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The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
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Legend

- ORIGINAL GROUND ELEVATION
- PROPOSED ELEVATION
- PROPOSED LOT CORNER ELEVATION
- EXISTING ELEVATION AT LOT CORNER
- FLOW DIRECTION AND GRADE
- TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
- PROPOSED SWALE
- DIRECTION OF OVERLAND FLOW
- EXISTING CATCHBASIN
- PROPOSED STORM SEWER
- PROPOSED HEAVY DUTY ASPHALT AS PER GEOTECHNICAL RECOMMENDATIONS.

SEE GRADING

1. ALL GRANULAR BASE & SUB-BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.
 2. ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER WITH 500 MM MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
 3. INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILL. ALL WORK RELATING TO WATERMANS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
 4. REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
 5. CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE # REQUIRED BY THE MUNICIPALITY.
 6. EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.
 7. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH DEVELOPER AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
 8. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
 9. NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
 10. ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAW AND URBAN TREES CONSERVATION BY-LAW.
 11. NO EXCESS DRAINAGE TO BE DIRECTED TO NEIGHBOURING PROPERTIES EITHER BEFORE OR AFTER CONSTRUCTION.
 12. PAVEMENT CONSTRUCTION AS PER GEOTECHNICAL MEMO PREPARED BY PATERSON GROUP, DATED MARCH 6, 2023. FILE NO: PG6595-MEMO.01
- ACCESS LANES, LOADING AREAS AND HEAVY TRUCK PARKING**
- 40mm SUPERPAVE 12.5 ASPHALTIC CONCRETE
 - 50mm SUPERPAVE 19.0 ASPHALTIC CONCRETE
 - 150 OPSS GRANULAR 'A' BASE
 - 450 OPSS GRANULAR 'B' TYPE II
13. WHERE PROPOSED ASPHALT SURFACE RECOMMENDED ABOVE MEETS THE EXISTING ASPHALT SURFACE, THE FOLLOWING JOINT TRANSITION DETAIL SHOULD BE EMPLOYED.
 - A 300mm WIDE SECTION OF THE EXISTING ASPHALT SHOULD BE SAW CUT FROM THE EXISTING PAVEMENT EDGE TO PROVIDE A SOUND SURFACE TO ABUT THE PROPOSED PAVEMENT STRUCTURE.
 - IT IS RECOMMENDED TO MILL A 300mm WIDE AND 40mm DEEP SECTION OF THE EXISTING ASPHALT AT THE SAW CUT EDGE.

2	REVISED AS PER CITY COMMENTS	MJS	DCT	23.08.17
1	REVISED AS PER CITY COMMENTS	MJS	DCT	23.07.20
0	ISSUED TO CITY FOR REVIEW	MJS	DCT	23.04.21

Revision	By	Appd.	YY.MM.DD
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File Name:	160401534.DB	MJS	DCT	MJS	23.01.26
		Dwn.	Chkd.	Dgn.	YY.MM.DD

Permit-Seal

Client/Project
RICHCRAFT PROPERTIES LTD.

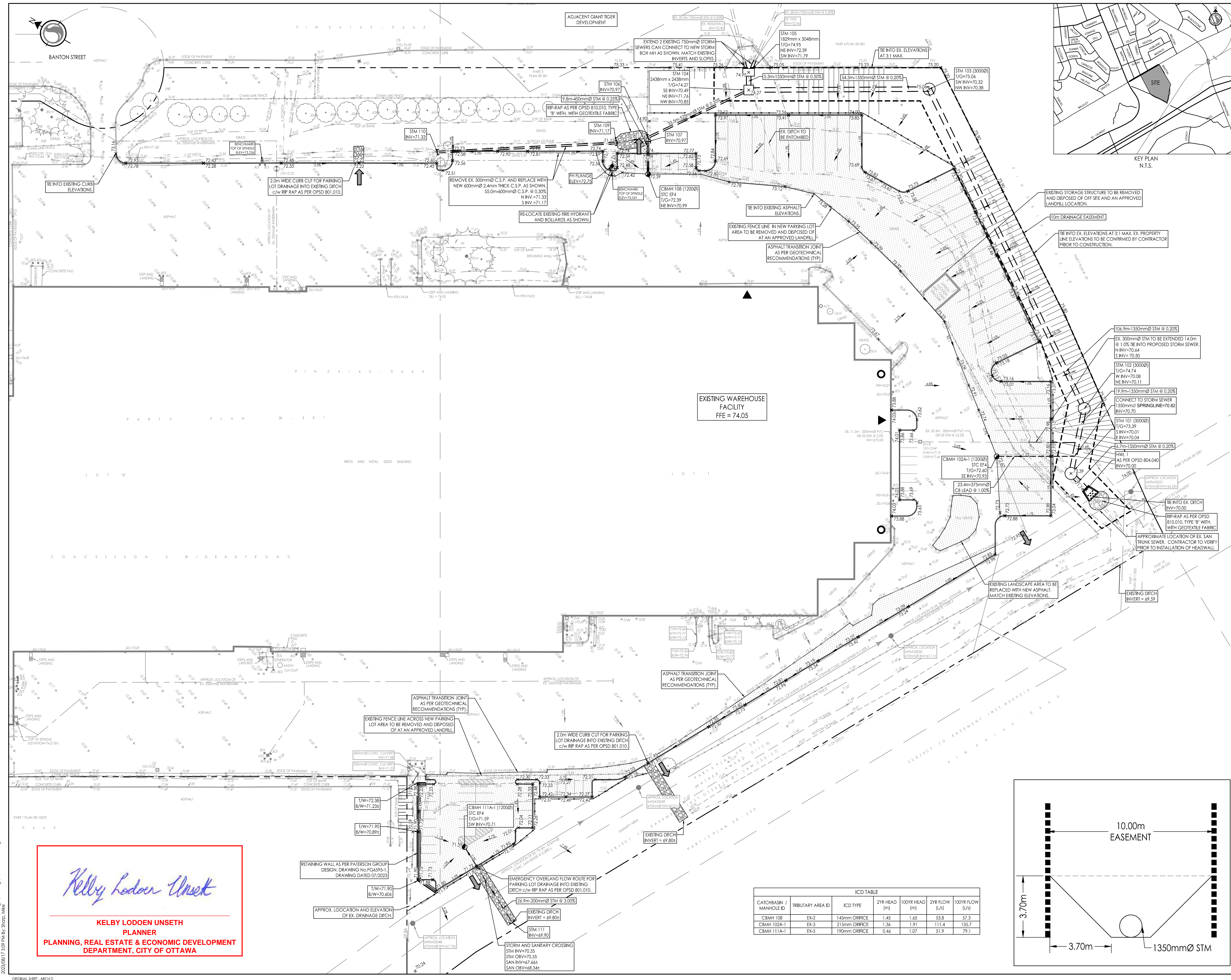
2370 WALKLEY ROAD
DRAINAGE AND DITCH MODIFICATIONS
OTTAWA, ON

Title
SITE SERVICING AND GRADING PLAN

Project No. 160401534 Scale 1:500

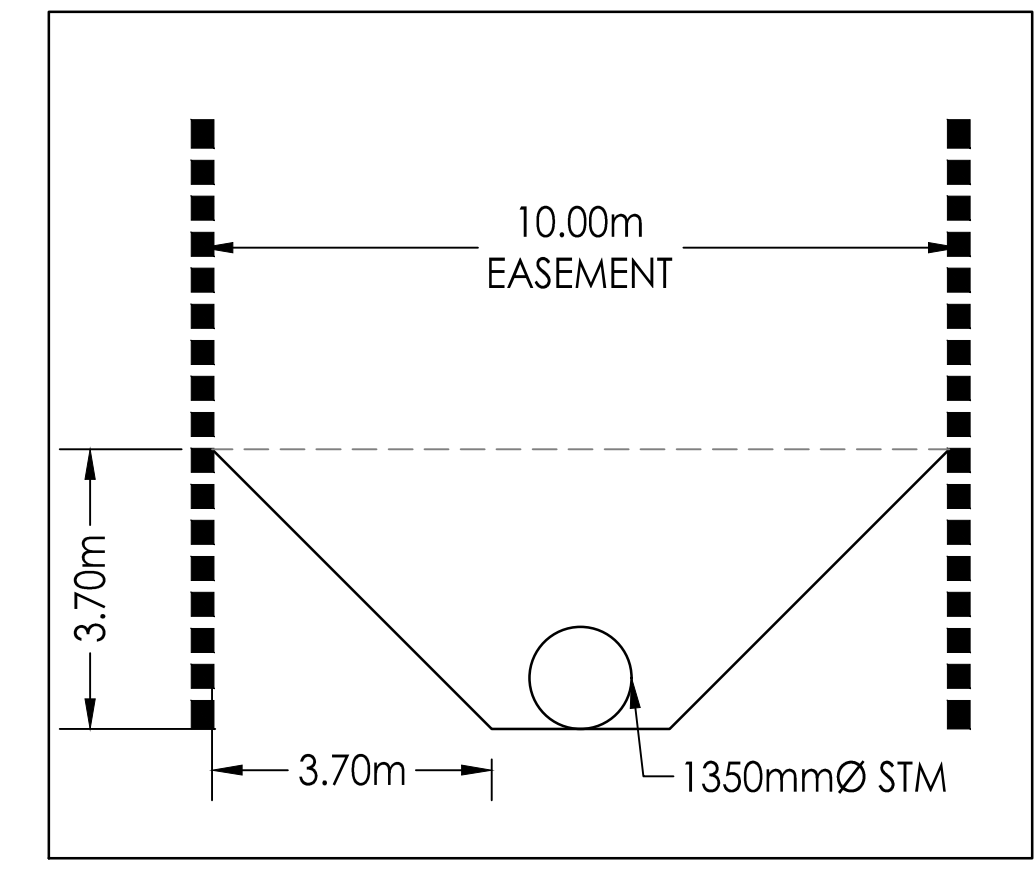
Drawing No. SSGP-1 Sheet 1 of 3 Revision 2

Project No. 160401534 Scale 1:500
Drawing No. SSGP-1 Sheet 1 of 3 Revision 2
Project No. 160401534 Scale 1:500
Drawing No. SSGP-1 Sheet 1 of 3 Revision 2



ICD TABLE

CATCHBASIN / MANHOLE ID	TRIBUTARY AREA ID	ICD TYPE	2YR HEAD (m)	100YR HEAD (m)	2YR FLOW (L/S)	100YR FLOW (L/S)
CBMH 108	EX-2	145mm ORIFICE	1.45	1.65	53.8	57.3
CBMH 102A-1	EX-3	215mm ORIFICE	1.36	1.91	111.4	135.7
CBMH 111A-1	EX-5	190mm ORIFICE	0.46	1.07	51.9	79.1



Kelby Lodoen Unseth
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PLANNER, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA