

KEY MAP

**PROJECT INFORMATION**

<b>ZONING</b>	Zoning By-Law 2008-250	28-30 PRETORIA	R4S
		24-26 PRETORIA	R5C(87) H(18)
<b>SITE AREA</b>		1,093.0 sq. m.	
		(11,765) sq. ft.	
<b>R4S ZONE</b>			
<b>BUILDING HEIGHT</b>		14.5 m	
<b>FRONT YARD SETBACK</b>		3.0 m	
<b>INTERIOR YARD SETBACK UNDER 11.0 m HT.</b>		1.5 m	
<b>INTERIOR YARD SETBACK OVER 11.0 m HT.</b>		2.5 m	
<b>INTERIOR YARD SETBACK AFTER 21.0 m BACK</b>		6.0 m	
<b>REAR YARD SETBACK</b>		9.15 m	
<b>R5C(87) H(18) ZONE</b>			
<b>BUILDING HEIGHT</b>		18.0 m	
<b>FRONT YARD SETBACK</b>		3.0 m	
<b>INTERIOR YARD SETBACK UNDER 11.0 m HT.</b>		1.5 m	
<b>INTERIOR YARD SETBACK AFTER 21.0 m BACK</b>		6.0 m	
<b>REAR YARD SETBACK</b>		7.5 m	
<b>LANDSCAPE OPEN SPACE (30%)</b>		327.9 m <sup>2</sup>	
<b>AMENITY SPACE (6.0 m<sup>2</sup> PER UNIT)</b>		294.0 m <sup>2</sup>	

**PROJECT STATISTICS**

<b>BUILDING HEIGHT</b>	18.0 M
<b>BUILDING HEIGHT - STOREY'S</b>	6
<b>AVERAGE MEAN GRADE (GEO. ELEV.)</b>	67.60
<b>FRONT YARD SETBACK</b>	3.0 m
<b>INTERIOR YARD SETBACK</b>	1.5 m
<b>REAR YARD SETBACK</b>	7.5 m

**GROSS BUILDING - AREAS**

<b>BASEMENT LEVEL</b>	0.0 sq. m.
	900 sq. ft.
<b>GROUND FLOOR</b>	912 sq. m.
	982 sq. ft.
<b>2nd to 4th FLOOR</b>	3 x 472.2 sq. m.
	1,416.7 sq. m.
	15,249 sq. ft.
<b>5th FLOOR</b>	472.2 sq. m.
	5,083 sq. ft.
<b>6th FLOOR</b>	396.5 sq. m.
	4,289 sq. ft.
<b>TOTAL AREA</b>	2,376.6 sq. m.
	25,582 sq. ft.

**UNIT STATISTICS**

<b>STUDIO UNIT</b>	4
<b>ONE BEDROOM UNIT</b>	4
<b>TWO BEDROOM UNIT</b>	4
<b>TOTAL</b>	12

**CAR PARKING**

<b>REQUIRED BY ZONING BY-LAW</b>	
<b>RESIDENCE</b>	-0.5 PER DWELLING UNIT (AFTER 12 UNITS)
<b>VISITOR</b>	-0.1 PER DWELLING UNIT (AFTER 12 UNITS)
<b>TOTAL</b>	10
<b>PROVIDED</b>	
<b>RESIDENCE</b>	6
<b>VISITOR</b>	4
<b>TOTAL</b>	10

**BICYCLE PARKING**

<b>REQUIRED</b>	-0.5 PER UNIT (48 UNITS)	24
<b>PROVIDED</b>		54

**LOT COVERAGE**

<b>PAVED SURFACE</b>	23.1 sq. m.	2.1%
<b>BUILDING FOOTPRINT</b>	573.5 sq. m.	52.4%
<b>LANDSCAPE OPEN SPACE</b>	337.2 sq. m.	30.9%
<b>LANDSCAPE DECK</b>	199.2 sq. m.	14.6%
<b>TOTAL</b>	1,093.0 sq. m.	100.0%

**AMENITY SPACE**

<b>EXTERIOR AT GRADE</b>	230.0 sq. m.
<b>2nd FLOOR PRIVATE PATIO</b>	146.0 sq. m.
<b>BASEMENT COMMUNAL INTERIOR</b>	190.0 sq. m.
<b>PRIVATE BALCONIES</b>	190.0 sq. m.
<b>PRIVATE DECKS (6th FLOOR)</b>	74.0 sq. m.
<b>TOTAL</b>	830.0 sq. m.
<b>TOTAL COMMUNAL</b>	420.0 sq. m.
<b>REQUIRED - 6.0MP PER UNIT (48)</b>	288.0 sq. m.
<b>REQUIRED COMMUNAL @ 50%</b>	144.0 sq. m.

**BUILDING CONSTRUCTION AREAS**

<b>PARKING LEVEL</b>	907.3 sq. m.	
	10,412 sq. ft.	
<b>GROUND FLOOR</b>	629.6 sq. m.	
	6,766 sq. ft.	
<b>2nd to 5th FLOOR</b>	4 x 628.8 sq. m.	2,495.4 sq. m.
	4 x 6,716 sq. ft.	26,860 sq. ft.
<b>6th FLOOR</b>	521.5 sq. m.	
	5,613 sq. ft.	
<b>TOTAL AREA (ABOVE GROUND)</b>	1,556.3 sq. m.	
	16,752 sq. ft.	

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**NOTATION SYMBOLS:**

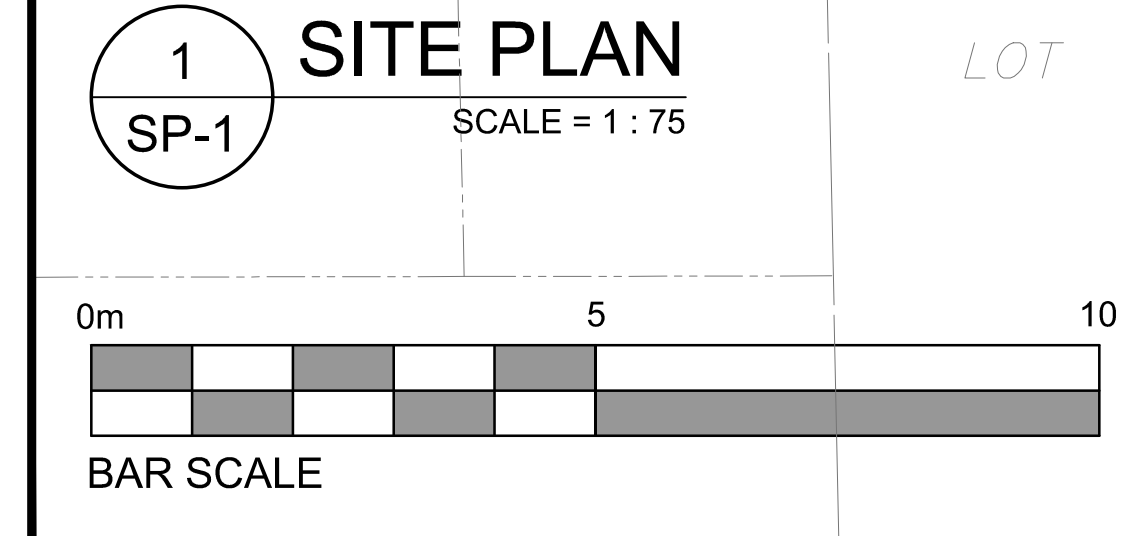
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- (02) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- (03) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.
- (04) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULES AND DETAILS ON A500 SERIES.
- (05) - (09) - DETAIL NUMBER
- (10) - (14) - TITLE
- (15) - (19) - DETAIL REFERENCE PAGE
- (20) - (24) - DETAIL CROSS REFERENCE PAGE

**DRAWING NOTES**

- (1) PROPERTY LINE
- (2) BUILDING SETBACKS
- (3) PAD MOUNTED HYDRO TRANSFORMER
- (4) DEPRESSED CURB & SIDEWALK TO CITY STANDARDS
- (5) 2.0 M WIDE SIDEWALK & CURB TO CITY STANDARDS
- (6) ASPHALT DRIVE WAY WITH 150 BARRIER CURBS
- (7) REPLACE EXISTING DEPRESSED CURB WITH BARRIER CURB TO CITY STANDARDS
- (8) BICYCLE PARKING SPACE
- (9) EXISTING FIRE HYDRANT
- (10) OUTLINE OF UNDERGROUND PARKING LEVEL
- (11) EXISTING RETAINING WALL
- (12) EXISTING RETAINING WALL TO BE REMOVED
- (13) EXISTING TREE TO REMAIN
- (14) EXISTING CHAIN LINK FENCE
- (15) EXPOSED FOUNDATION WALL OF PARKING LEVEL
- (16) EXISTING TIMBER FRAMED PLANTER TO BE REMOVED
- (17) LOW UNIT PRECAST CONCRETE LANDSCAPE WALL
- (18) EXISTING TREE TO BE REMOVED
- (19) SOFT LANDSCAPING
- (20) 1.2 M HT. WOOD PRIVACY FENCE
- (21) EXISTING BOARD FENCE
- (22) OUTLINE OF BUILDING ABOVE
- (23) BALCONY ABOVE
- (24) PRIVACY SCREEN
- (25) EXISTING TIMBER PLANTER - ALTER AS REQUIRED
- (26) EXISTING BUILDING TO BE REMOVED
- (27) NATURAL GAS EQUIPMENT
- (28) STORM WATER TANK WITH ACCESS COVER & OVERFLOW CATCH BASIN - SEE CIVIL PLAN

**SITE PLAN SYMBOLS**

- CONCRETE UNIT PAVERS SURFACE
- CITY SIDEWALK
- ASPHALT WALK / DRIVEWAY
- SOFT LANDSCAPING
- BIKE RACK
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- COMMERCIAL DOOR / FIRE EXIT
- PROPERTY LINE
- CITY STREET LIGHTING



**LEGAL DESCRIPTION**  
TOPOGRAPHIC PLAN OF SURVEY OF LOTS 1 AND 2 (SOUTH PRETORIA AVENUE) REGISTERED PLAN 53786 CITY OF OTTAWA

**SURVEYOR**  
Farley, Smith & Denis Surveying Ltd.  
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Fax: 613 727-1823  
Cell: 613 862-1287  
E-Mail: jleslie@bellnet.ca

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**URBAN PLANNER**  
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**PROJECT DEVELOPER**  
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Cell: (613) 239-2777  
Email: john@jba.ca

**24-30 PRETORIA AVENUE**  
OTTAWA ONTARIO

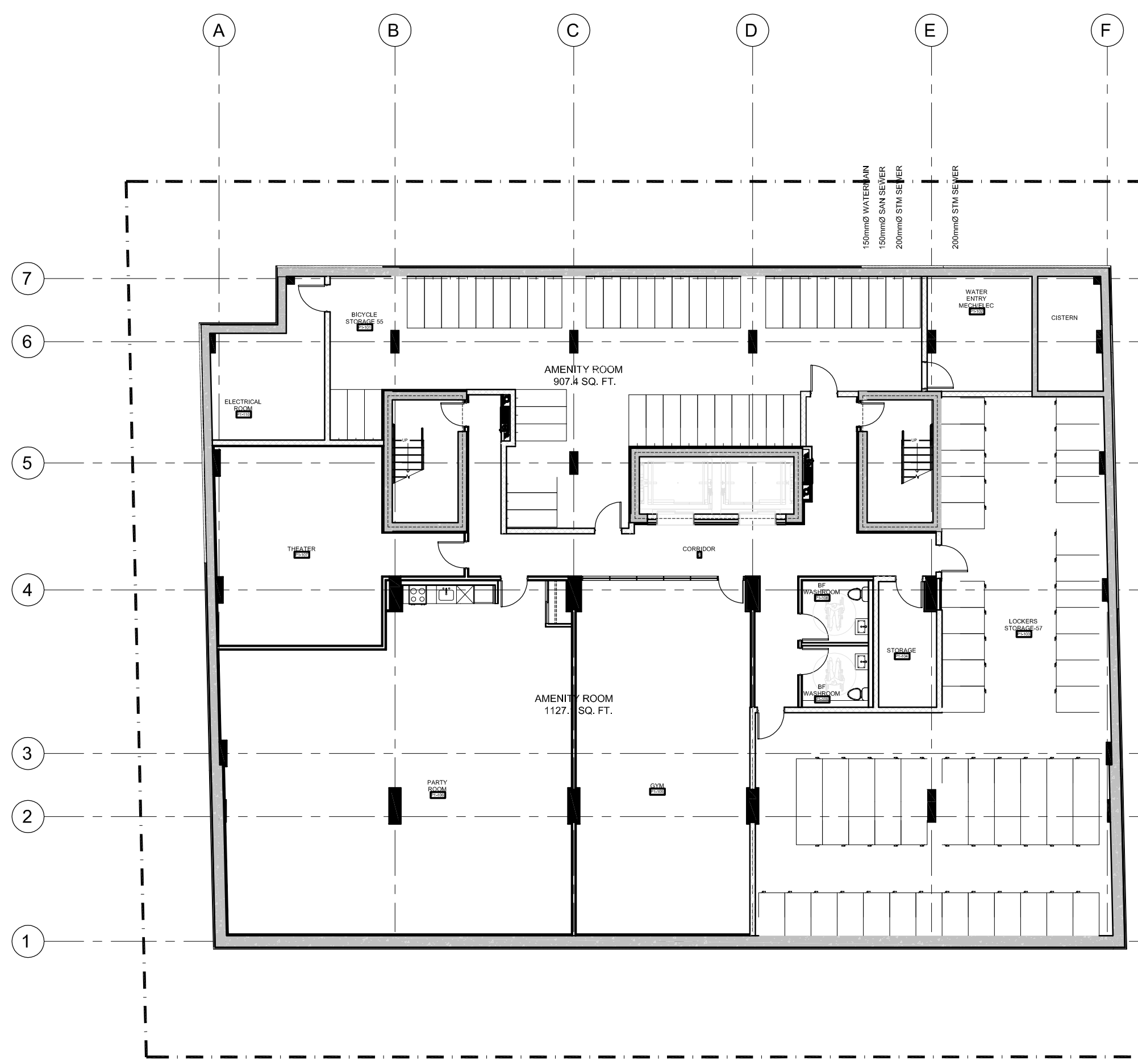
**SITE PLAN**

DRAWN: R.V. CHECKED: R.V.  
SCALE: 1:75 SHEET No. SP-1  
PROJECT No. 1836

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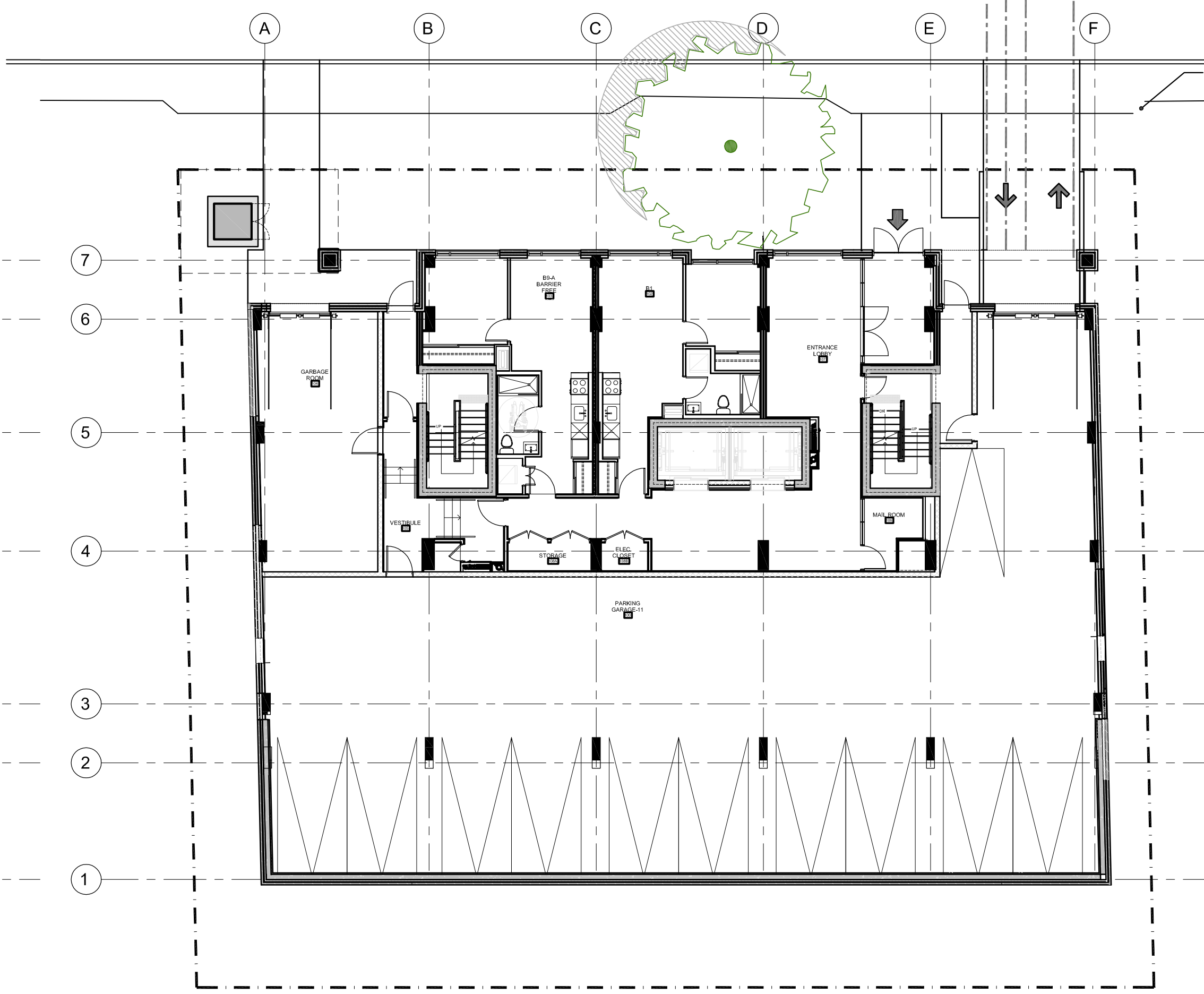
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- (06) TITLE SCALE
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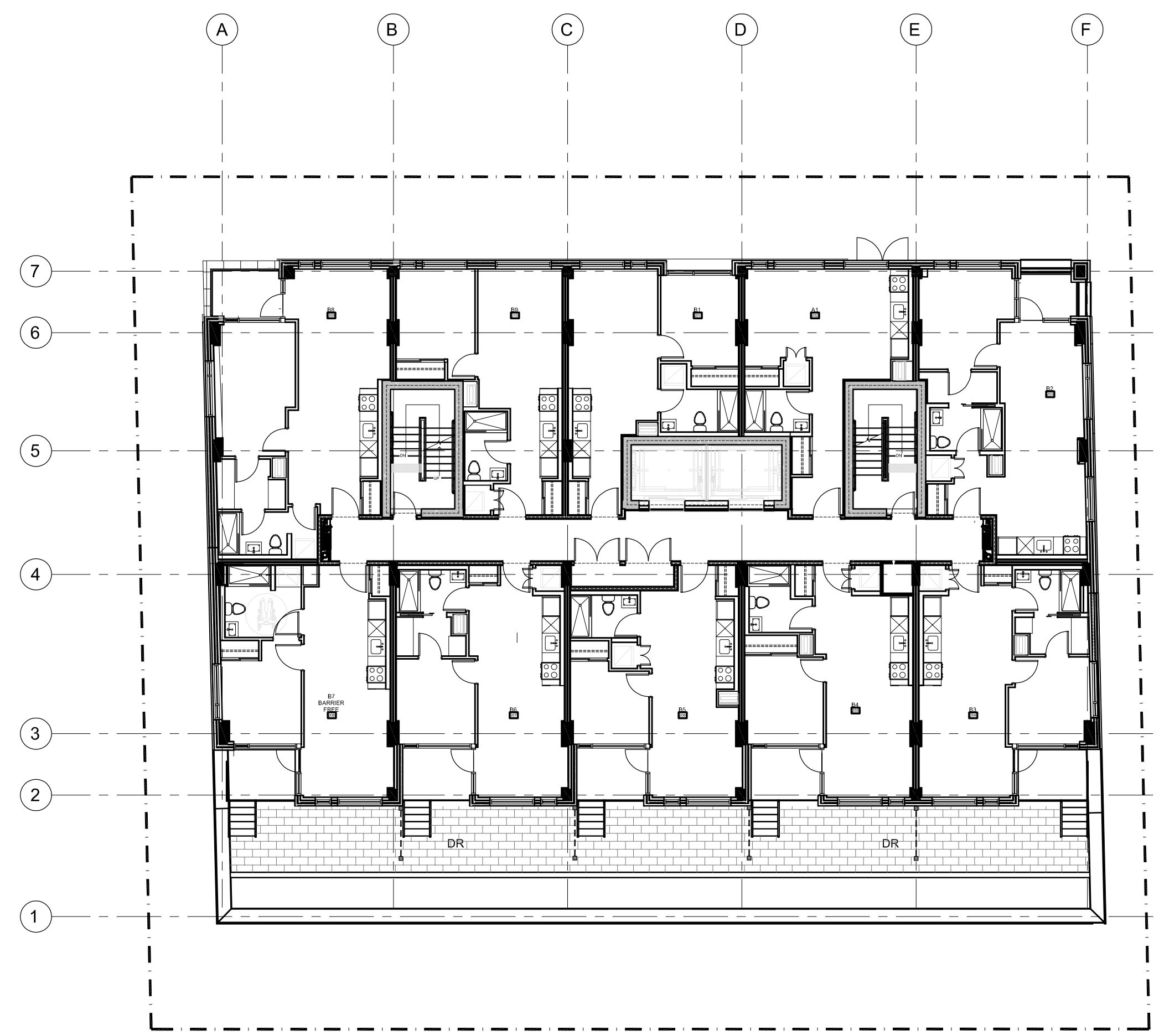
**BASEMENT PLAN**

CONSTRUCTION AREA  
 PARKING LEVEL  
 6686.1 SQ. FT.



**GROUND FLOOR PLAN**

CONSTRUCTION AREA ZONING AREA  
 2nd to 5th FLOOR 982 sq. ft.  
 3953.6 SQ. FT.



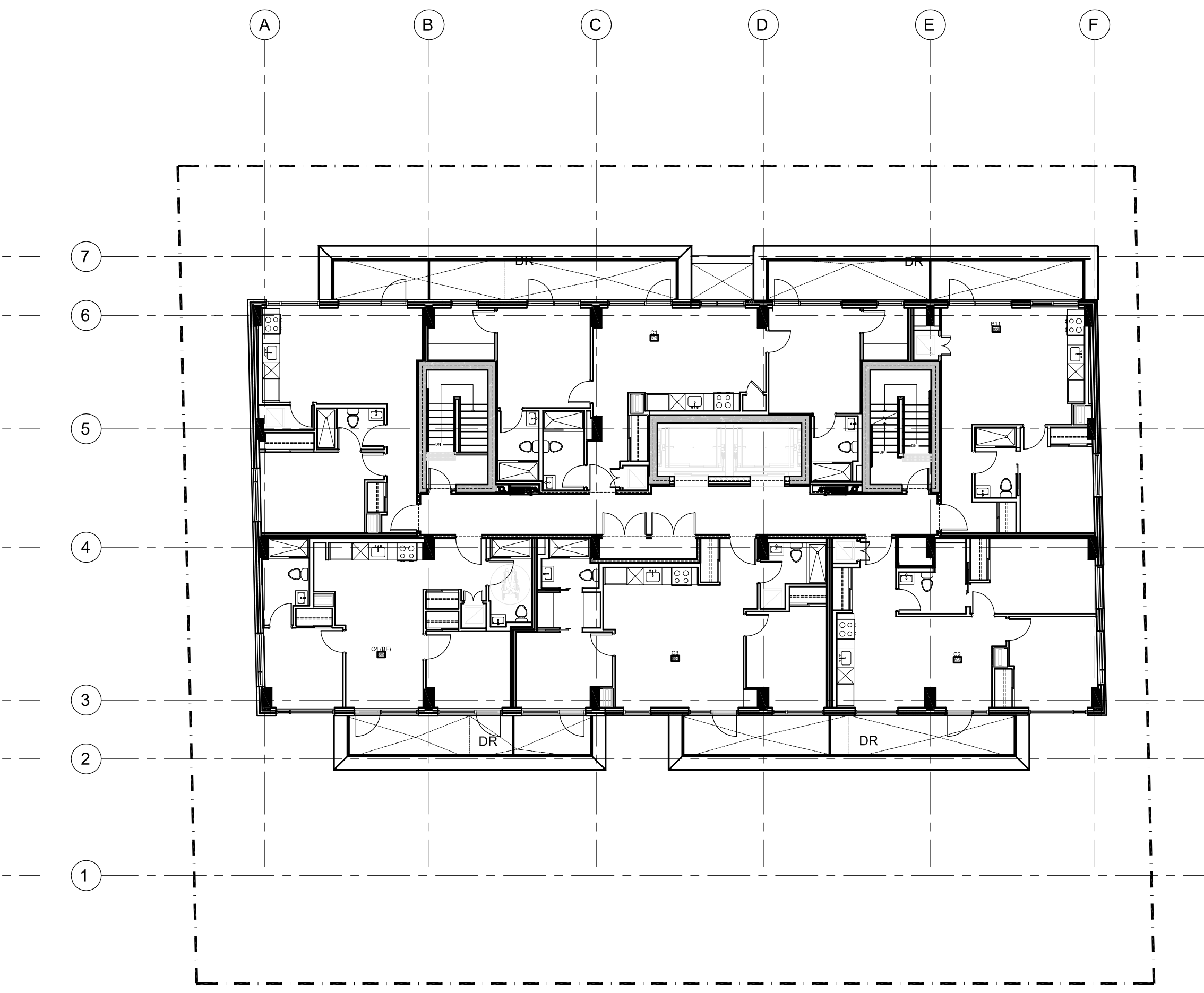
**2nd FLOOR PLAN**

CONSTRUCTION AREA ZONING AREA  
 2nd to 4th FLOOR 5,082.7 sq. ft.  
 6276.9 SQ. FT.



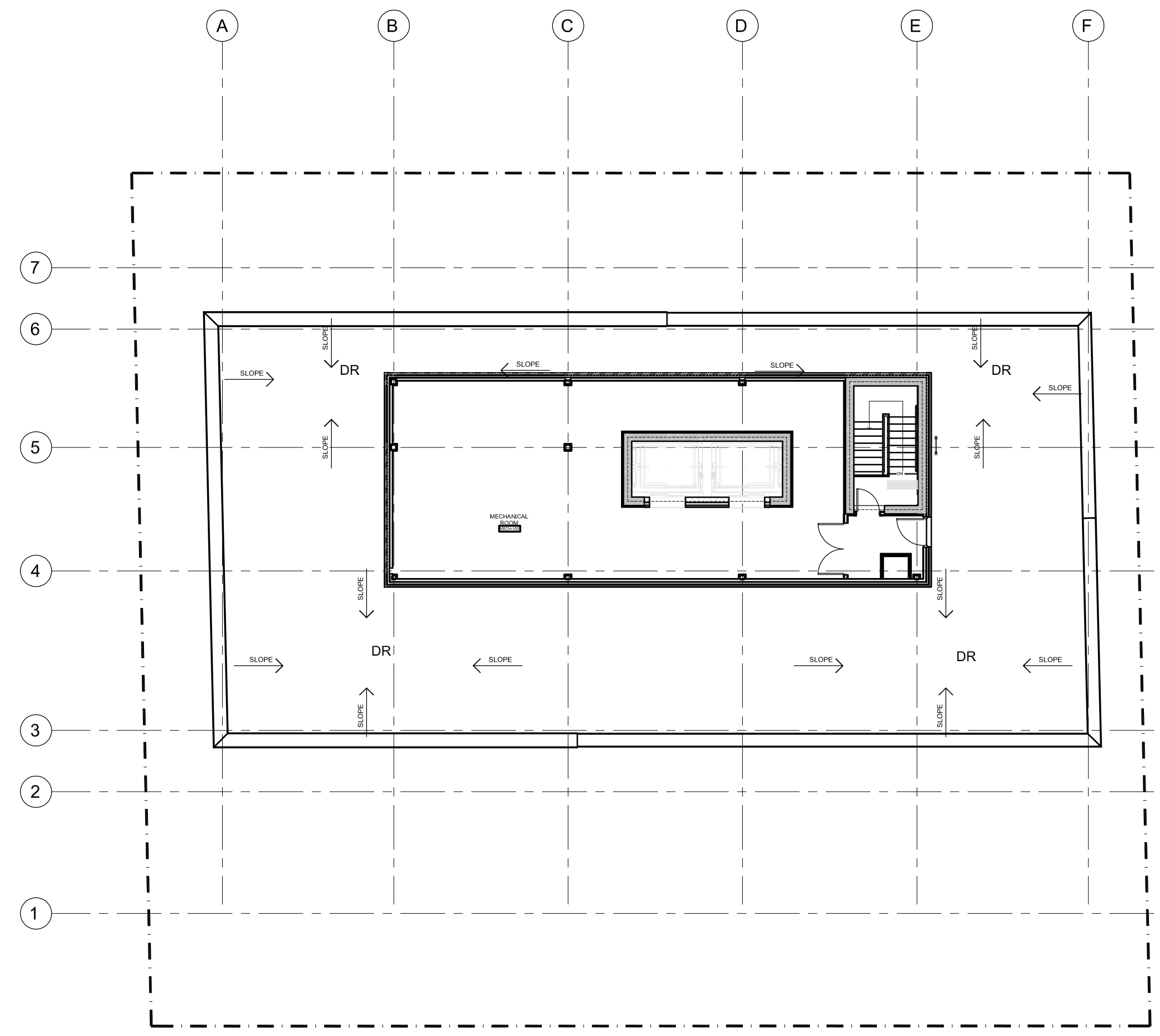
**3rd to 5th FLOOR PLAN**

CONSTRUCTION AREA ZONING AREA  
 5th FLOOR 5,082.7 sq. ft.  
 6276.9 SQ. FT.



**6th FLOOR PLAN**

CONSTRUCTION AREA ZONING AREA  
 5th FLOOR 4,268.2 sq. ft.  
 5319.1 SQ. FT.



**ROOF PLAN**

CONSTRUCTION AREA  
 MECHANICAL  
 1,501 sq. ft.

No.	DESCRIPTION	DATE
1	ISSUED FOR ROUND 3 CITY COMMENTS	May 13, 20
2	ISSUED FOR ROUND 2 CITY COMMENTS	Apr. 16, 20
3	ISSUED FOR ROUND 1 CITY COMMENTS	Jan. 24, 20
4	ISSUED FOR PUBLIC MEETING	Nov. 7, 19
5	ISSUED FOR SPC & ZONING AMENDMENT	June 30, 19
6	ISSUED FOR CONSULTANT REVIEW	June 04, 19
7	ISSUED FOR DESIGN CONCEPT	Dec. 19, 18

REVISIONS:

ARCHITECT SEAL:  
 ONTARIO ASSOCIATION OF ARCHITECTS  
 RODERICK LAHEY  
 LICENCE #3235  
 SEAL DATE: STAMP DATE

NORTH ARROW:

CLIENT:  
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 roderick lahey architect inc.  
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PROJECT TITLE:  
**24-30 PRETORIA AVENUE**  
 OTTAWA ONTARIO

**FLOOR PLANS**

DRAWN: S.S.	CHECKED: R.V.
SCALE: 1:150	SHEET No. <b>A101</b>
PROJECT No. 1836	

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2 NORTH ELEVATION.  
 A 201 1:100



1 SOUTH ELEVATION.  
 A 201 1:100

No.	DESCRIPTION	DD.MM.YY
7	ISSUED FOR ROUND 3 CITY COMMENTS	13.05.2020
6	ISSUED FOR ROUND 2 CITY COMMENTS	16.04.2020
5	ISSUED FOR ROUND 1 CITY COMMENTS	24.01.2020
4	ISSUED FOR PUBLIC MEETING	07.11.2019
3	ISSUED FOR SPC AND ZONING AMENDMENT	30.06.2019
2	ISSUED FOR CONSULTANT REVIEW	04.06.2019
1	ISSUED FOR DESIGN CONCEPT REVIEW	19.11.2018



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PROJECT TITLE:  
**24-30 PRETORIA AVE**  
 OTTAWA, ONTARIO

SHEET TITLE:  
**ELEVATIONS**

DRAWN: S.S.	CHECKED: R.V.
SCALE: 1:100	SHEET No: <b>A 201</b>
PROJECT No: 1836	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 URL: I:\RAI-FP01\_1\rai.local\FR\Jeffrey\My Documents\1836 - 24-30 Pretoria Ave - Revit 2020\_mjjeffrey\KIV7GK.dwg D07-12-19-0129



1 EAST ELEVATION.  
A 202 1:100



2 WEST ELEVATION.  
A 202 1:100

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REVISIONS:



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24-30 PRETORIA AVE

OTTAWA, ONTARIO

SHEET TITLE:

ELEVATIONS

DRAWN:

S.S.

CHECKED:

R.V.

SCALE:

1:100

SHEET No.:

**A 202**

PROJECT No.:

1836



2 3D View LOOKING NORTH  
A 301

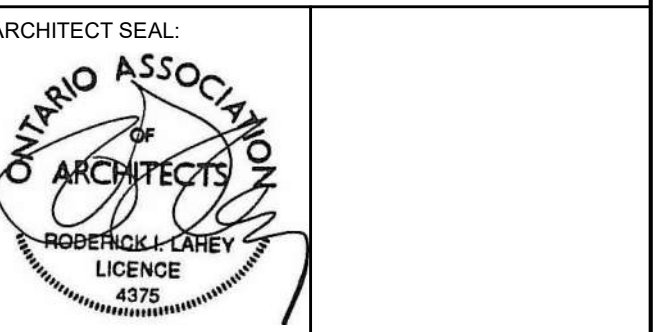


1 3D View LOOKING NORTH  
A 301

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PROJECT TITLE:

24-30 PRETORIA AVE

OTTAWA, ONTARIO

SHEET TITLE:

3D VIEWS.

DRAWN: S.S. CHECKED: R.V.

SCALE: SHEET No:

PROJECT No: 1836 **A 301**



1 3D View LOOKING SOUTH.



2 3D View LOOKING SOUTH

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REVISIONS:

ARCHITECT SEAL:

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PROJECT TITLE:

**24-30 PRETORIA AVE**

OTTAWA, ONTARIO

SHEET TITLE:

**3D VIEWS**

DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No: <b>A 302</b>
PROJECT No: 1836	



1 3D View LOOKING FROM PRETORIA AVE..  
A 303



2 3D View LOOKING FROM PRETORIA AVE.  
A 303

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OTTAWA, ONTARIO

SHEET TITLE:

3D VIEWS

DRAWN:

Author

CHECKED:

Checker

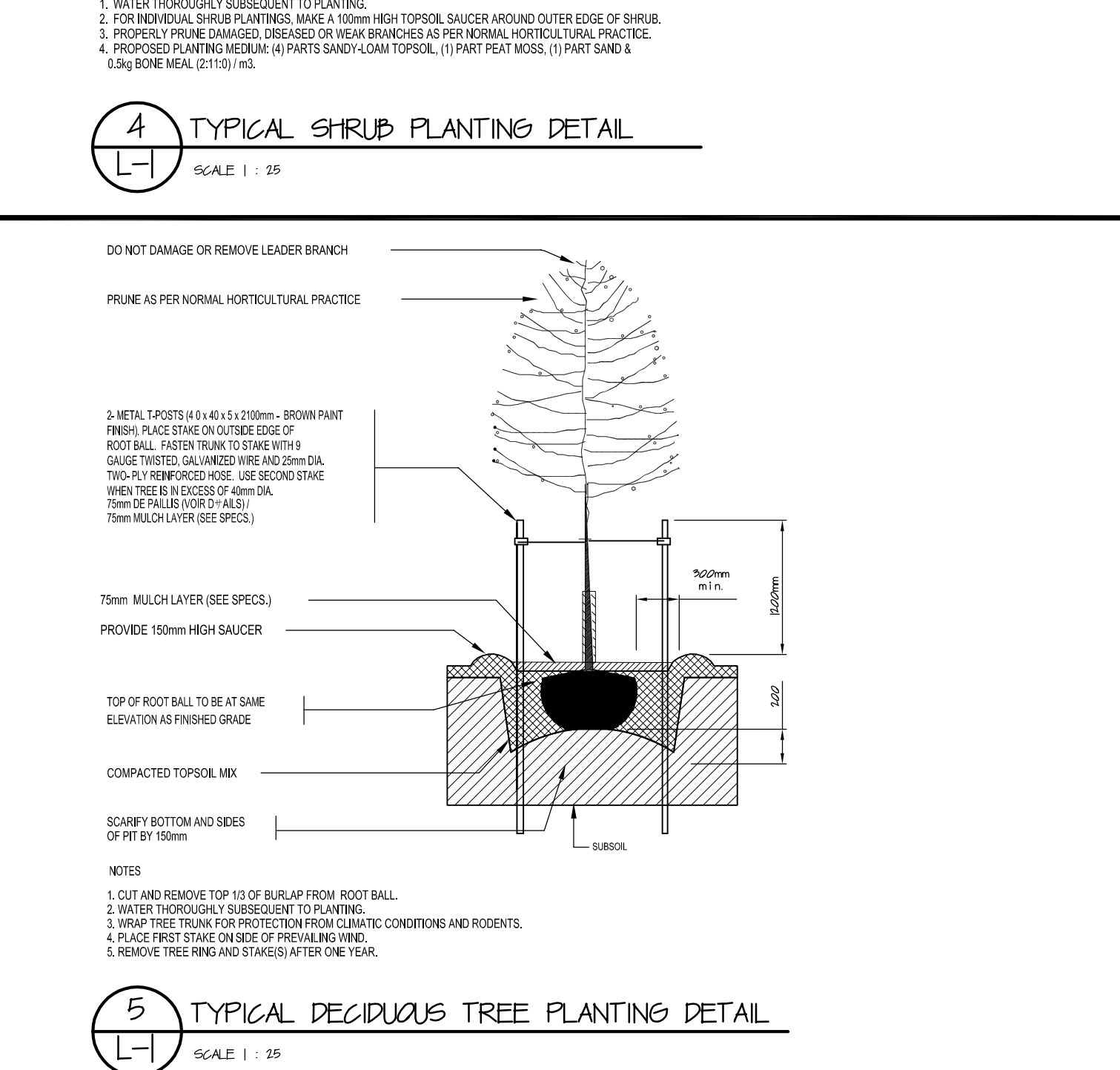
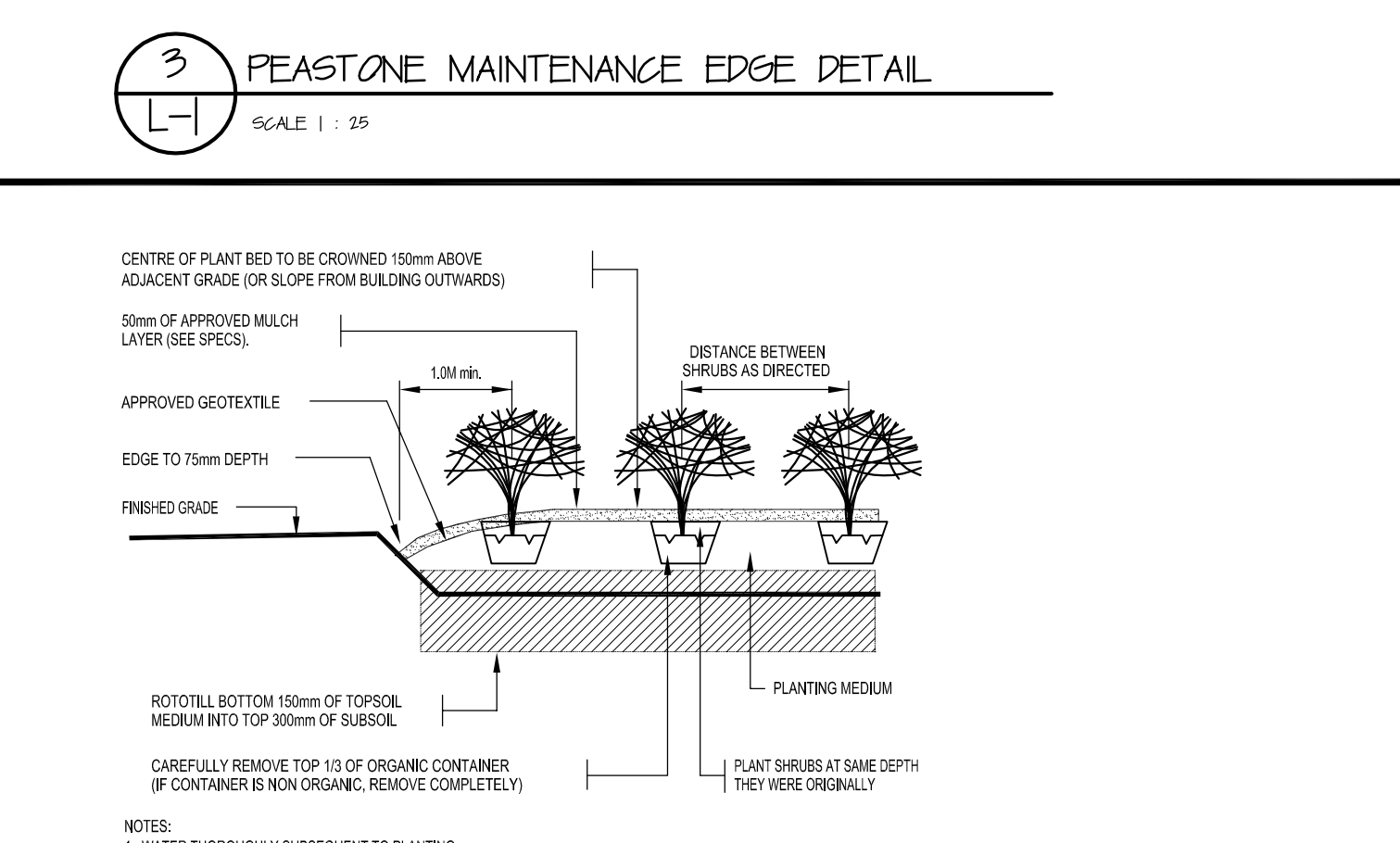
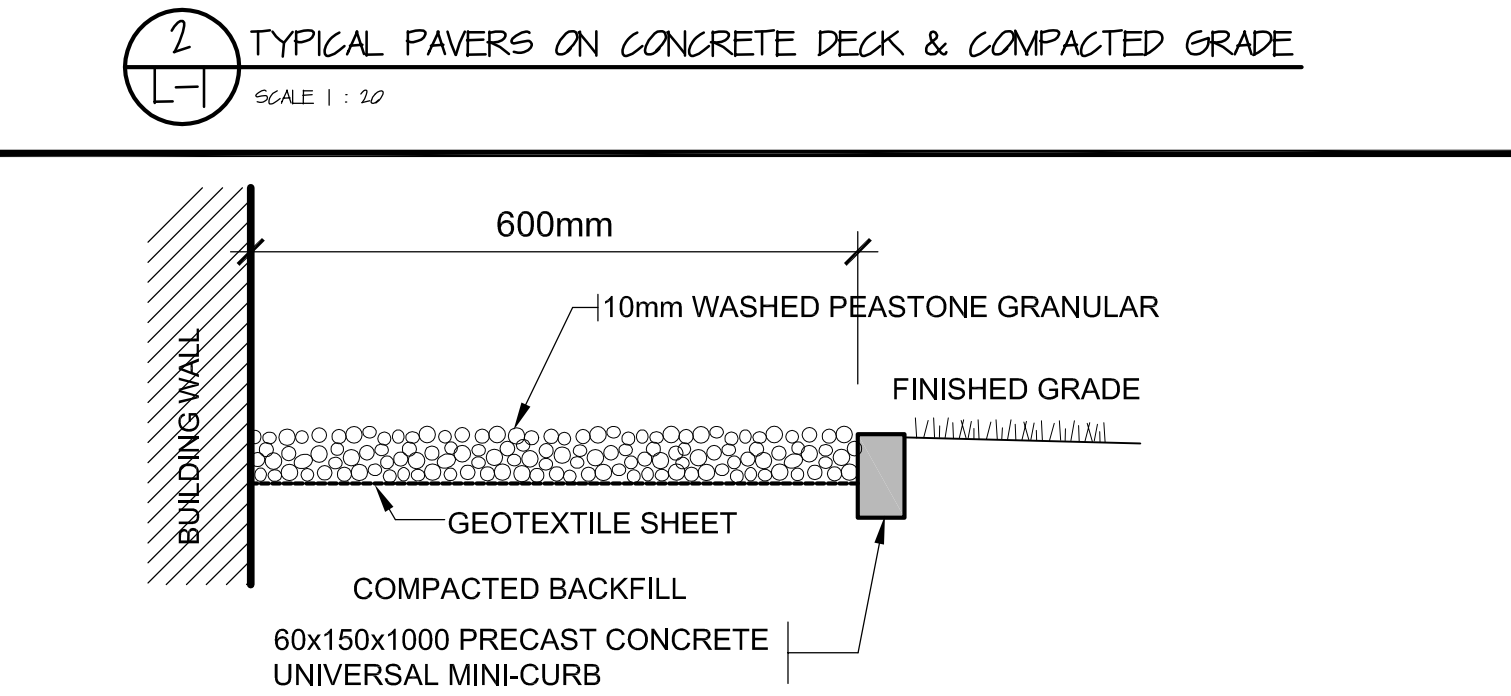
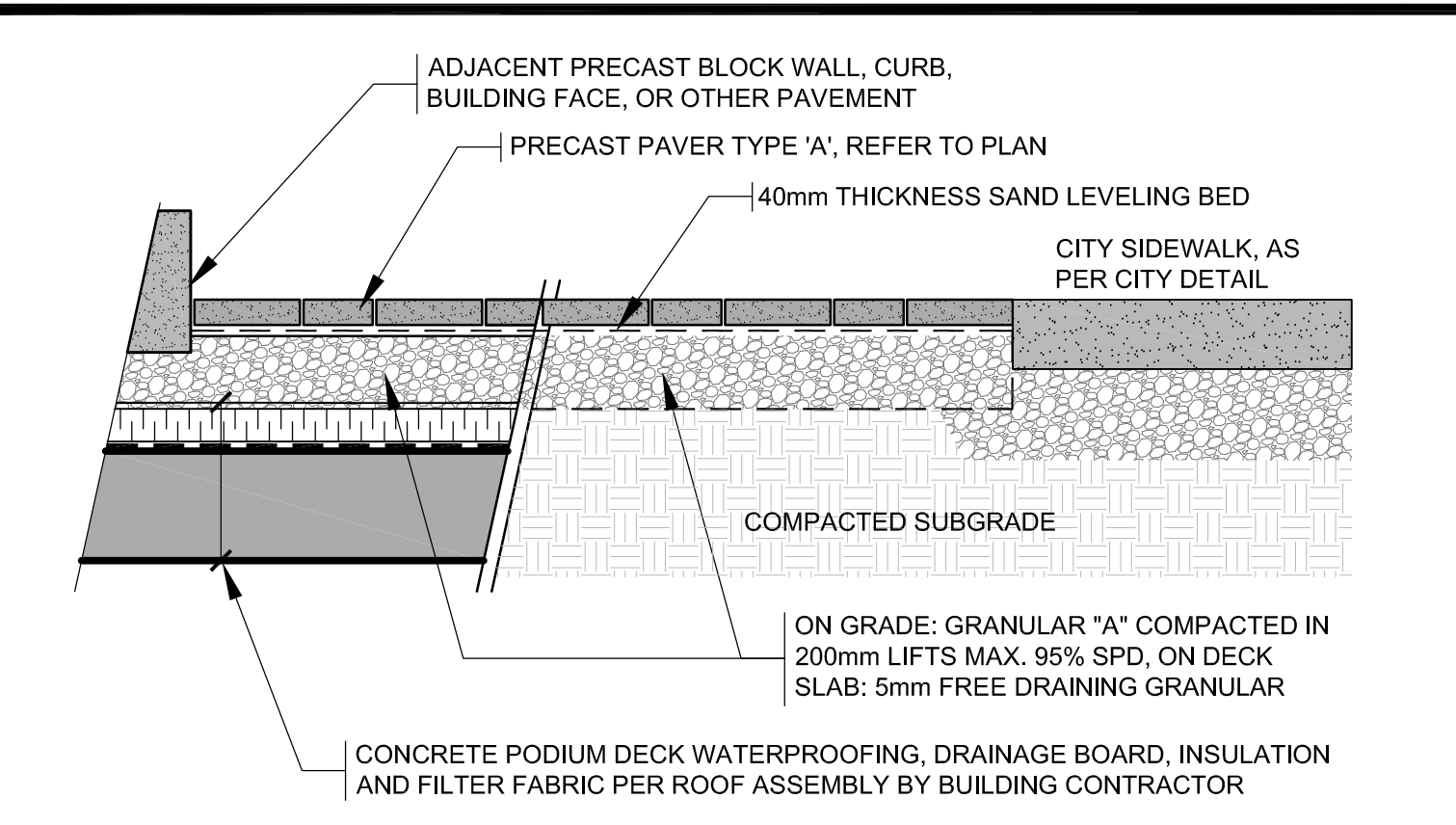
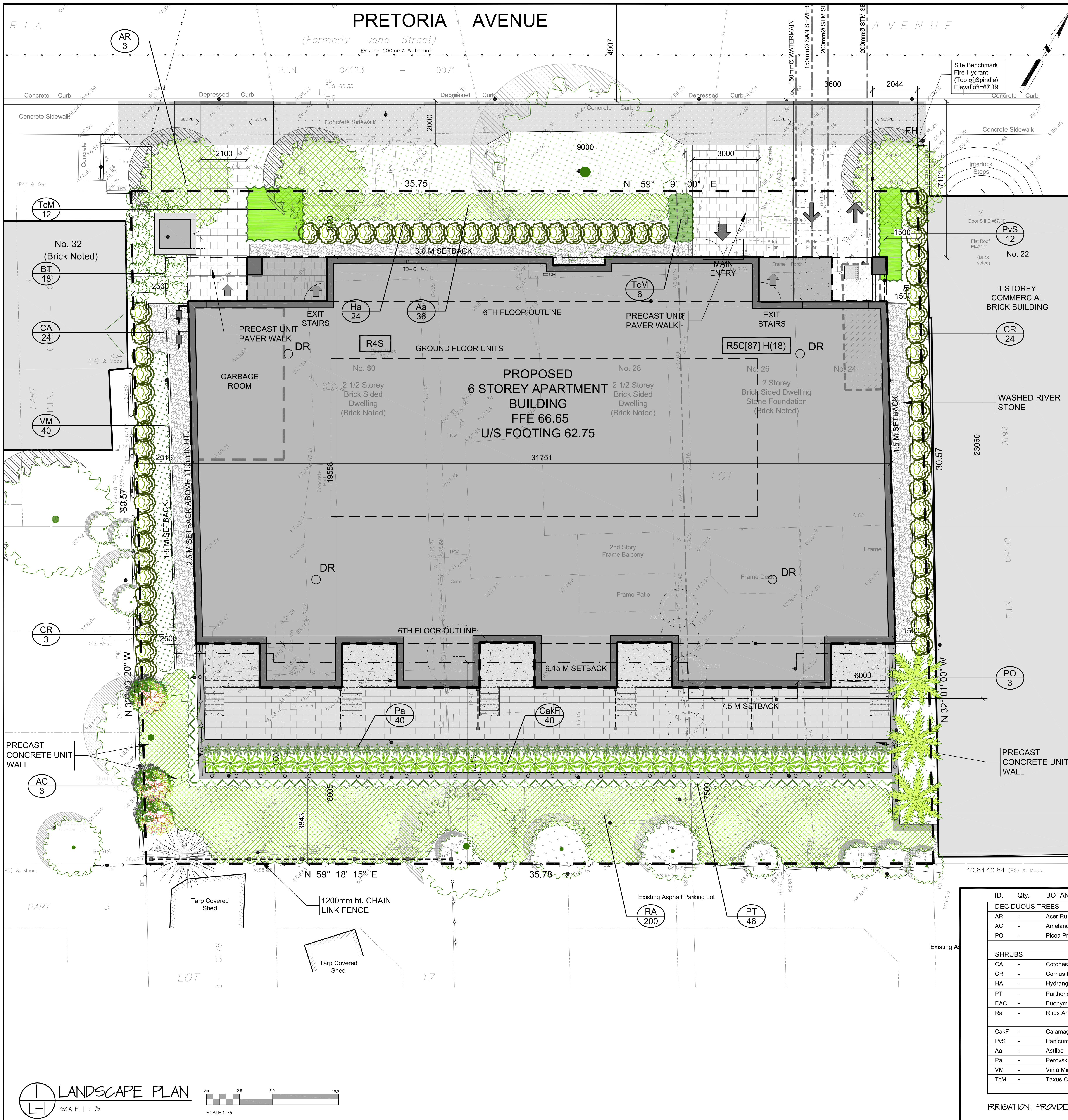
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PROJECT No:

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**A 303**



ID.	Qty.	BOTANICAL NAME	COMMON NAME	SPACING	SCHED. SIZE	REMARKS
<b>DECIDUOUS TREES</b>						
AR	-	Acer Rubrum Armstrong	Armstrong Red Maple	See Plan	70mm cal.	WB, straight trunk, uniformly well branched
AC	-	Amelanchier Laevis	Allegheny Serviceberry Tree	See Plan	50mm cal.	WB, straight trunk, uniformly well branched
PO	-	Picea Pmarika	Serbian Spruce	See Plan	240cm ht.	WB, straight trunk, uniformly well branched
<b>SHRUBS</b>						
CA	-	Cotonaster Acutifolius	Peking Cotonaster	1.0m o/c	40cm ht.	3 Gal Pots, full body, uniformly well branched
CR	-	Cornus Racemosa STO	Grey Dogwood	1.0m o/c	60cm ht.	3 Gal Pots, full body, uniformly well branched
HA	-	Hydrangea Arborescens	Annabelle Hydrangea	1.0m o/c	60cm ht.	3 Gal Pots, full body, uniformly well branched
PT	-	Parthenocissus Tricuplata	Boston Ivy	1.0m o/c	60cm ht.	3 Gal Pots, full body, uniformly well branched
EAC	-	Euonymus Aladus Compacta	Dwarf Burning Bush	1.0m o/c	60cm ht.	3 Gal Pots, full body, uniformly well branched
Ra	-	Rhus Aromatica	Fragrant Sumac	1.0m o/c	60cm ht.	3 Gal Pots, full body, uniformly well branched
<b>GRASSES</b>						
CaKf	-	Calamagrostis Acutiflora	Karl Foerster Feather Reed Grass	1.0m o/c	60cm ht.	3 Gal Pots, full body, uniformly well branched
Pvs	-	Panicum Virgatum	Shenandoah Switch Grass	1.0m o/c	60cm ht.	3 Gal Pots, full body, uniformly well branched
<b>PERENNIALS</b>						
Aa	-	Astilbe	Bridal Veil	0.6m o/c	60cm ht.	1 Gal Pots
Pa	-	Perovskia Atriplicifolia	Russian Sage	1.0m o/c	60cm ht.	1 Gal Pots
VM	-	Vinca Minor	Periwinkle	0.6m o/c	60cm ht.	1 Gal Pots, 2 year old
TcM	-	Taxus Cuspidata	Monlooo Japanese Yew	1.0m o/c	60cm ht.	3 Gal Pots

IRRIGATION: PROVIDE FULL COVERAGE DRIP IRRIGATION TO ALL PLANT BEDS, TREE PITS AND PLANTERS

**GENERAL NOTES**

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPLIED FROM EXISTING PLANS AND CONSULTANTS' FIELD NOTES. REPORT ALL DISCREPANCIES PRIOR TO ANY WORK. NO RESPONSIBILITY IS BORNE BY THE CONSULTANT FOR UNDERLYING SUBSURFACE CONDITIONS.
- THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES PRIOR TO EXCAVATION TO ASCERTAIN LOCATION OF UNDERLYING SERVICES. VERIFY ALL ELEVATIONS WITH INFORMATION SHOWN ON THIS PLAN.
- ALL DIMENSIONS AND GRADES ARE TO BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR IS TO MAINTAIN POSITIVE SURFACE RUNOFF THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- REINSTATE ALL DAMAGE CAUSED CONTRACTOR TO STRUCTURES, CURBS, PAVEMENT, PLANTING, ROAD SHOULDERS AND OTHER SITE AMENITIES.
- CONTRACTOR TO STAKE PLANTING LOCATION AND OTHER SITE AMENITIES, UNDER SUPERVISION OF LANDSCAPE ARCHITECT, PRIOR TO ANY WORK.
- EACH TASK OF WORK TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING TO THE NEXT.
- NO MODIFICATIONS TO PLANS AND DETAILS, AND NO MATERIALS SUBSTITUTIONS IS PERMITTED WITHOUT THE WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- USE OF THIS PLAN WITHOUT THE LANDSCAPE ARCHITECT'S SEAL AND SIGNATURE IS NOT ALLOWED AND RELEASES THE LANDSCAPE ARCHITECT OF ANY RESPONSIBILITY.

NO.	DATE	REVISION
4	May 13, 20	ISSUED FOR 3rd ROUND COMMENTS
3	Apr. 17, 20	ISSUED FOR 2nd ROUND COMMENTS
2	Jan 20, 20	ISSUED FOR 1st ROUND COMMENTS
1	June 30, 19	ISSUED FOR SPC AND ZONING AMENDMENT

**JBHOLDINGS**  
107 Pretoria Ave. Ottawa, Ontario

**Kallala DESIGNS**

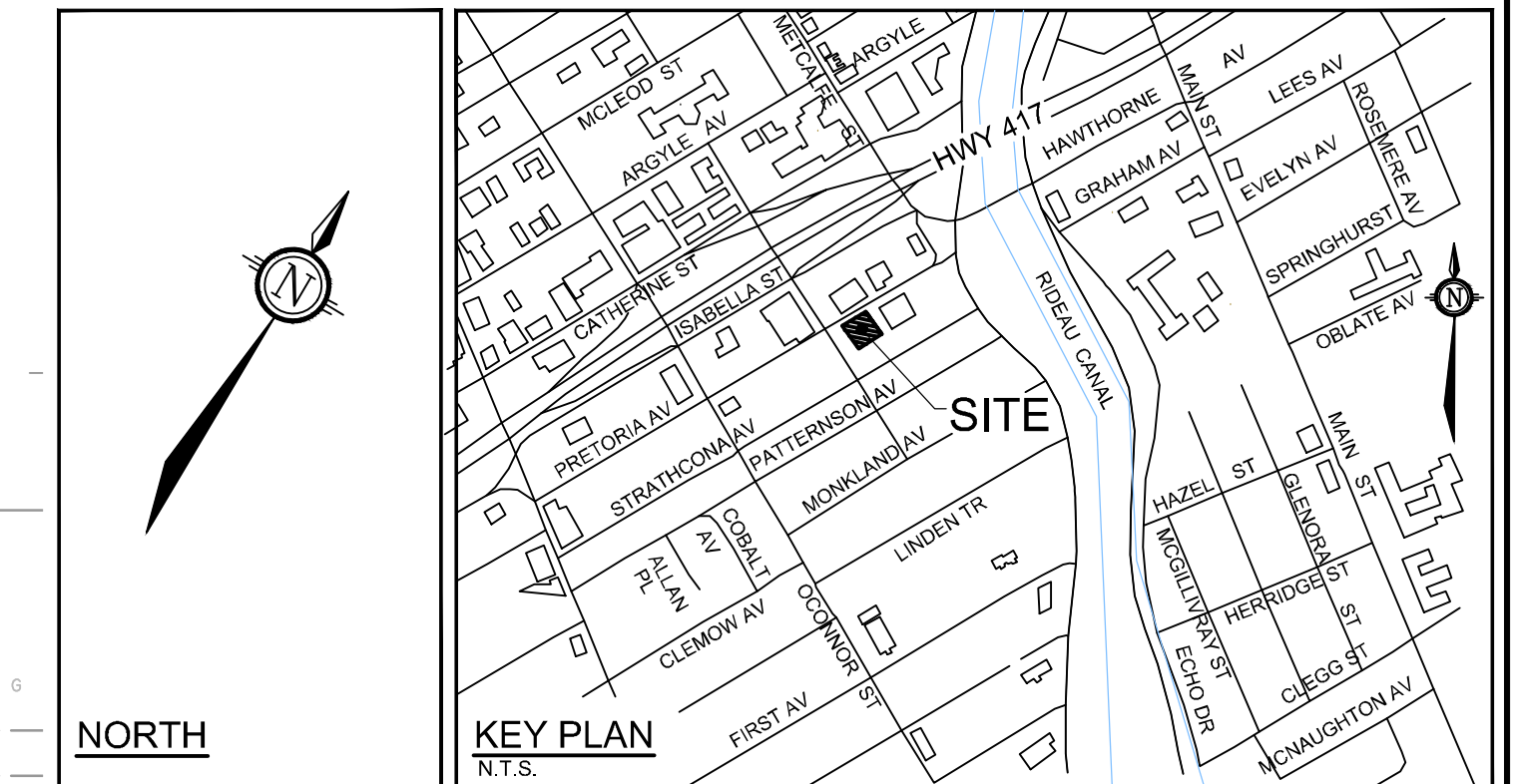
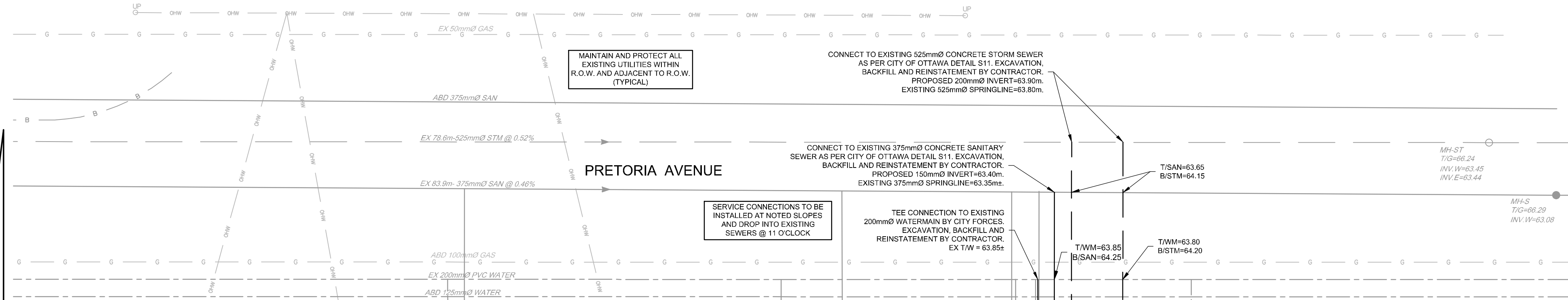
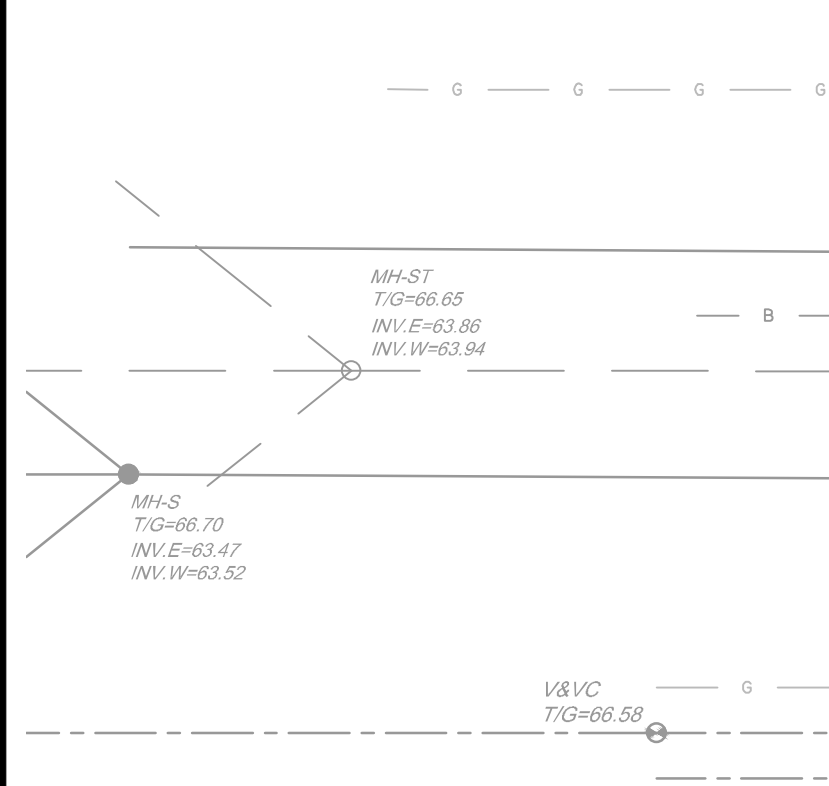
PROJECT: 24-30 PRETORIA AVENUE  
OTTAWA ONTARIO

TITLE: LANDSCAPE PLAN

DRIVEN BY: J.W. / R.V.  
DATE: March 2019  
SCALE: 1 : 75  
VERIFIED BY: J. Wheeler

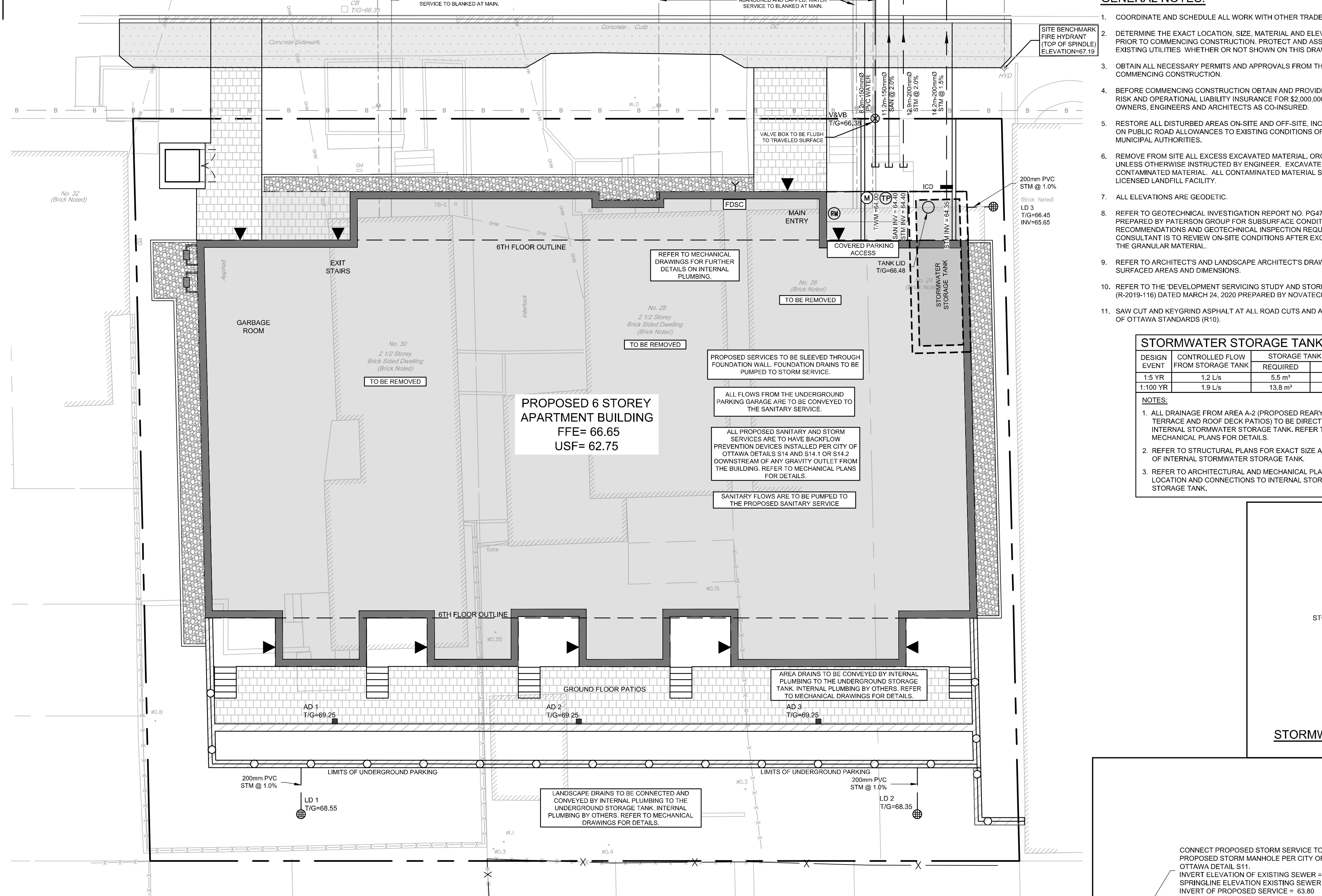
PROJECT NO.: KD-2019-2  
PLAN NO.: L-1  
REV #0





### LEGEND

- PROPERTY LINE
- PROPOSED SANITARY SERVICE
- PROPOSED STORM SERVICE
- PROPOSED AREA DECK DRAIN
- PROPOSED LANDSCAPE DRAIN
- ICD
- PROPOSED INLET CONTROL DEVICE
- PROPOSED BARRIER CURB
- PROPOSED DEPRESSED CURB
- PROPOSED WATER SERVICE AND DIAMETER
- PROPOSED VALVE & VALVE BOX
- PROPOSED CAP
- PROPOSED SIAMOSE CONNECTION
- PROPOSED WATER METER & REMOTE METER
- PROPOSED SANITARY INTERNAL TEST PORT
- PROPOSED BUILDING ENTRANCE
- PROPOSED RETAINING WALL
- OHW
- EXISTING OVERHEAD WIRES
- EXISTING CONCRETE CURB
- SANMH
- EXISTING SANITARY MANHOLE & SEWER
- CSMH
- EXISTING CATCHBASIN MANHOLE
- STMMH
- EXISTING STORM MANHOLE & SEWER
- GP
- EXISTING CATCHBASIN C/W CATCHBASIN LEAD
- HYD
- EXISTING HYDRANT & VALVE
- EX UP
- EXISTING UTILITY POLE C/W GUY WIRES
- EXISTING FENCE
- 250mm WM
- EXISTING WATERMAIN
- HYD
- EXISTING HYDRANT C/W VALVE & LEAD



### GENERAL NOTES:

- COORDINATE AND SCHEDULE ALL WORK WITH OTHER TRADES AND CONTRACTORS.
- DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THIS DRAWING.
- OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.
- BEFORE COMMENCING CONSTRUCTION OBTAIN AND PROVIDE PROOF OF COMPREHENSIVE, ALL RISK AND OPERATIONAL LIABILITY INSURANCE FOR \$2,000,000.00. INSURANCE POLICY TO NAME OWNERS, ENGINEERS AND ARCHITECTS AS CO-INSURED.
- RESTORE ALL DISTURBED AREAS ON-SITE AND OFF-SITE, INCLUDING TRENCHES AND SURFACES ON PUBLIC ROAD ALLOWANCES TO EXISTING CONDITIONS OR BETTER TO THE SATISFACTION OF MUNICIPAL AUTHORITIES.
- REMOVE FROM SITE ALL EXCESS EXCAVATED MATERIAL, ORGANIC MATERIAL AND DEBRIS UNLESS OTHERWISE INSTRUCTED BY ENGINEER. EXCAVATE AND REMOVE FROM SITE ANY CONTAMINATED MATERIAL. ALL CONTAMINATED MATERIAL SHALL BE DISPOSED OF AT A LICENSED LANDFILL FACILITY.
- ALL ELEVATIONS ARE GEODETIC.
- REFER TO GEOTECHNICAL INVESTIGATION REPORT NO. PG4798-2 DATED AUGUST 2, 2019 PREPARED BY PATERSON GROUP FOR SUBSURFACE CONDITIONS, CONSTRUCTION RECOMMENDATIONS AND GEOTECHNICAL INSPECTION REQUIREMENTS. THE GEOTECHNICAL CONSULTANT IS TO REVIEW ON-SITE CONDITIONS AFTER EXCAVATION PRIOR TO PLACEMENT OF THE GRANULAR MATERIAL.
- REFER TO ARCHITECT'S AND LANDSCAPE ARCHITECT'S DRAWINGS FOR BUILDING AND HARD SURFACED AREAS AND DIMENSIONS.
- REFER TO THE 'DEVELOPMENT SERVICING STUDY AND STORMWATER MANAGEMENT REPORT (R-2019-16) DATED MARCH 24, 2020 PREPARED BY NOVATECH.
- SAW CUT AND KEYGRIND ASPHALT AT ALL ROAD CUTS AND ASPHALT TIE-IN POINTS AS PER CITY OF OTTAWA STANDARDS (R10).

### SEWER NOTES:

- SUPPLY AND CONSTRUCT ALL SEWERS AND APPURTENANCES IN ACCORDANCE WITH THE MOST CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
- SPECIFICATIONS:
 

ITEM	SPEC. No.	REFERENCE
STORM SERVICE	PVC DR 35	CITY OF OTTAWA
SANITARY SERVICE	PVC DR 35	CITY OF OTTAWA
SEWER TRENCH	S6 & S7	CITY OF OTTAWA
BEDDING (GRANULAR 'A')		CITY OF OTTAWA
COVER (GRANULAR 'A' OR GRANULAR 'B' TYPE I WITH MAXIMUM PARTICLE SIZE=25mm)	S25	CITY OF OTTAWA
STORM / SANITARY MH FRAME	S24	CITY OF OTTAWA
STORM COVER OPEN	S30,31	CITY OF OTTAWA
LANDSCAPE DRAINS ('T' & E/BOW)		CITY OF OTTAWA
- ALL STORM AND SANITARY SERVICE LATERALS SHALL BE EQUIPPED WITH BACKFLOW PREVENTERS WITHIN THE BUILDING FOOTPRINT AS PER CITY OF OTTAWA STANDARD DETAILS S14 AND S14.1 OR S14.2. REFER TO MECHANICAL PLANS FOR DETAILS.
- PIPE BEDDING, COVER AND BACKFILL ARE TO BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. THE USE OF CLEAR CRUSHED STONE AS A BEDDING LAYER SHALL NOT BE PERMITTED.
- INSULATE ALL SEWER PIPES THAT HAVE LESS THAN 2.0m COVER WITH 125mm THICK HI-40 RIGID INSULATION.
- CONTRACTOR TO PROVIDE THE CONSULTANT WITH A GENERAL PLAN OF SERVICES INDICATING ALL APPLICABLE SERVICES AS-BUILT INFORMATION SHOWN ON THIS PLAN. AS-BUILT INFORMATION MUST INCLUDE: PIPE MATERIAL, SIZES, LENGTHS, SLOPES, INVERT AND TIG ELEVATIONS, STRUCTURE LOCATIONS AND ANY ALIGNMENT CHANGES, ETC.
- THE OWNER SHALL REQUIRE THAT THE SITE SERVICING CONTRACTOR PERFORM FIELD TESTS FOR QUALITY CONTROL OF ALL SANITARY SEWERS. LEAKAGE TESTING SHALL BE COMPLETED IN ACCORDANCE WITH OPSS 410.07.16, 410.07.16.04 AND 407.07.24. DYE TESTING IS TO BE COMPLETED ON ALL SANITARY SERVICES TO CONFIRM PROPER CONNECTION TO THE SANITARY SEWER MAIN. THE FIELD TESTS SHALL BE PERFORMED IN THE PRESENCE OF A CERTIFIED PROFESSIONAL ENGINEER WHO SHALL SUBMIT A CERTIFIED COPY OF THE TEST RESULTS.

### WATERMAIN NOTES:

- SUPPLY AND CONSTRUCT ALL WATERMAIN AND APPURTENANCES IN ACCORDANCE WITH THE MOST CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
- SPECIFICATIONS:
 

ITEM	SPEC. No.	REFERENCE
WATERMAIN TRENCHING	W17	CITY OF OTTAWA
THERMAL INSULATION IN SHALLOW TRENCHES	W22	CITY OF OTTAWA
THERMAL INSULATION BY OPEN STRUCTURES	W23	CITY OF OTTAWA
WATERMAIN CROSSING BELOW SEWERS	W25	CITY OF OTTAWA
WATERMAIN MATERIAL	PVC DR 18 (100mm AND LARGER)	CITY OF OTTAWA
VALVE BOX ASSEMBLY	W24	CITY OF OTTAWA
- EXCAVATION, INSTALLATION, BACKFILL AND RESTORATION OF ALL WATERMANS BY THE CONTRACTOR. CONNECTIONS AND SHUT-OFFS AT THE MAIN AND CHLORINATION OF THE WATER SYSTEM SHALL BE PERFORMED BY CITY OFFICIALS. EXCAVATION, INSTALLATION OF SERVICE, BACKFILL AND RESTORATION BY THE CONTRACTOR.
- WATERMAIN SHALL BE MINIMUM 2.4m DEPTH BELOW GRADE UNLESS OTHERWISE INDICATED.
- PROVIDE MINIMUM 0.5m CLEARANCE BETWEEN OUTSIDE OF PIPES AT ALL CROSSINGS, UNLESS OTHERWISE INDICATED.
- WATER SERVICE IS TO BE CONSTRUCTED TO WITHIN 1.0m OF FOUNDATION WALL AND CAPPED, UNLESS OTHERWISE INDICATED.

### STORMWATER STORAGE TANK TABLE

DESIGN EVENT	CONTROLLED FLOW FROM STORAGE TANK	STORAGE TANK VOLUME REQUIRED	STORAGE TANK VOLUME PROVIDED
1.5 YR	1.2 L/s	5.5 m³	17.8 m³
1:100 YR	1.9 L/s	13.8 m³	17.8 m³

- NOTES:
- ALL DRAINAGE FROM AREA A-2 (PROPOSED REARYARD TERRACE AND ROOF DECK PATIOS) TO BE DIRECTED TO THE INTERNAL STORMWATER STORAGE TANK. REFER TO MECHANICAL PLANS FOR DETAILS.
  - REFER TO STRUCTURAL PLANS FOR EXACT SIZE AND DETAILS OF INTERNAL STORMWATER STORAGE TANK.
  - REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR LOCATION AND CONNECTIONS TO INTERNAL STORMWATER STORAGE TANK.

### ROOF DRAIN TABLE: AREA R-1 (ROOF DRAINS 1-4)

AREA ID	ROOF DRAIN NO. (WATTS MODEL)**	ROOF DRAIN OPENING SETTING	1.5 YEAR RELEASE RATE	APPROX. 5 YR PONDING DEPTH	1:100 YEAR RELEASE RATE	APPROX. 100 YR PONDING DEPTH
A-2	RD 1 (RD-100-A-ADJ)	1/2 OPEN	2.5 L/s	5 cm	3.8 L/s	10 cm

\* REFER TO THE POST-DEVELOPMENT DRAINAGE AREA PLAN (FIGURE A5) IN THE NOVATECH SERVICING AND STORMWATER MANAGEMENT REPORT FOR DRAINAGE AREA IDENTIFIERS AND STORMWATER MANAGEMENT DETAILS.  
 \*\* ALL CONTROLLED FLOW ROOF DRAINS FOR THE PROPOSED BUILDING TO BE WATTS ADJUSTABLE ACCUTROL ROOF DRAINS.

### INLET CONTROL DEVICE DATA - STM TANK

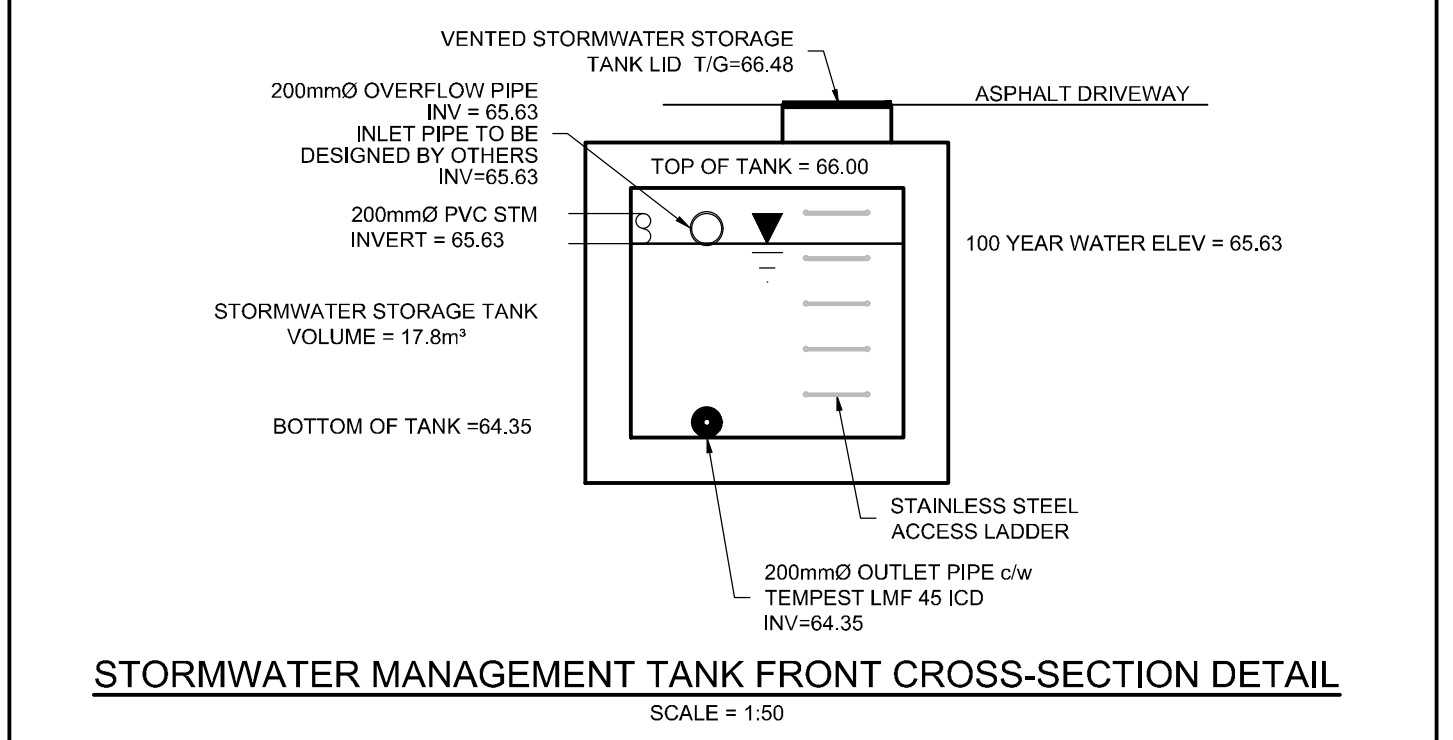
DESIGN EVENT	ICD TYPE (IPEX MODEL #)	DIAMETER OF OUTLET PIPE	DESIGN FLOW	DESIGN HEAD	WATER ELEVATION
1.5 YR	TEMPEST VORTEX LMF 45	200mm Ø	1.2 L/s	0.41m	64.86m
1:100 YR	TEMPEST VORTEX LMF 45	200mm Ø	1.9 L/s	1.18m	65.63m

THE DESIGN HEAD IS BASED ON THE WATER ELEVATION TO THE CENTER OF THE ORIFICE AT THE CENTER OF THE PIPE.

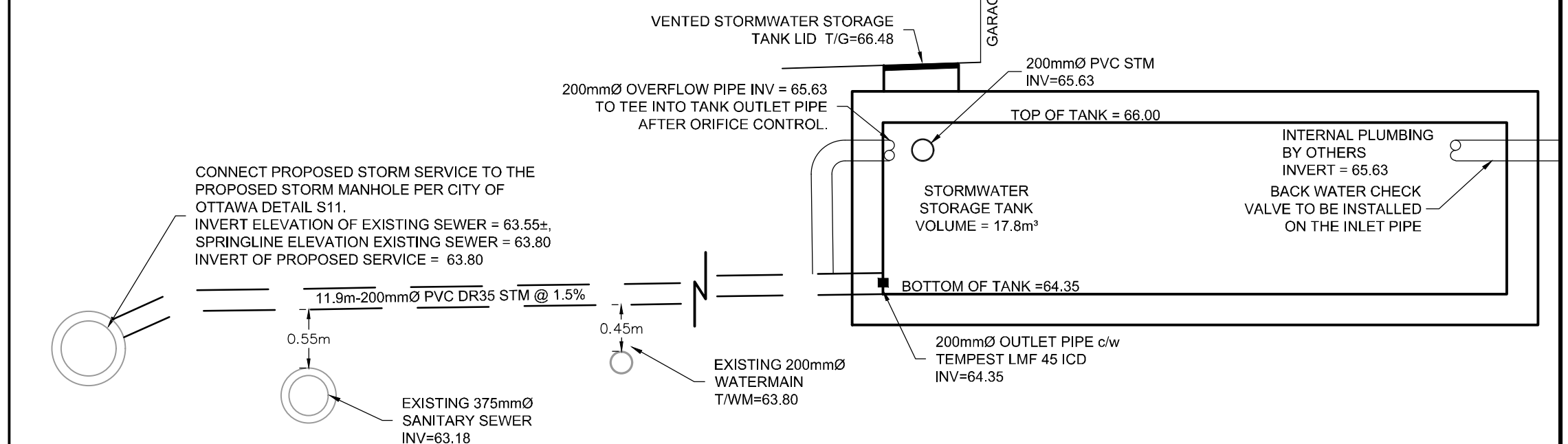
### 150mmØ WATERMAIN TABLE

STATION	SURFACE ELEVATION	TMM ELEVATION	COMMENTS
1+00.0	66.30	63.95	CONNECTION TO EX 200mmØ WM
1+06.1	66.50	64.00	VALVE AND VALVEBOX AND CAP AT PROPERTY LINE

\* 150mmØ CONNECTION TO EXISTING 200mmØ WATERMAIN. EXACT ELEVATION TO BE FIELD DETERMINED. PROVIDE THERMAL INSULATION AS PER CITY OF OTTAWA DETAIL W23 AND DETAIL W22 WHERE COVER IS LESS THAN 2.4m AND/OR ADJACENT TO OPEN STRUCTURES.



STORMWATER MANAGEMENT TANK FRONT CROSS-SECTION DETAIL  
SCALE = 1:50

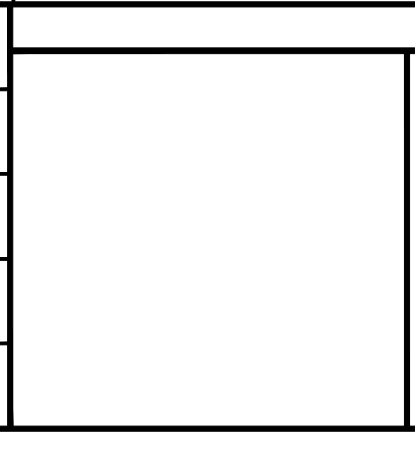


STORMWATER MANAGEMENT TANK SIDE CROSS-SECTION DETAIL  
SCALE = 1:50

NOTE: THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

No.	REVISION	DATE	BY
5.	ISSUED FOR FINAL APPROVAL	MAY 14/20	CJR
4.	REVISED PER CITY COMMENTS	APRIL 15/20	CJR
3.	REVISED PER CITY COMMENTS	MAR 24/20	CJR
2.	REVISED PER CITY COMMENTS	JAN 28/20	CJR
1.	ISSUED FOR SITE PLAN APPLICATION	JULY 3/19	CJR

DESIGN	MJH
CHECKED	CJR
DRAWN	MJH
CHECKED	CJR
APPROVED	JLS



**NOVATECH**  
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 Suite 200, 240 Michael Cowpland Drive  
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 Telephone: (613) 254-9643  
 Facsimile: (613) 254-5867  
 Website: www.novatech-eng.com

LOCATION  
 CITY OF OTTAWA  
 24-30 PRETORIA AVENUE

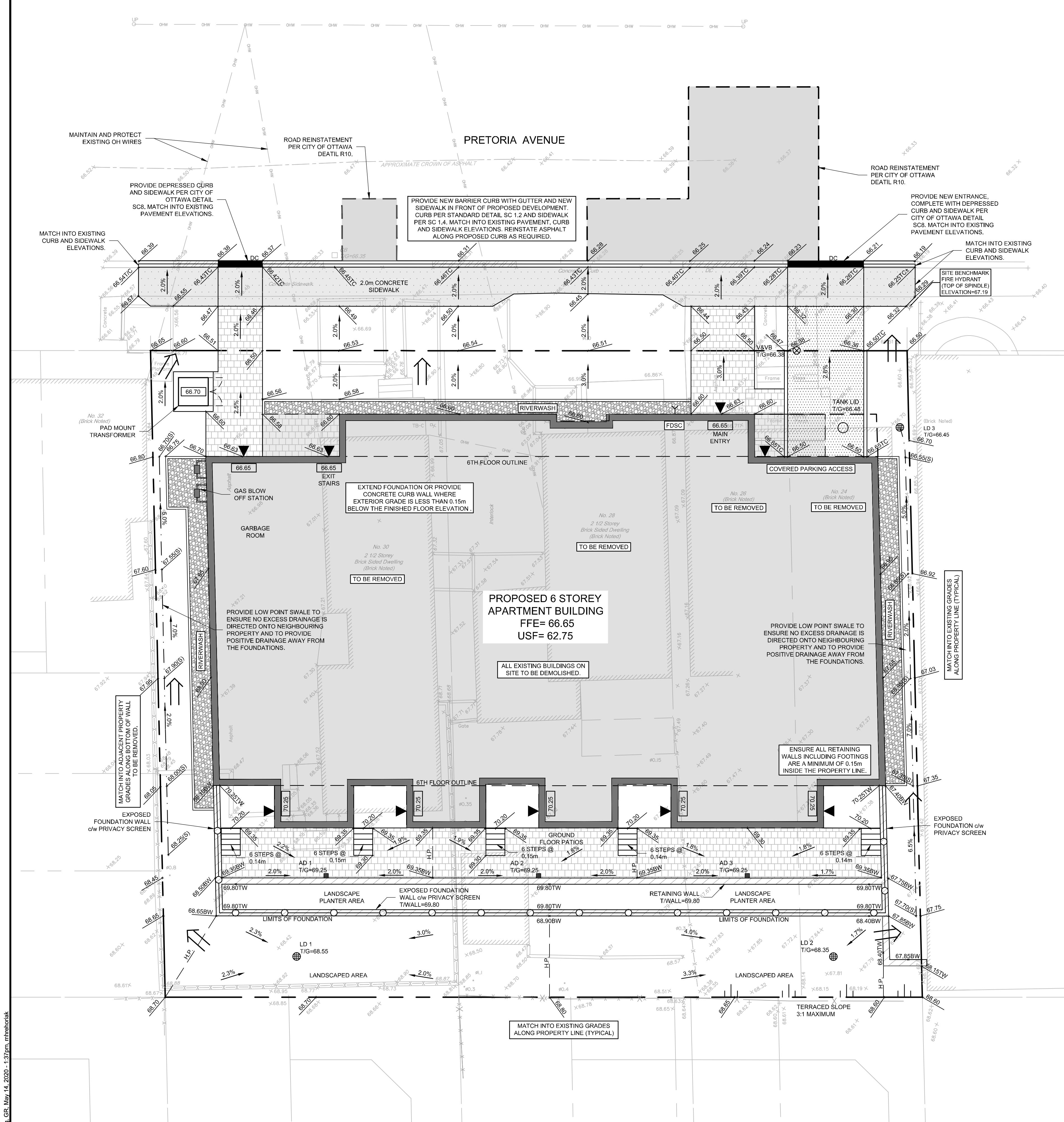
DRAWING NAME  
 GENERAL PLAN OF SERVICES

PROJECT No.  
 119011

REV #  
 REV # 5

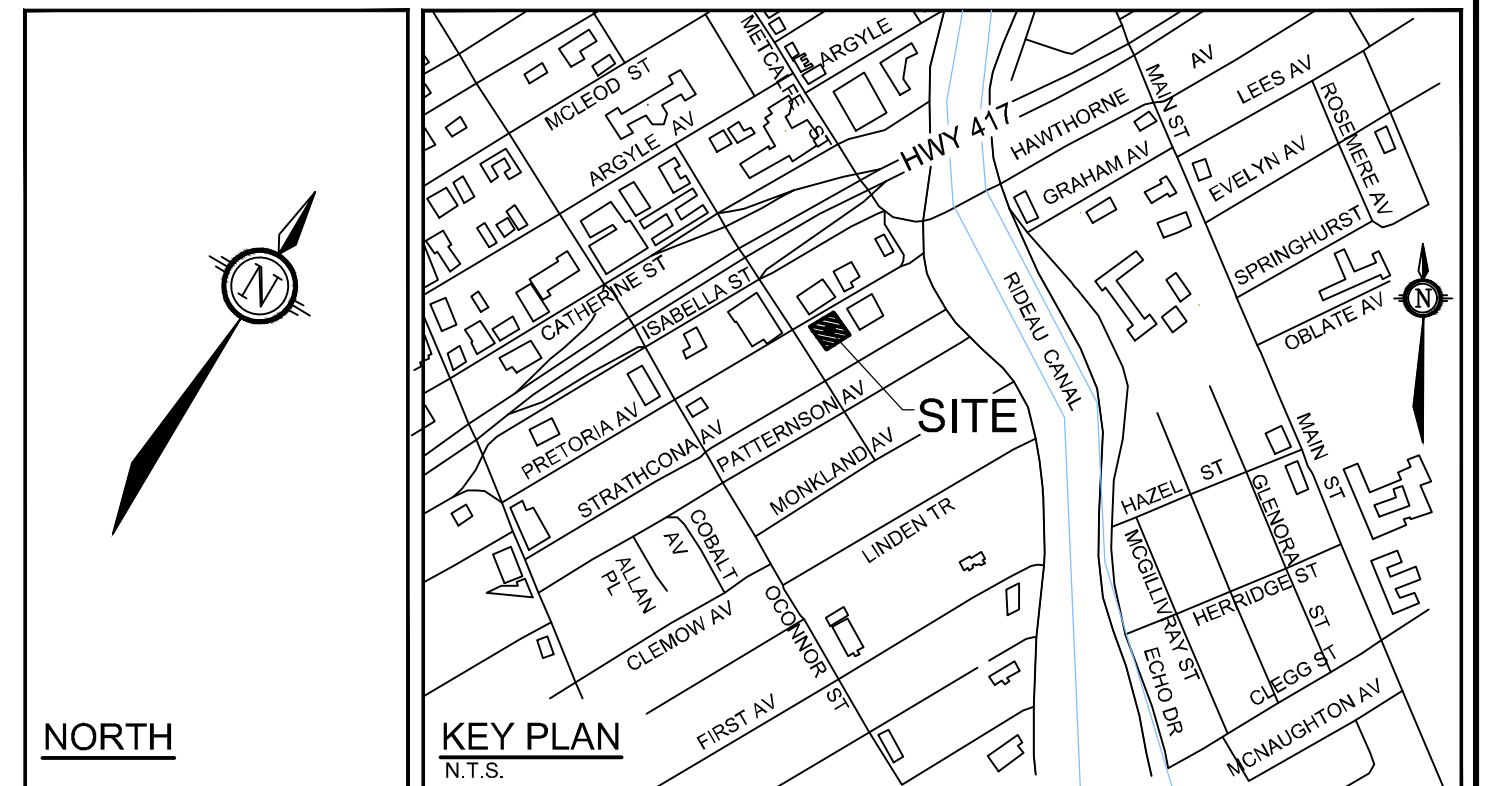
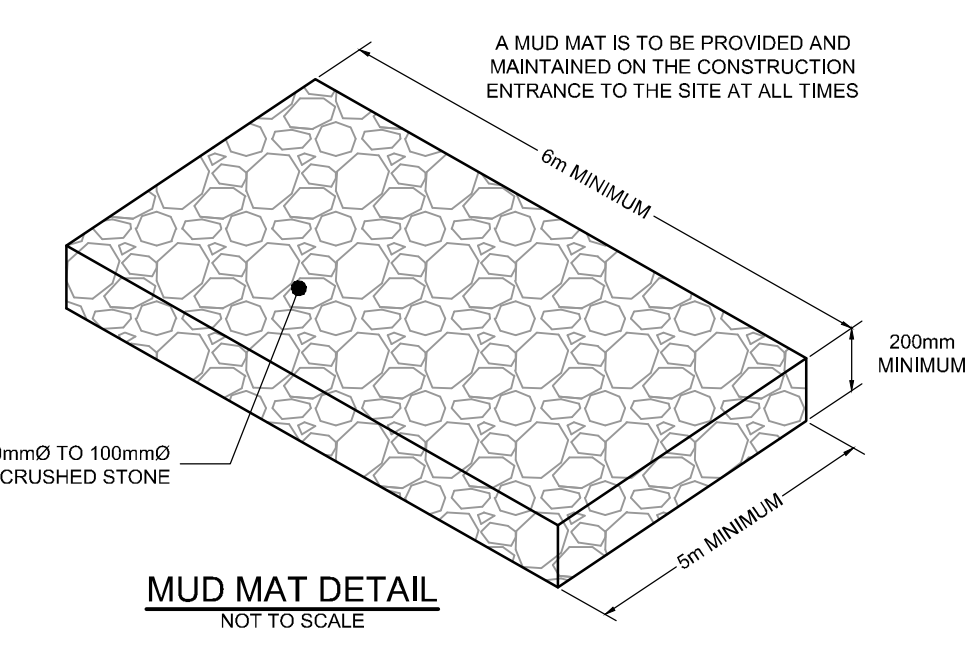
DRAWING No.  
 119011-GP

D07-12-19-0126  
18010



**GRADING NOTES:**

- ALL TOPSOIL, ORGANIC OR DELETERIOUS MATERIAL MUST BE ENTIRELY REMOVED FROM BENEATH THE PROPOSED BUILDING AND PAVED AREAS.
- EXPOSED SUB-GRADES IN PROPOSED PAVED AREAS SHOULD BE PROOF ROLLED WITH A LARGE STEEL DRUM ROLLER. ANY SOFT AREAS EVIDENT FROM THE PROOF ROLLING SHOULD BE SUB-EXCAVATED AND REPLACED WITH SUITABLE MATERIAL THAT IS FROST COMPATIBLE WITH THE EXISTING SOILS.
- THE GRANULAR BASE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY VALUE. ANY ADDITIONAL GRANULAR FILL USED BELOW THE PROPOSED PAVEMENT SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY VALUE.
- GRADE AND/OR FILL BEHIND PROPOSED CURB AND BETWEEN BUILDING AND CURBS, WHERE REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- MINIMUM OF 2% AND MAXIMUM OF 7% GRADE FOR ALL GRASS AREAS UNLESS OTHERWISE NOTED OR TERRACING IS USED AT MAXIMUM 3:1 RATIO.
- ALL GRADES BY CURBS ARE EDGE OF PAVEMENT GRADES UNLESS OTHERWISE INDICATED.
- REFER TO LANDSCAPE PLAN FOR PLANTING AND OTHER LANDSCAPE FEATURE DETAILS.
- CONTRACTOR TO PROVIDE THE CONSULTANT WITH A GRADING PLAN INDICATING THE AS-BUILT ELEVATION OF EVERY DESIGN GRADE SHOWN ON THIS PLAN.



**LEGEND**

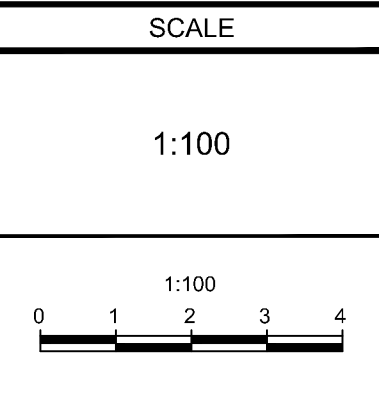
- PROPERTY LINE
- PROPOSED BARRIER CURB
- PROPOSED DEPRESSED CURB
- PROPOSED RETAINING WALL
- PROPOSED ELEVATION
- EXISTING ELEVATION
- EXISTING TOP OF CURB ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED DOOR SILL ELEVATION
- GRADE AND DIRECTION
- PROPOSED AREA DECK DRAIN
- PROPOSED HIGH POINT
- DIRECTION OF MAJOR OVERLAND FLOW
- PROPOSED BUILDING ENTRANCE
- REMOVALS
- PROPOSED VALVE & VALVE BOX
- PROPOSED SIMMSE CONNECTION
- SAWCUT AND ASPHALT REINSTATEMENT
- EXISTING OVERHEAD WIRES
- EXISTING CONCRETE CURB
- EXISTING SANITARY MANHOLE
- EXISTING CATCHBASIN MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CATCHBASIN
- EXISTING HYDRANT & VALVE
- EXISTING TREES / VEGETATION
- EXISTING UTILITY POLE CW GUY WIRES
- EXISTING FENCE
- EXISTING LIGHT STANDARD
- INTERLOCK PAVERS REFER TO LANDSCAPE PLAN FOR DETAILS
- TERRACED SLOPE 3:1 MAXIMUM

**PAVEMENT STRUCTURE:**

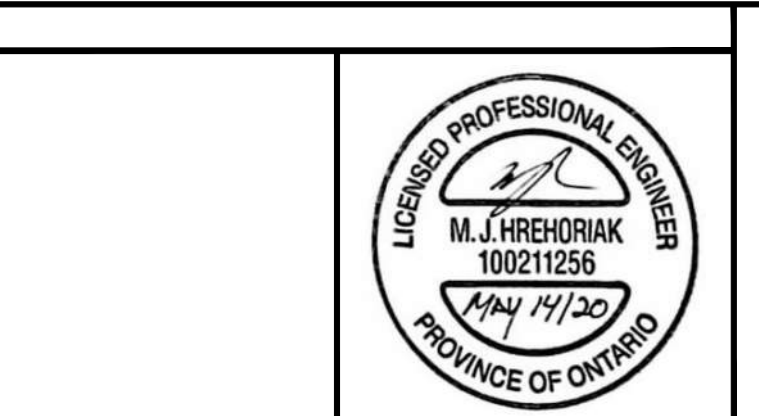
- ACCESS LANE (NEW PAVEMENT)
- 40mm HL-3 or SUPERPAVE 12.5
- 50mm HL-8 or SUPERPAVE 19.0
- 150mm GRANULAR "A"
- 400mm GRANULAR "B" TYPE II
- ASPHALT GRADE PG 58-34

**NOTE:**  
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**LOCATION**  
CITY OF OTTAWA  
24-30 PRETORIA AVENUE

**DRAWING NAME**  
GRADING AND EROSION & SEDIMENT CONTROL PLAN

**PROJECT No.** 119011  
**REV** REV # 5  
**DRAWING No.** 119011-GR

A:\2019\119011\CAD\Design\119011-GR.dwg GR May 14, 2020 - 1:37pm, unthrottled

D07-12-19-0126