

SURVEY INFO FROM: ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

SITE SUMMARY:
 CIVIL ADDRESS: 1164-1166 HIGHCROFT DRIVE, MANOTICK, ON L4M 1A1
 ZONING: V1 - VILLAGE RESIDENTIAL FIRST DENSITY ZONE, SUBZONE P
 PROPOSED USE: PUD - II UNITS OF SINGLE DETACHED DWELLINGS
 BUILDING FOOTPRINT: RANGES BETWEEN 192sqft - 1222sqft (ABOVE GRADE)

ZONING SUMMARY:	REQUIRED:	PROPOSED ZONING (PUD):
MIN. LOT AREA:	1340m ²	208m ²
MIN. LOT WIDTH:	30.0m	8.0m
MAX. LOT COVERAGE:	25.0%	44%
BUILDING HEIGHT:	11m MAX.	11.0m
MIN. FRONT YARD:	6.0m	4.2m
MIN. INTERIOR SIDE YARD:	3.0m	1.2m
MIN. CORNER SIDE YARD:	6.0m	N/A
MIN. REAR YARD:	7.5m	1.2m
MIN. WIDTH OF PRIVATE DRIVEWAY TO A PRIVATE WAY:	6.0m	6.0m
MIN. SETBACK FOR ANY WALL TO A PRIVATE WAY:	1.8m	1.5m
MIN. SETBACK FOR GARAGE:	5.2m	5.0m
MIN. SEPARATION AREA BETWEEN BUILDINGS:	1.2m	2.4m

VEHICULAR PARKING:	REQUIRED	PROVIDED
RESIDENT PARKINGS (II DWELLING UNITS) AS PER BY-LAW 460-202, SECTION FIVE, (2) SPACE PER UNIT II DWELLING UNITS	11	41
VISITOR PARKINGS (II DWELLING UNITS) AS PER BY-LAW 460-202, SECTION 5.2, (2) SPACE PER UNIT (INCL. WITHIN TOTAL COUNT)	3	30
TOTAL VEHICULAR PARKINGS	14	41

UNIT TYPE SUMMARY:	GROSS FLOOR AREA (ZONING BY-LAW)	UNIT COUNT
UNIT TYP. 1	146m ² (2104sf)	4
UNIT TYP. 1 (A)	219m ² (2360sf)	1
UNIT TYP. 2	224m ² (2414sf)	3
UNIT TYP. 3	166m ² (1790sf)	3
TOTAL:		11

no.	date	revision
05	2019/06/06	ISSUED FOR SITE PLAN CONTROL APPLICATION - REVIEW
04	2019/06/11	REVISIONS
03	2019/06/11	REVISIONS
02	2019/05/07	GENERAL REVIEW
01	2019/05/02	PRELIMINARY FOR CIVIL ENG. REVIEW
		revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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PROJECT/LOCATION:
1164-1166 HIGHCROFT DR. MANOTICK
OTTAWA, ONTARIO

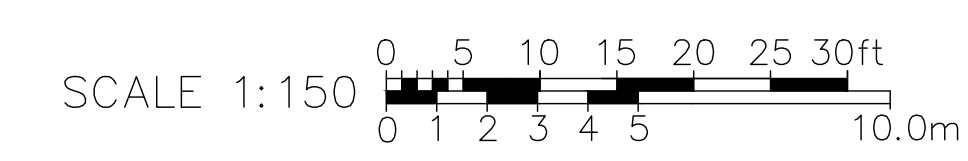
Hobin Architecture Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S3K7
 T: 613-238-7200
 F: 613-235-2005
 E: mail@hobinarc.com
 hobinarc.com

DRAWING TITLE:
 SITE PLAN

DRAWN BY: KVB, JG **DATE:** MAY 17, 2019 **SCALE:** 1:150

PROJECT: 1918
DRAWING NO.: SP-1
REVISION NO.:

Name: HIGHCROFT MANOTICK SITE PLAN





VIEW LOOKING SOUTH



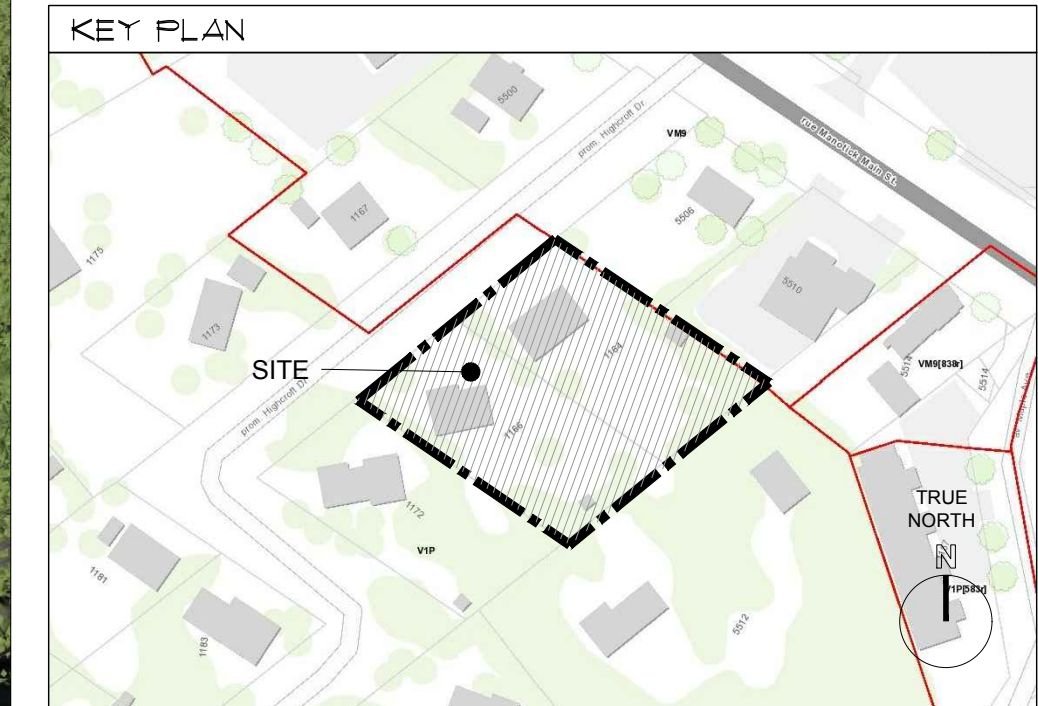
VIEW LOOKING WEST



VIEW LOOKING EAST



VIEW LOOKING NORTH



SURVEY INFO FROM: ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

SITE SUMMARY:

CIVIL ADDRESS: 1164-1166 HICHCROFT DRIVE, MANOTICK, ON K4M 1A1
 ZONING: V1 - VILLAGE RESIDENTIAL FIRST DENSITY ZONE, SUBZONE P
 PROPOSED USE: PUD - II UNITS OF SINGLE DETACHED DWELLINGS
 BUILDING FOOTPRINT (ABOVE GRADE): RANGES BETWEEN 192sqft - 1222sqft

ZONING SUMMARY:

BY-LAW 2009-250 PART B, SECTION 232, TABLE 232	REQUIRED:	PROPOSED ZONING (PUD):
MIN. LOT AREA:	1340m ²	208m ²
MIN. LOT WIDTH:	30.0m	8.0m
MAX. LOT COVERAGE:	25.0%	44%
BUILDING HEIGHT:	11m MAX.	11.0m
MIN. FRONT YARD:	6.0m	4.2m
MIN. INTERIOR SIDE YARD:	3.0m	4.2m
MIN. CORNER SIDE YARD:	6.0m	N/A
MIN. REAR YARD:	7.5m	1.2m
MIN. WIDTH OF PRIVATE DRIVEWAY:	6.0m	6.0m
MIN. SETBACK FOR ANY WALL TO A PRIVATE WAY:	1.8m	1.5m
MIN. SETBACK FOR GARAGE:	5.2m	5.0m
MIN. SEPARATION AREA BETWEEN BUILDINGS:	1.2m	2.4m

VEHICULAR PARKING:

	REQUIRED	PROVIDED
RESIDENT PARKINGS (II DWELLING UNITS) AS PER BY-LAW 40-202, SECTION FIVE, 0.20 SPACE PER UNIT	11	41
VISITOR PARKINGS (II DWELLING UNITS) AS PER BY-LAW 40-202, SECTION 5.2, 0.20 SPACE PER UNIT (INCL. WITHIN TOTAL COUNT)	3	30
TOTAL VEHICULAR PARKINGS	14	41

UNIT TYPE SUMMARY:

	GROSS FLOOR AREA (ZONING BY-LAW)	UNIT COUNT
UNIT TYP. 1	196m ² (2109sf)	4
UNIT TYP. 1 (A)	219m ² (2360sf)	1
UNIT TYP. 2	224m ² (2414sf)	3
UNIT TYP. 3	166m ² (1790sf)	3
TOTAL:		11

no.	date	revision
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Hobin Architecture Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S3K7
 T: 613-238-7200
 F: 613-235-2005
 E: mail@hobinarc.com
 hobinarc.com



PROJECT/LOCATION:
1164-1166 HICHCROFT DR. MANOTICK
 OTTAWA ONTARIO

DRAWING TITLE:
AERIAL VIEWS

DRAWN BY:	DATE:	SCALE:
NAME	AUGUST 9, 2019	N/A
PROJECT: 1918		
DRAWING NO.:		
XXX		
REVISION NO.:		