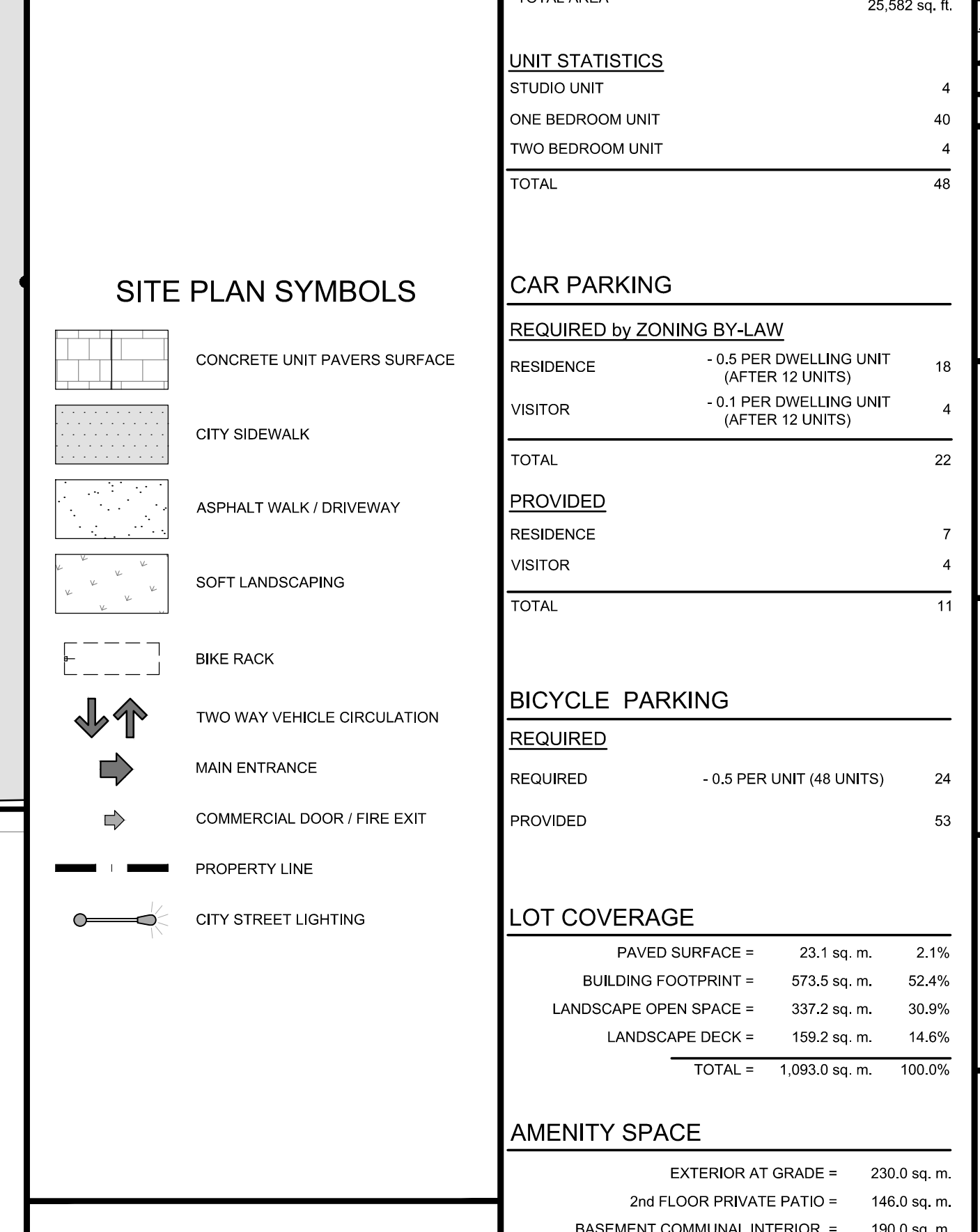


KEY MAP

DRAWING NOTES

- 1 PROPERTY LINE
- 2 BUILDING SETBACKS
- 3 PAD MOUNTED HYDRO TRANSFORMER
- 4 DEPRESSED CURB & SIDEWALK TO CITY STANDARDS
- 5 2.0 M WIDE SIDEWALK & CURB TO CITY STANDARDS
- 6 ASPHALT DRIVE WAY WITH 150 BARRIER CURBS
- 7 REPLACE EXISTING DEPRESSED CURB WITH BARRIER CURB TO CITY STANDARDS
- 8 BICYCLE PARKING SPACE
- 9 EXISTING FIRE HYDRANT
- 10 OUTLINE OF UNDERGROUND PARKING LEVEL
- 11 EXISTING RETAINING WALL
- 12 EXISTING RETAINING WALL TO BE REMOVED
- 13 EXISTING TREE TO REMAIN
- 14 EXISTING CHAIN LINK FENCE
- 15 EXPOSED FOUNDATION WALL OF PARKING LEVEL
- 16 EXISTING TIMBER FRAMED PLANTER TO BE REMOVED
- 17 LOW UNIT PRECAST CONCRETE LANDSCAPE WALL
- 18 EXISTING TREE TO BE REMOVED
- 19 SOFT LANDSCAPING
- 20 1.2 M HT. WOOD PRIVACY FENCE
- 21 EXISTING BOARD FENCE
- 22 OUTLINE OF BUILDING ABOVE
- 23 BALCONY ABOVE
- 24 PRIVACY SCREEN
- 25 EXISTING TIMBER PLANTER - ALTER AS REQUIRED
- 26 EXISTING BUILDING TO BE REMOVED
- 27 NATURAL GAS EQUIPMENT
- 28 STORM WATER TANK WITH ACCESS COVER & OVERFLOW CATCH BASIN - SEE CIVIL PLAN
- 29 SIAMSE CONNECTION
- 30 CAST IN PLACE PLANTER WALL

SITE PLAN SYMBOLS



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
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NOTATION SYMBOLS:

- 01 INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- 02 INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULED.
- 03 INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- 04 INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- 05 DETAIL NUMBER
- 06 TITLE
- 07 SCALE
- 08 DETAIL REFERENCE PAGE
- 09 DETAIL CROSS REFERENCE PAGE

PROJECT INFORMATION

ZONING	Zoning By-Law 2008-250	28-30 PRETORIA	R4S
		24-26 PRETORIA	R5C(87) H(18)
SITE AREA		1,093.0 sq. m.	
		(11,765) sq. ft.	
R4S ZONE			
BUILDING HEIGHT		14.5 m	
FRONT YARD SETBACK		3.0 m	
INTERIOR YARD SETBACK UNDER 11.0 m HT.		1.5 m	
INTERIOR YARD SETBACK OVER 11.0 m HT.		2.5 m	
REAR YARD SETBACK AFTER 21.0 m BACK		6.0 m	
REAR YARD SETBACK (50% OF LOT DEPTH)		9.15 m	
R5C(87) H(18) ZONE			
BUILDING HEIGHT		18.0 m	
FRONT YARD SETBACK		3.0 m	
INTERIOR YARD SETBACK UNDER 11.0 m HT.		1.5 m	
INTERIOR YARD SETBACK AFTER 21.0 m BACK		6.0 m	
REAR YARD SETBACK		7.5 m	
LANDSCAPE OPEN SPACE (30%)		327.9 m ²	
AMENITY SPACE (6.0 m² PER UNIT)		294.0 m ²	

PROJECT STATISTICS

BUILDING HEIGHT	18.0 M
BUILDING HEIGHT - STOREY'S	6
AVERAGE MEAN GRADE (GEO. ELEV.)	67.60
FRONT YARD SETBACK	3.0 m
INTERIOR YARD SETBACK	1.5 m
REAR YARD SETBACK	7.5 m
GROSS BUILDING - AREAS (CITY OF OTTAWA ZONING AREA)	
BASEMENT LEVEL	0.0 sq. m.
GROUND FLOOR	912 sq. m.
2nd to 4th FLOOR	3 x 472.2 sq. m. = 1,416.6 sq. m.
5th FLOOR	472.2 sq. m.
6th FLOOR	396.5 sq. m.
TOTAL AREA	2,376.6 sq. m. = 25,582 sq. ft.

UNIT STATISTICS

STUDIO UNIT	4
ONE BEDROOM UNIT	40
TWO BEDROOM UNIT	4
TOTAL	48

CAR PARKING

REQUIRED BY ZONING BY-LAW	
RESIDENCE	-0.5 PER DWELLING UNIT (AFTER 12 UNITS)
VISITOR	-0.1 PER DWELLING UNIT (AFTER 12 UNITS)
TOTAL	22
PROVIDED	
RESIDENCE	7
VISITOR	4
TOTAL	11

BICYCLE PARKING

REQUIRED	-0.5 PER UNIT (48 UNITS)	24
PROVIDED		53

LOT COVERAGE

PAVED SURFACE =	23.1 sq. m.	2.1%
BUILDING FOOTPRINT =	573.5 sq. m.	52.4%
LANDSCAPE OPEN SPACE =	337.2 sq. m.	30.9%
LANDSCAPE DECK =	199.2 sq. m.	14.6%
TOTAL =	1,093.0 sq. m.	100.0%

AMENITY SPACE

EXTERIOR AT GRADE =	230.0 sq. m.
2nd FLOOR PRIVATE PATIO =	146.0 sq. m.
BASEMENT COMMUNAL INTERIOR =	190.0 sq. m.
PRIVATE BALCONIES =	190.0 sq. m.
PRIVATE DECKS (6th FLOOR) =	74.0 sq. m.
TOTAL =	830.0 sq. m.
TOTAL COMMUNAL =	420.0 sq. m.
REQUIRED - 6.0MP PER UNIT (48) =	288.0 sq. m.
REQUIRED COMMUNAL @ 50% =	144.0 sq. m.

24-30 PRETORIA AVENUE

OTTAWA ONTARIO

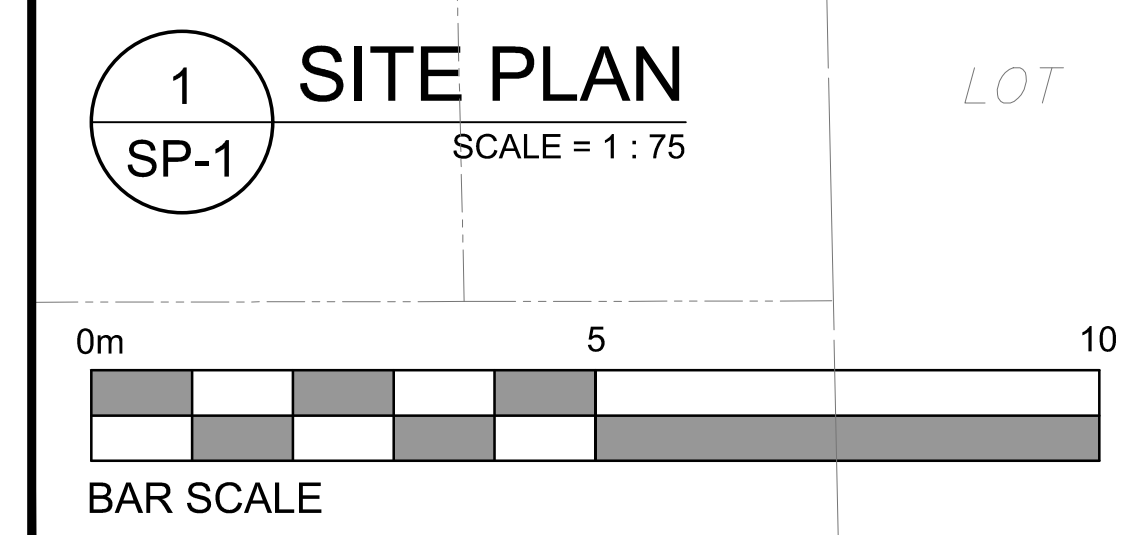
SITE PLAN

56 beech street, ottawa, ontario K1S 3J6
t: 613.724.9932 f: 613.724.1209 raarchitecture.ca

PROJECT TITLE:
24-30 PRETORIA AVENUE

SHEET TITLE:
SP-1

PROJECT No.
1836



LEGAL DESCRIPTION
TOPOGRAPHIC PLAN OF SURVEY OF
LOTS 1 AND 2
(SOUTH PRETORIA AVENUE)
REGISTERED PLAN 53786
CITY OF OTTAWA

SURVEYOR
Farley, Smith & Denis Surveying Ltd.
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Ottawa, Ontario K2E 7J5
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Fax: 613 727-1823
Cell: 613 862-1287
E-Mail: jleslie@bellnet.ca

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Tel: (613) 254-5867
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URBAN PLANNER
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Cell: (613) 239-2777
E-Mail: nitsche@fotenn.com

PROJECT DEVELOPER
JB Holdings Inc.
107 Pretoria Ave.
Ottawa, Ontario K1S 1W8
Tel: (613) 730-5709
Cell: (613) 239-2777
Email: john@jba.ca

BUILDING CONSTRUCTION AREAS

PARKING LEVEL	907.3 sq. m.	10,412 sq. ft.
GROUND FLOOR	629.6 sq. m.	6,766 sq. ft.
2nd to 5th FLOOR	4 x 628.8 sq. m. = 2,495.4 sq. m.	26,860 sq. ft.
6th FLOOR	396.5 sq. m.	4,269 sq. ft.
TOTAL	830.0 sq. m.	8,800 sq. ft.
TOTAL AREA (ABOVE GROUND)	1,556.3 sq. m.	16,752 sq. ft.