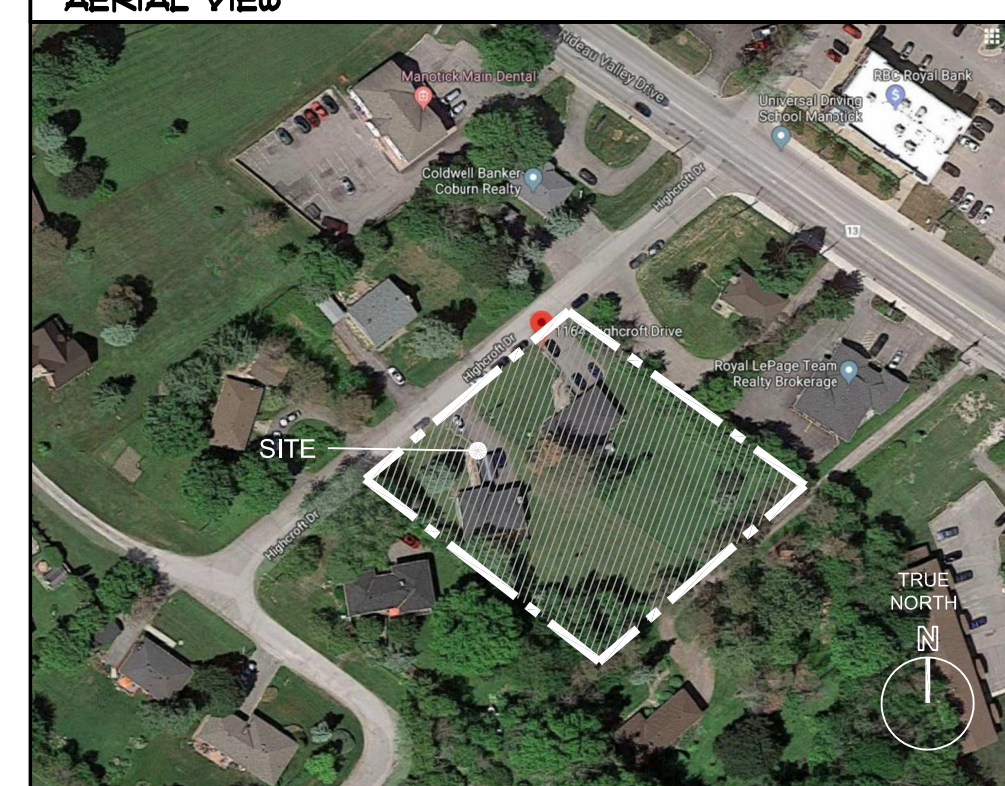
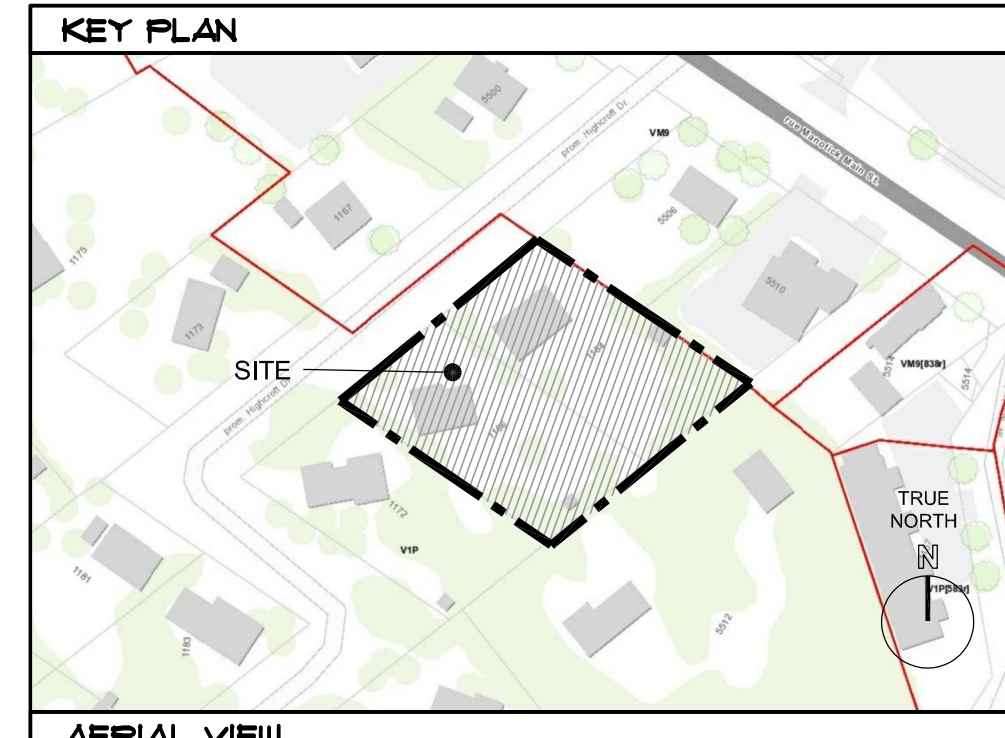


LEGEND:

- PRIVACY FENCE (SEE ATTACHED PAGE FOR DETAIL)
- FIRE HYDRANT
- HYDRO TRANSFORMER
- LIGHT STANDARD (SEE SITE LIGHTING LAYOUT FOR DETAIL)
- MAIN ENTRANCE LOCATION



no.	date	revision
12	2021/05/19	REVISED FOR SITE PLAN CONTROL APPLICATION
11	2021/05/10	REVISED FOR SITE PLAN CONTROL APPLICATION
10	2021/05/01	REVISED FOR SITE PLAN CONTROL APPLICATION
09	2021/04/12	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
08	2021/03/28	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
07	2021/04/10	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
06	2021/03/30	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
05	2014/08/06	ISSUED FOR SITE PLAN CONTROL APPLICATION - REVIEW
04	2014/06/11	REVISIONS
03	2014/06/11	REVISIONS
02	2014/05/01	GENERAL REVIEW
01	2014/05/02	PRELIMINARY FOR CIVIL ENG. REVIEW

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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SURVEY INFO FROM: ANNIS, O'SULLIVAN, VOLLEBECK LTD.

SITE SUMMARY:

CIVIL ADDRESS: 1164-1166 HIGHCROFT DRIVE, MANOTICK, ON L4M 1A1
 ZONING: V1 - VILLAGE RESIDENTIAL FIRST DENSITY ZONE, SUBZONE P
 PROPOSED USE: PUD - 10 UNITS OF SINGLE DETACHED DWELLINGS
 BUILDING FOOTPRINT (ABOVE GRADE): RANGES BETWEEN 912sqft - 1222sqft

	REQUIRED:	PROPOSED ZONING (PUD):
MIN. LOT AREA:	1340m ²	3542m ²
MIN. LOT WIDTH:	30.0m	60.585m
MAX. LOT COVERAGE:	25 %	28 %
MAX. BUILDING HEIGHT:	11.0m	11.0m
MIN. FRONT YARD:	6.0m	4.2m
MIN. INTERIOR SIDE YARD:	3.0m	3.0m
MIN. CORNER SIDE YARD:	6.0m	N/A
MIN. REAR YARD:	7.5m	3.0m
MIN. WIDTH OF PRIVATE DRIVEWAY:	6.0m	6.0m
MIN. SETBACK FOR ANY WALL TO A PRIVATE WAY:	1.8m	3.404m
MIN. SETBACK FOR GARAGE:	5.2m	5.2m
MIN. SEPARATION AREA BETWEEN BUILDINGS:	1.2m	2.4m

VEHICULAR PARKING:

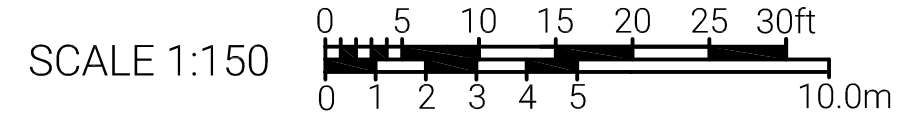
	REQUIRED	PROVIDED
RESIDENT PARKING (10 DWELLING UNITS) AS PER BY-LAW 140-202, SECTION FIVE; 1.0 SPACE PER UNIT 1.0 DWELLING UNITS	10	17
VISITOR PARKING (10 DWELLING UNITS) AS PER BY-LAW 140-202, SECTION 5.2; 0.20 SPACE PER UNIT (INCL. WITHIN TOTAL COUNT)	2	14
TOTAL VEHICULAR PARKING	12	31

UNIT TYPE SUMMARY:

UNIT TYPE	GROSS FLOOR AREA (ZONING BY-LAW)	UNIT COUNT
UNIT TYP. 1	140m ² (2040sf)	4
UNIT TYP. 2	271m ² (2918sf)	3
UNIT TYP. 3	158m ² (1704sf)	3
TOTAL:		10

APPROVED
By Adam Brown at 9:23 am, Aug 25, 2021

ADAM BROWN
MANAGER, DEVELOPMENT REVIEW - RURAL PLANNING, INFRASTRUCTURE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



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PROJECT/LOCATION:
1164-1166 HIGHCROFT DR.
MANOTICK
OTTAWA, ONTARIO

DRAWING TITLE:
SITE PLAN

DRAWN BY: KVB, JG **DATE:** MAY 17, 2019 **SCALE:** 1:150

PROJECT: 1918
DRAWING NO.: SP-1
REVISION NO.: