STREET, OTTAWA ON K1S 5M4

LANDSCAPE ARCHITECT  
LEVISTEK CONSULTANTS INC.  
5871 HUGH CRESCENT, OTTAWA ON K2A 2W0

LEGEND

▲ PRINCIPLE ENTRY	○ MAINTENANCE HOLE
⊙ LAMP POST	DC DEPRESSED CURB
⊖ BOLLARD	DEPRESSED CURB TACTILE WARNING
△ SKN	PROPERTY LINE
◆ FIRE HYDRANT	ZONING SETBACK
⊞ LIGHT & LIGHT POST	
⊞ STOP SKN (3 TOTAL)	



Revisions

No.	By	Description	Date
1	EA	ISSUED FOR SITE PLAN CONTROL	05 JUL 2019
2	RVS	INTERIM SUBMISSION - KINAXIS INTERIORS	12 AUG 2019
3	RVS	60% REVIEW	23 AUG 2019
4	RVS	SITE PLAN CONTROL RESUBMISSION	13 SEP 2019
5	RVS	SITE PLAN CONTROL RESUBMISSION #2	28 OCT 2019

Project  
**KINAXIS OFFICE BUILDING**

8700 CAMPEAU DRIVE, KANATA, ON  
Drawing  
**SITE PLAN**

Scale 1:250 Stamp  
Drawn RVS  
Checked SITE PLAN CONTROL  
Project No. Drawing No.  
Date AUGUST 2019 **SP-A01**  
Project No. Drawing No.  
Date AUGUST 2019 **SP-A01**



#17988

Upper Canada Street

UPPER CANADA STREET

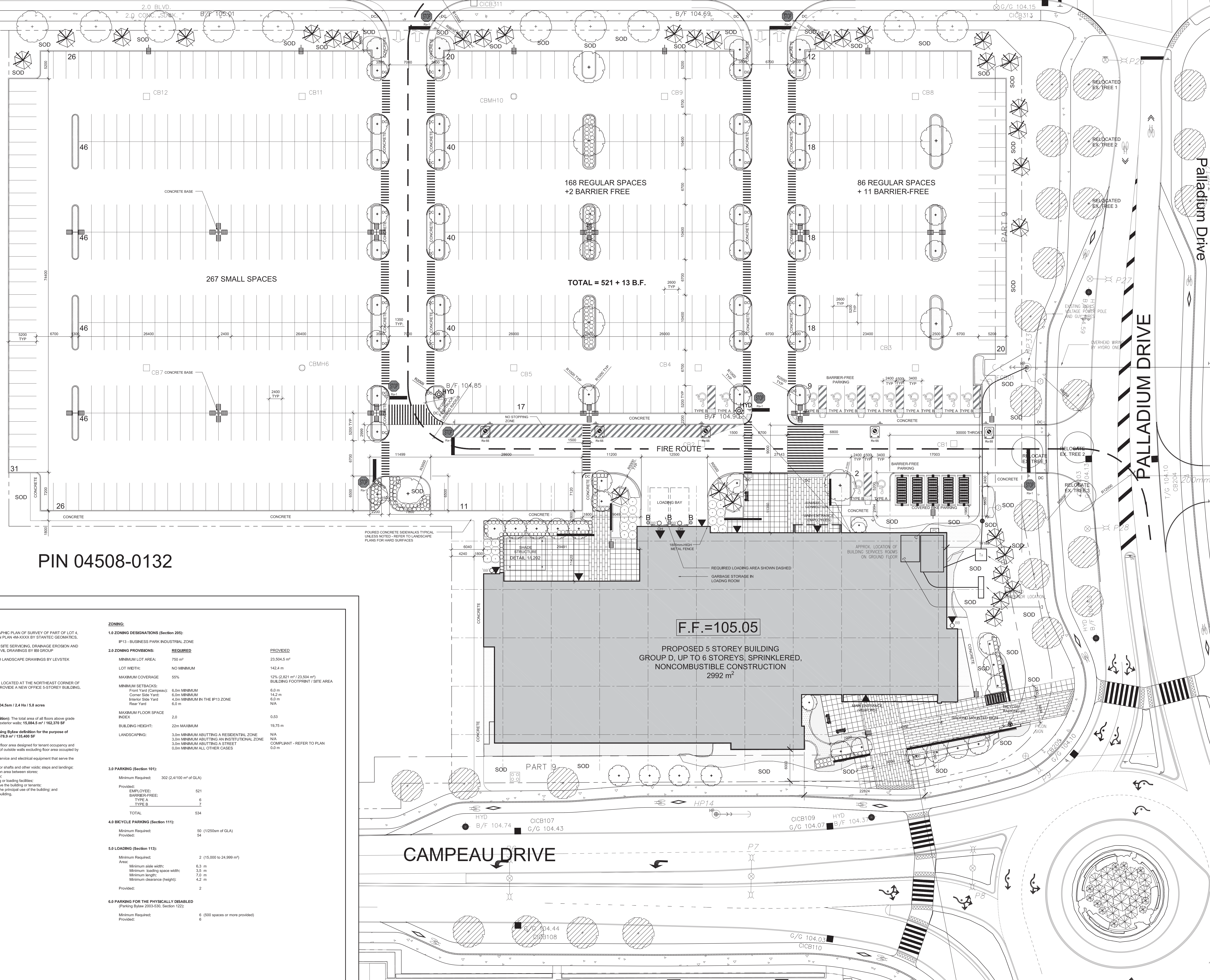
Palladium Drive

PALLADIUM DRIVE

CAMPEAU DRIVE

F.F.=105.05

PROPOSED 5 STOREY BUILDING  
GROUP D, UP TO 6 STOREYS, SPRINKLERED,  
NONCOMBUSTIBLE CONSTRUCTION  
2992 m<sup>2</sup>



PIN 04508-0132

**GENERAL NOTES:**

- FOR SURVEY: REFER TO TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 4, CONCESSION 1 BEING BLOCK 4, ON PLAN 44XXXX BY STANTEC GEOMATICS.
- FOR PAVED SURFACES, GRADING, SITE SERVICING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS BY IBI GROUP.
- FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS BY LEVISTEK CONSULTANTS INC.

**PROJECT DESCRIPTION:**  
DEVELOPMENT OF A GREENFIELD SITE LOCATED AT THE NORTHEAST CORNER OF CAMPEAU AND PALLADIUM DRIVE TO PROVIDE A NEW OFFICE 5-STOREY BUILDING.

**SITE DATA:**  
23,504.5m<sup>2</sup> / 2.4 Ha / 5.8 acres

**BUILDING AREA:**  
Gross Area (Ontario Building Code definition): The total area of all floors above grade measured between the outside surfaces of exterior walls: 15,084.5 m<sup>2</sup> / 162,379 SP

**Gross Leasable Area (GLA) of Office Zoning By-law definition for the purpose of determining parking requirements):** 12,576.9 m<sup>2</sup> / 135,400 SF

**Gross leasable floor area** means the total floor area designed for tenant occupancy and exclusive use, measured from the exterior of outside walls enclosing floor area occupied by party walls and including:  
(a) floor area occupied by mechanical, service and electrical equipment that serve the building;  
(b) hallways, corridors, stairwells, elevator shafts and other vertical steps and landings;  
(c) pedestrian malls serving as a common area between stories;  
(d) bicycle parking, motor vehicle parking or loading facilities;  
(e) common washroom facilities that serve the building or tenants;  
(f) storage areas that are accessory to the principal use of the building; and  
(g) living quarters for a caretaker of the building.

**ZONING:**

1.0 ZONING DESIGNATIONS (Section 209):  
IP13 - BUSINESS PARK INDUSTRIAL ZONE

2.0 ZONING PROVISIONS:

MINIMUM LOT AREA:	REQUIRED	PROVIDED
750 m <sup>2</sup>	23,504.5 m <sup>2</sup>	142.4 m
LOT WIDTH: <td>NO MINIMUM</td> <td>12% (2,021 m<sup>2</sup> / 23,504 m<sup>2</sup>) BUILDING FOOTPRINT / SITE AREA</td>	NO MINIMUM	12% (2,021 m <sup>2</sup> / 23,504 m <sup>2</sup> ) BUILDING FOOTPRINT / SITE AREA
MAXIMUM COVERAGE: <td>55%</td> <td>6.0 m</td>	55%	6.0 m
MINIMUM SETBACKS: <td>Front Yard (Compulsory): 6.0m MINIMUM Corner Side Yard: 6.0m MINIMUM Interior Side Yard: 4.0m MINIMUM IN THE IP13 ZONE Rear Yard: 6.0 m</td> <td>14.2 m 6.0 m 6.0 m N/A</td>	Front Yard (Compulsory): 6.0m MINIMUM Corner Side Yard: 6.0m MINIMUM Interior Side Yard: 4.0m MINIMUM IN THE IP13 ZONE Rear Yard: 6.0 m	14.2 m 6.0 m 6.0 m N/A
MAXIMUM FLOOR SPACE INDEX: <td>2.0</td> <td>0.53</td>	2.0	0.53
BUILDING HEIGHT: <td>22m MAXIMUM</td> <td>19.75 m</td>	22m MAXIMUM	19.75 m
LANDSCAPING: <td>3.0m MINIMUM ABUTTING A RESIDENTIAL ZONE 3.0m MINIMUM ABUTTING AN INSTITUTIONAL ZONE 3.0m MINIMUM ABUTTING A STREET 6.0m MINIMUM ALL OTHER CASES</td> <td>N/A N/A COMPLIANT - REFER TO PLAN 6.0 m</td>	3.0m MINIMUM ABUTTING A RESIDENTIAL ZONE 3.0m MINIMUM ABUTTING AN INSTITUTIONAL ZONE 3.0m MINIMUM ABUTTING A STREET 6.0m MINIMUM ALL OTHER CASES	N/A N/A COMPLIANT - REFER TO PLAN 6.0 m

3.0 PARKING (Section 101):  
Minimum Required: 302 (2:4100 m<sup>2</sup> of GLA)  
Provided: 521  
EMPLOYEE: 6  
BARRIER-FREE: 7  
TYPE A: 7  
TYPE B: 7  
TOTAL: 534

4.0 BICYCLE PARKING (Section 111):  
Minimum Required: 50 (1:250m<sup>2</sup> of GLA)  
Provided: 54

5.0 LOADING (Section 113):  
Minimum Required: 2 (15,000 to 24,999 m<sup>2</sup>)  
Area: 6.3 m  
Minimum aisle width: 3.0 m  
Minimum loading space width: 3.0 m  
Minimum length: 4.2 m  
Minimum clearance (height): 4.2 m  
Provided: 2

6.0 PARKING FOR THE PHYSICALLY DISABLED (Parking Bylaw 2003-530, Section 122):  
Minimum Required: 6 (600 spaces or more provided)  
Provided: 6

01 ZONING INFORMATION  
SCALE: NTS

02 SITE PLAN  
SCALE: 1:250